

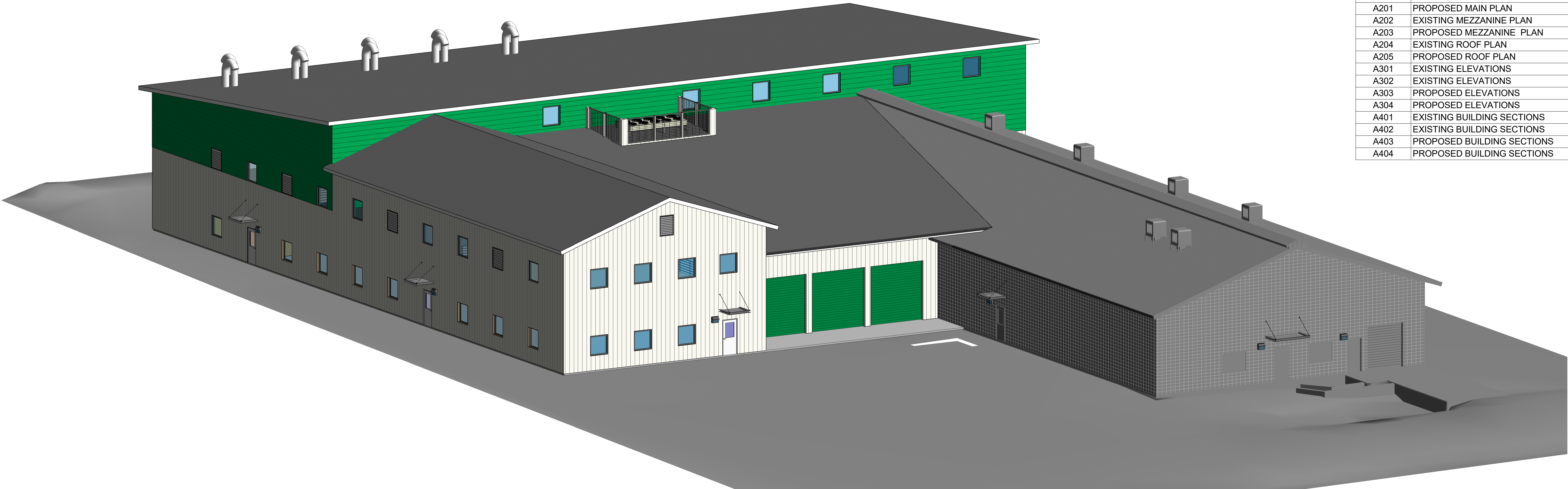
WESTERN SLOPE LAUNDRY

775 SAWATCH DR.

EAGLE, CO 81631

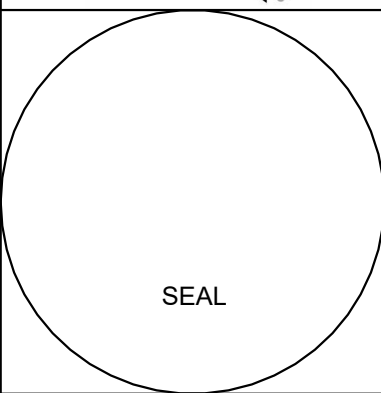
DEVELOPMENT PERMIT

08-27-2020



SHEET LIST	
Sheet #	Sheet Name
A000	COVER
A101	PROPOSED ARCHITECTURAL SITE PLAN
L101	PROPOSED LANDSCAPE PLAN
C-1	CIVIL COVER SHEET
C-2	EXISTING CONDITIONS & REMOVAL PLAN
C-3	SITE PLAN
C-4	GARDING AND DRAINAGE PLAN
C-5	EROSION CONTROL PLAN
C-6	Unnamed
A200	EXISTING MAIN LEVEL
A201	PROPOSED MAIN PLAN
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A203	PROPOSED MEZZANINE PLAN
A204	EXISTING ROOF PLAN
A205	PROPOSED ROOF PLAN
A301	EXISTING ELEVATIONS
A302	EXISTING ELEVATIONS
A303	PROPOSED ELEVATIONS
A304	PROPOSED ELEVATIONS
A401	EXISTING BUILDING SECTIONS
A402	EXISTING BUILDING SECTIONS
A403	PROPOSED BUILDING SECTIONS
A404	PROPOSED BUILDING SECTIONS

NDG
ARCHITECTURE
970.471.0698 | BNUTKINSNDG-INC.COM



WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631
DEVELOPMENT PERMIT

Job #
1802

Issue Date
08-27-2020

COVER

Revision	No.	Date				

A000

final plat

EAGLE COMMERCIAL PARK

A SUBDIVISION OF A PORTION OF THE CHAMBERS ADDITION AND THE RIVER VALLEY ADDITION TO THE TOWN OF EAGLE, COLORADO. LOCATED IN TRACTS 63 & 68, SECTION 33, TWP. 4 SOUTH, RANGE 84 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EAGLE COUNTY, COLORADO.

CERTIFICATION OF DEDICATION AND OWNERSHIP

Know all men by these presents that Eagle Commercial Park, Ltd. and the Center at Eagle, Ltd. being sole owners in fee simple of all that real property described as follows:

A tract of land in the Chambers Addition and the River Valley Addition to the Town of Eagle, County of Eagle and State of Colorado, lying in Tract 63 and 68 in Section 33, Township 4 South, Range 84 West of the Sixth Principal Meridian according to the Independent Resurvey of said Township and Range as approved by the U.S. Surveyor General in Denver, Colorado on June 20, 1922; said tract of land being more particularly described as follows, to wit:

Beginning at an existing aluminum cap marking Corner No. 1 of Tract 68 from which a brass cap monument properly marking the East Witness Corner for Corner No. 1 of Tract 68 bears S.89°58'52"E. 21.12 feet distant; thence along the northerly line of Tract 68 S.89°58'48"W. 76.23 feet to a point on the southerly right-of-way boundary line of U.S. Interstate Highway No. 70; thence along said southerly right-of-way boundary line as follows:

S.67°39'00"W. 58.00 feet; thence S.70°33'30"W. 295.30 feet; thence 889.76 feet on a curve to the left with a radius of 3689.70 feet, the chord of which bears S.58°20'30"W. 887.60 feet; thence S.46°02'42"W. 295.30 feet; thence S.43°56'42"W. 109.81 feet;

thence departing the southerly right-of-way boundary line of U.S. Interstate Highway No. 70 along the easterly boundary line of the Eby Creek Subdivision S.30°52'00"E. 1028.74 feet to a point on the northwesterly right-of-way boundary line of Sawatch Road; thence along said northwesterly boundary line as follows:

N.59°08'00"E. 1020.30 feet; thence 25.88 feet on a curve to the left with a radius of 25 feet, the chord of which bears N.29°28'51"E. 24.74 feet; thence N.00°10'18"W. 707.37 feet;

thence departing the northwesterly right-of-way boundary line of Sawatch Road S.89°58'07"E. 38.74 feet; thence N.00°01'53"E. 500.96 feet to the point of beginning, said tract of land containing 35.58 acres, more or less; have by these presents laid out, platted, and subdivided the same into lots and blocks as shown hereon and designate the same as the Eagle Commercial Park in the Town of Eagle, State of Colorado, for public use the streets shown hereon including avenues, drives, courts, places and alleys, the public lands and drainage easements hereon for utility and drainage purposes only; and do further state that this subdivision shall be subject to the protective covenants filed and recorded for this subdivision in the Office of the Clerk and Recorder of Eagle County, Colorado as Document No. _____, EXECUTED this 27th day of JUNE, A.D., 1978.

OWNERS: Harold A. Denton General Partner
Eagle Commercial Park, Ltd.
Box 816
Eagle, Colorado 81631

STATE OF COLORADO SS
COUNTY OF EAGLE
The foregoing Dedication was acknowledged before me this 27th day of June, A.D., 1978, by Harold A. Denton. My commission expires June 27, 1981.

Witness my hand and seal
Jacklyn Jay Potter
Notary Public

CLERK AND RECORDER'S CERTIFICATE 170407
This Plat was filed for record in the Office of the Clerk and Recorder at _____ o'clock _____ M. August 25, 1978 and is duly recorded in Book 274 Page No. _____

Drawer "E"
Case 2-
Madeline R. Bay
Clerk and Recorder
Bruce Eukler
Deputy

TOWNS COUNCIL'S CERTIFICATE
This Plat approved by the Town Council of Eagle, Colorado this 15th day of August, A.D. 1978, for filing with the Clerk and Recorder of Eagle County and for conveyance of the public dedications shown hereon; subject to the provision that approval in no way obligates Eagle County or the Town of Eagle for financing or constructing of improvements on lands, streets or easements dedicated to the public except as specifically agreed to by the Town Council and further that said approval shall in no way obligate Eagle County or the Town of Eagle for maintenance of streets dedicated to the public until construction of improvements thereon shall have been completed to the satisfaction of the Town Council.

Witness my hand and seal of the Town of Eagle
ATTEST: Madeline R. Bay
Clerk and Recorder

DEDICATION OF UTILITY EASEMENT
A perpetual easement for the installation and maintenance of utilities and drainage facilities, including, but not limited to, electric lines, gas lines, telephone lines, is reserved and dedicated over and through the PRIVATE AND PUBLIC ROADS AND STREETS WITHIN THIS SUBDIVISION. Together with an EASEMENT being (20) feet in width along all side and rear subdivision boundary line and (10) feet in width along all side and rear lot lines unless indicated otherwise on the plat. Together with the right to trim interfering trees and brush. Together with perpetual right of ingress and egress for installation, maintenance, and replacement of such lines. Said easements and rights shall be utilized in a reasonable and prudent manner.

TITLE CERTIFICATE
I, Terence J. Quinn, do hereby certify that I have examined the Title to all lands shown upon their Plat and that Title to such lands is vested in free and clear of all liens, taxes and encumbrances, except as follows:

Deed of Trust recorded in Book 270, Page 913; Certificate of Limited Partnership recorded in Book 270, Page 911; mining rights in patents recorded in Book 48, Pages 451 and 452; easements recorded in Book 135, Page 88, Book 223, Page 189, and Book 256, Page 888, all in the records of the Eagle County Clerk and Recorder.

Dated this 27th day of JUNE, A.D. 1978.
Terence J. Quinn
Terence J. Quinn

SURVEYOR'S CERTIFICATE
I, David L. Kunkel, do hereby certify that I am a registered Land Surveyor licensed under the laws of the State of Colorado, that this Plat is a true, correct and complete Plat of the Eagle Commercial Park, as laid out, platted, dedicated and shown hereon, that such Plat was made from an accurate survey of said property by me and under my supervision and correctly shows the location and dimensions of the lots, easements and streets of said subdivision as the same are staked upon the ground in compliance with applicable regulations governing the subdivision of land. In Witness whereof I have set my hand and seal this 27th day of June, A.D., 1978.
David L. Kunkel
David L. Kunkel R.L.S. 14109

PLANNING AND ZONING COMMISSION CERTIFICATE
This Plat approved by the Town of Eagle Planning and Zoning Commission this 17th day of July, A.D., 1978.
DL Johnson
Chairman

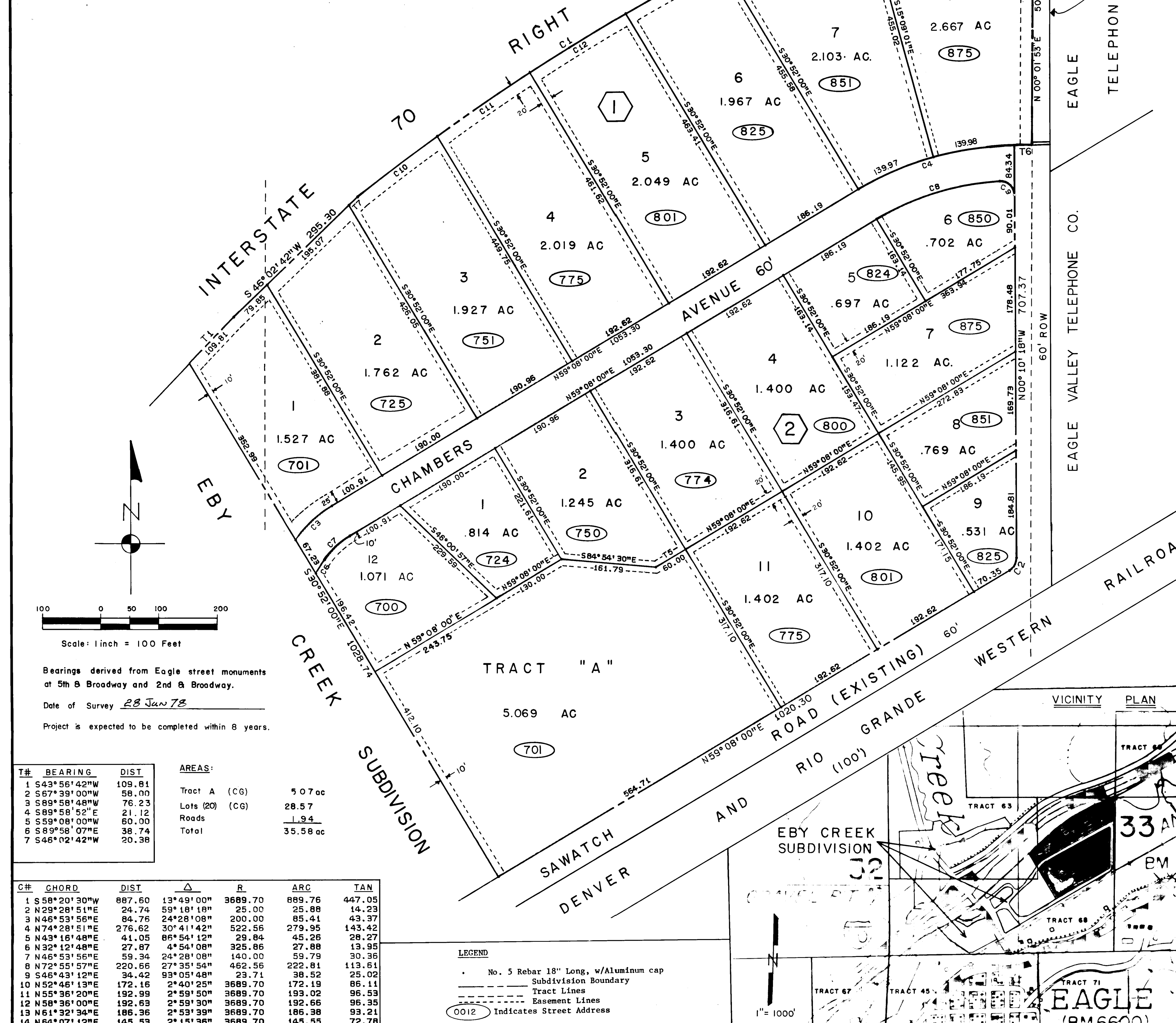
Prepared By
EAGLE COMMERCIAL PARK
BOX 816 EAGLE, COLORADO
PHONE 328-6368

"THIS PLAT AND THE LOTS DESCRIBED HEREIN ARE SUBJECT TO THE FOLLOWING RESTRICTIONS:

(a) sale and improvement of lots shall be subject to all requirements of the restrictive covenants governing this subdivision

(b) SUBDIVISION IMPROVEMENTS AGREEMENT There shall be no sales, leases, or any other form of conveyance of the real property described on this plat as Lots 6, 7, and 8 of Block 1, Lots 5, 6, 7, 8, 9, 10, and 11 of Block 2, and Tract "A" without permission of The Board of Trustees of the Town of Eagle, nor shall building permits be issued for the above described real property, until such time as this restriction shall be deleted by the Board of Trustees of the Town of Eagle, in accordance with the terms of that certain subdivision improvements agreement affecting the real property described."

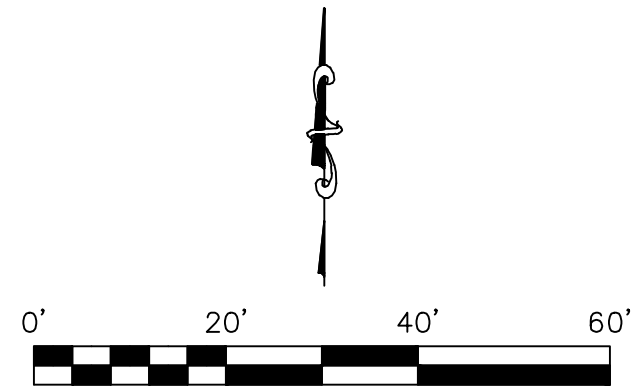
(c) There shall be no building permit issued on any lot of this subdivision until water, sewer, and gravel road are installed to that lot. Within two years of issuance of the first building permit, Chambers Avenue within this subdivision will be paved.



T#	BEARING	DIST	AREAS:
1	S 43° 56' 42" W	109.81	Tract A (CG)
2	S 67° 39' 00" W	58.00	Lots (20) (CG)
3	S 89° 58' 48" W	76.23	Roads
4	S 89° 58' 52" E	21.12	Total
5	S 59° 08' 00" W	60.00	
6	S 89° 58' 07" E	38.74	
7	S 46° 02' 42" W	20.38	

C#	CHORD	DIST	Δ	R	ARC	TAN
1	S 58° 20' 30" W	887.60	13° 49' 00"	3689.70	889.76	447.05
2	N 29° 28' 51" E	24.74	59° 18' 18"	25.00	14.23	25.88
3	N 46° 53' 56" E	84.75	24° 28' 08"	200.00	85.41	43.37
4	N 74° 28' 51" E	276.62	30° 41' 42"	522.56	279.95	143.42
5	N 43° 16' 48" E	41.05	86° 54' 12"	29.84	45.26	28.27
6	N 32° 12' 48" E	27.87	4° 54' 08"	325.86	27.88	13.95
7	N 46° 53' 56" E	59.34	24° 28' 08"	140.00	59.79	30.36
8	N 72° 55' 57" E	220.66	27° 35' 54"	462.56	222.81	113.61
9	S 46° 43' 12" E	34.42	93° 05' 48"	23.71	38.52	25.02
10	N 52° 46' 13" E	172.16	2° 40' 25"	3689.70	172.19	86.11
11	N 55° 36' 20" E	192.99	2° 59' 30"	3689.70	193.02	96.53
12	N 58° 36' 00" E	192.63	2° 59' 30"	3689.70	192.66	96.35
13	N 61° 32' 34" E	186.36	2° 53' 39"	3689.70	186.38	93.21
14	N 64° 07' 12" E	145.53	2° 15' 36"	3689.70	145.55	72.78

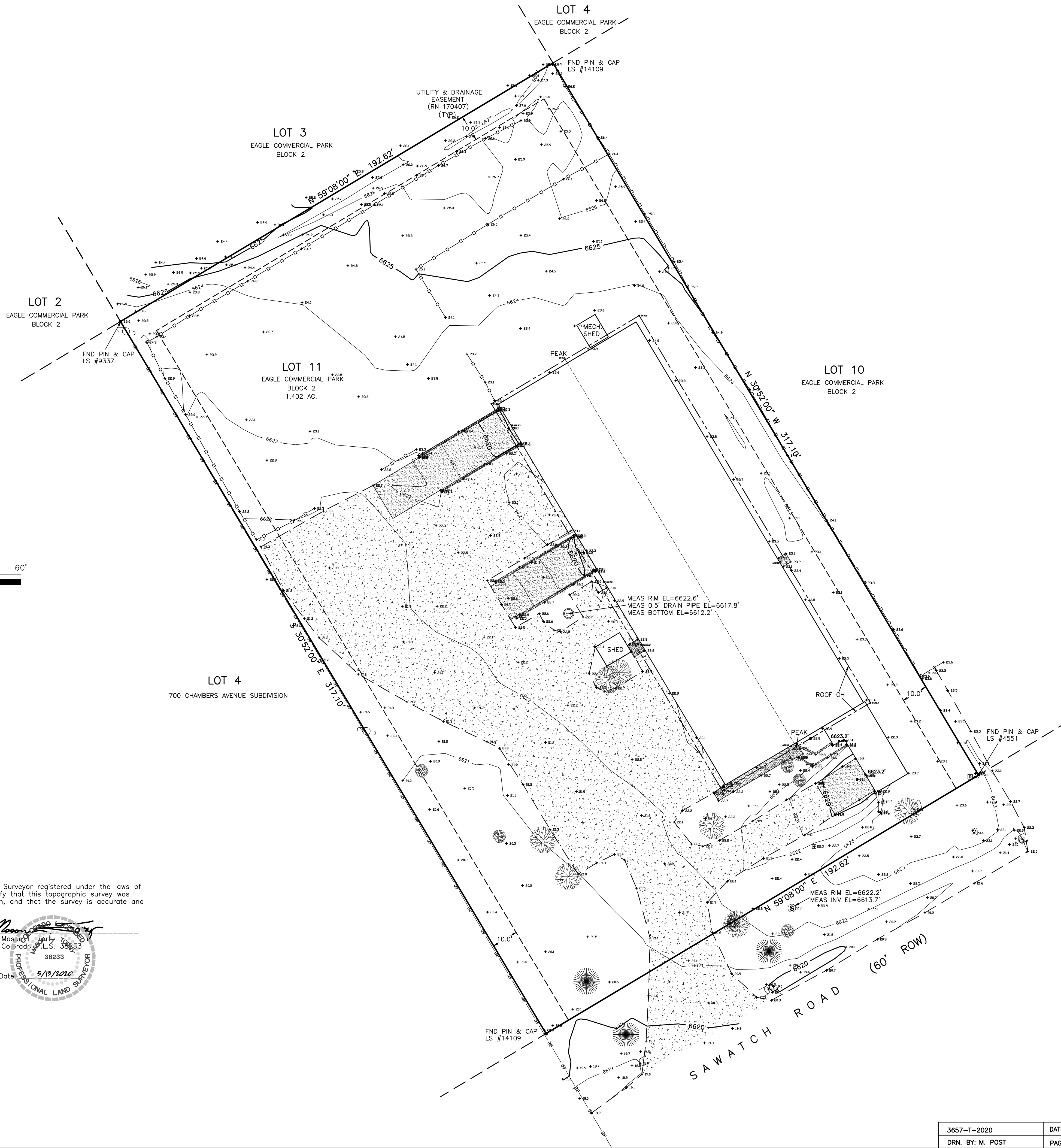
LEGEND
No. 5 Rebar 18" Long, w/Aluminum cap
Subdivision Boundary
Tract Lines
Easement Lines
0012 Indicates Street Address



SURVEYOR'S CERTIFICATE
I, Mason L. Torrey, a Professional Land Surveyor registered under the laws of the State of Colorado, do hereby certify that this topographic survey was made by me and under my supervision, and that the survey is accurate and correct to the best of my knowledge.

Mason L. Torrey
Mason L. Torrey
Colorado P.L.S. 38233
38233
Date: 5/19/2020
PROFESSIONAL LAND SURVEYOR

EAGLE VALLEY SURVEYING, INC.
41199 HIGHWAY 6 & 24, EAGLE-VALE
P.O. BOX 1230
EDWARDS, CO. 81632
(970)949-1406



- NOTES:
- 1) DATE OF SURVEY: 5/7/2020.
 - 2) SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR AMENDED PLATS, EASEMENTS OF RECORD (OTHER THAN PLATTED), ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - 3) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
 - 4) BEARINGS AND DISTANCES ALONG PROPERTY LINES SHOWN HEREON ARE AS SHOWN ON THE SUBDIVISION PLAT ONLY. A BOUNDARY SURVEY WOULD BE NECESSARY TO DETERMINE THE TRUE DIMENSIONS OF THE LOT AND SETBACKS, WHICH MAY VARY FROM THE PLATTED DIMENSIONS.
 - 5) THIS SURVEY AND THE INFORMATION CONTAINED HEREON IS THE PROPERTY OF EAGLE VALLEY SURVEYING, INC. AND IS INTENDED FOR THE SOLE USE OF THE ORIGINAL CLIENT ONLY. ANY USE OF OR TRANSFER TO OTHERS IS PROHIBITED.
 - 6) BASIS OF PROPERTY LINE LOCATION: MONUMENTS FOUND MARKING THE MOST NORTHEASTERLY PROPERTY LINE LOT 4.
 - 7) BASIS OF ELEVATION: SEWER MANHOLE MH F5 INV. ELEV. = 6609.7'.
 - 8) BUILDING SETBACK INFORMATION IS NOT PLATTED. PRIOR TO ANY DESIGN OR CONSTRUCTION IMPROVEMENTS ON THIS PROPERTY, TOWN OF EAGLE SHOULD BE CONTACTED FOR CORRECT BUILDING SETBACK INFORMATION.
 - 9) THE PLAT RECORDED AT RN 170407 WAS USED FOR THIS SURVEY.
 - 10) 1' CONTOUR INTERVAL.
 - 11) POSTED ADDRESS: 775 SAWATCH ROAD.

LEGEND

- UTILITY POLE
- WATER VALVE
- ELECTRIC OUTLET
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- DRAIN
- CULVERT
- TELEPHONE PEDESTAL
- OVERHEAD POWER LINE
- CONCRETE SURFACE
- ASPHALT SURFACE
- DENOTES DECIDUOUS TREE W/ APPROX. 0.5' TRUNK DIAMETER
- DENOTES DECIDUOUS TREE W/ APPROX. 1.0' TRUNK DIAMETER
- DENOTES CONIFEROUS TREE W/ APPROX. 1.0' TRUNK DIAMETER

TOPOGRAPHIC SURVEY
LOT 11, BLOCK 2
EAGLE COMMERCIAL PARK
TOWN OF EAGLE, EAGLE COUNTY, COORADO

3657-T-2020
DRN. BY: M. POST
DATE: 5/2020
PAGE: 1 OF 1

JOB No. 3657



Per Section 4.07.140					
Use	Sq. Ft.	Required Spaces			
	Total square footage	Code Requirement	Required Parking Spaces	Parking Spaces Provided	Difference
Existing office / break room/ employee space square footage ¹	423 sf	1 space per 250 sf of office or public area	2 parking spaces		
Added office / break room / employee space square footage ^{1,2}	608 sf	1 space per 250 sf of office or public area	3 parking spaces		
Existing warehouse area ³	9,283 sf	1 space per 1,000 sf of floor area	10 parking spaces		
Added warehouse area (includes mezzanines)	23,929.5 sf	1 space per 1,000 sf of floor area	24 parking spaces		
TOTAL PARKING SPACES:			49	25 ⁴	24

Parking Landscape Area	Sq. Ft.	Percentage
Parking Lot	12,947 sq. ft.	
Required Landscape		10% (1,295 sq. ft)
West side of parking lot	2,323.8 sq. ft	17.90%
East Side of parking lot	729 sq. ft.	5.60%

1) DATE OF SURVEY: 5/7/2020.

2) SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR AMENDED PLATS, EASEMENTS OF RECORD (OTHER THAN PLATTED), ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

3) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

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6) BASIS OF PROPERTY LINE LOCATION: MONUMENTS FOUND MARKING THE MOST NORTHEASTERLY PROPERTY LINE LOT 4.

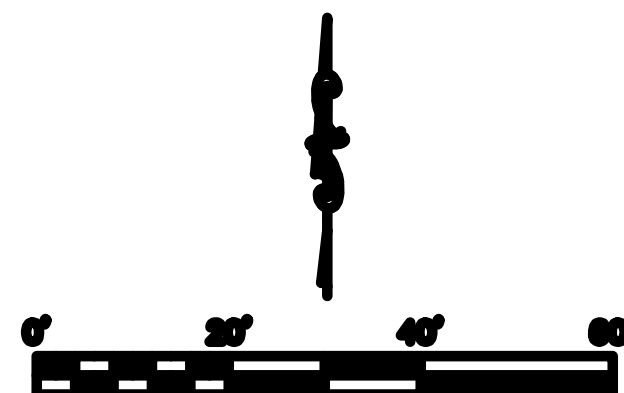
7) BASIS OF ELEVATION: SEWER MANHOLE MH F5 INV. ELEV. = 6609.7'.


8) BUILDING SETBACK INFORMATION IS NOT PLATTED. PRIOR TO ANY DESIGN OR CONSTRUCTION IMPROVEMENTS ON THIS PROPERTY, TOWN OF EAGLE SHOULD BE CONTACTED FOR CORRECT BUILDING SETBACK INFORMATION.


9) THE PLAT RECORDED AT RN 170407 WAS USED FOR THIS SURVEY.

10) 1' CONTOUR INTERVAL.

11) POSTED ADDRESS: 775 SAWATCH ROAD.



 AREAS OF DISTURBANCE TO BE RE-SEEDING WITH NATIVE GRASSES AND WILDFLOWERS - TEMP. IRRIGATION

 NEW SOODED AREA WITH PERMANENT IRRIGATION FOR FULL COVERAGE OF AREA

New landscaping to receive temporary drip irrigation except in areas of maintained garden beds. Maintained garden beds to receive permanent irrigation. New sod areas to have design-build permanent irrigation. MAXIMUM 5000 SQ FT OF IRRIGATION.

A diagram showing a circular seal. A vertical line passes through the center of the seal, extending from the top edge to the bottom edge. The word "Seal" is written in bold text above the top edge of the seal.

775 Sawatch Road, Eagle, Colorado 81631

Dwg. Name:
Proposed
Landscape
Plan

[illegible]

Sheet

L101

775 SAWATCH ROAD
TOWN OF EAGLE, COLORADO
AUGUST 2020

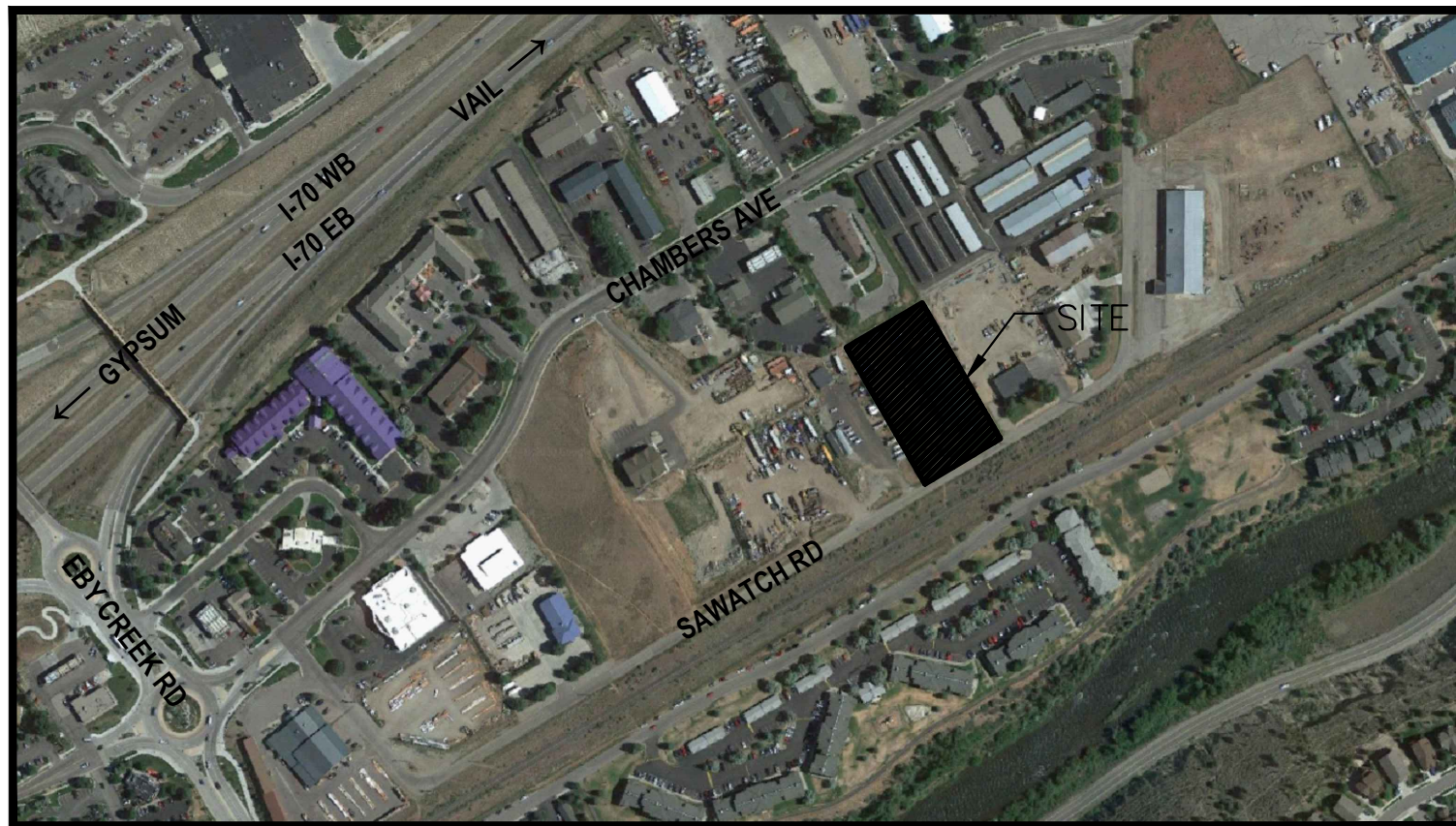
GENERAL NOTES

1. THE CONTRACTOR SHALL CONFORM TO ALL TOWN OF EAGLE DEVELOPMENT CODE, REGULATIONS, AND STIPULATIONS WHILE ACCESSING THROUGH OR WORKING ON SITE.
2. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF EAGLE, ARCHITECT, AND MARCIN ENGINEERING AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. PLANS FOR CONSTRUCTION WILL BE DISTRIBUTED AT THIS MEETING. NO CONSTRUCTION WILL BE PERMITTED PRIOR TO THE PRE-CONSTRUCTION MEETING.
3. THE CONTRACTOR IS WARNED THAT CONFLICTS WITH EXISTING UTILITIES MAY EXIST. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, AND CONTRACTOR SHALL LOCATE ALL UTILITIES INCLUDING MARCIN ENGINEERING NOR THE OWNER ASSUME ANY RESPONSIBILITY FOR UTILITY LOCATIONS. ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF MARCIN ENGINEERING AND THE OWNER SO THAT MINOR LINE OR GRADE CHANGES CAN BE MADE TO ELIMINATE ANY CONFLICTS WITH THESE EXISTING UTILITIES. ALL EXISTING UTILITIES SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. UTILITIES THAT ARE DAMAGED BY THE CONTRACTOR THAT WERE PROPERLY MARKED/LOCATED SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR ENGINEER.
4. CONTRACTOR SHALL OBTAIN, AT ITS OWN EXPENSE, ALL PERMITS AND INSPECTIONS, WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, UNLESS OTHERWISE NOTED.
5. THE CONSTRUCTION OF ALL ROADS, SIDEWALKS, CURBS, EARTHWORK AND OTHER INFRASTRUCTURE DEVELOPMENT NOT SPECIFICALLY SPECIFIED BY SEPARATE UTILITY COMPANIES, SHALL BE CONSTRUCTED TO THE TOWN OF EAGLE MUNICIPAL CODE AND/OR COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2013 EDITION AND LATEST REVISIONS, CDOT TRAFFIC STANDARD PROJECT PLANS, 2006 EDITION AND LATEST REVISIONS AND ANY SUPPLEMENTAL SPECIFICATIONS PROVIDED WITH THE CONTRACT. WHEN STANDARDS CONFLICT, THE STANDARD JUDGED MOST RESTRICTIVE BY THE ENGINEER SHALL PREVAIL. THE CONTRACTOR SHALL OBTAIN COPIES OF THESE SPECIFICATIONS AND PLANS. THE CONTRACTOR SHALL HAVE ONE COPY OF THE PLANS AND ONE COPY OF THE SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
6. CONTRACTOR SHALL NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. ANY MISSING DIMENSIONS OR DISCREPANCIES IN THE PLANS OR FIELD MEASUREMENT OF TRANSPORTATION FEATURES SHALL BE BROUGHT TO THE ATTENTION OF MARCIN ENGINEERING AND THE OWNER. IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT NOTIFYING MARCIN ENGINEERING AND THE OWNER, HE DOES SO AT HIS OWN RISK.
7. OBSERVATIONS OF THE WORK IN PROGRESS AND ON-SITE VISITS ARE NOT TO BE CONSTRUED AS A GUARANTEE OR WARRANTY BY MARCIN ENGINEERING OF THE CONTRACTOR'S CONTRACTUAL RESPONSIBILITIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF STOCKPILING OF MATERIALS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER, AND THE MATERIAL SUPPLIER.
9. CONSTRUCTION STAKING IS BY CONTRACTOR.
10. BENCHMARKS: CONTACT MARCIN ENGINEERING.
11. SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER MARCIN ENGINEERING OR THE OWNER IS RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE PROJECT SITE NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY WITH ANY REGULATIONS RELATING THERETO.
12. ALL UTILITY TRENCHES IN ROADWAY TO BE COMPACTED AND TESTED PER GEOTECHNICAL ENGINEER REQUIREMENTS.
13. SOILS AND MATERIAL TESTING IS BY THE OWNER, BUT THE CONTRACTOR MUST NOTIFY THE OWNER AND GEOTECHNICAL ENGINEER OF SCHEDULING.
14. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE PRECAUTIONS TO SIGNIFICANTLY REDUCE ANY POTENTIAL POLLUTION CAUSED BY HIS ACTIVITIES, INCLUDING VEHICLE FUELING, STORAGE OF FERTILIZERS OR CHEMICALS, ETC. THE CONTRACTOR SHALL HAVE IDENTIFIED PROCEDURES FOR HANDLING POTENTIAL POLLUTANTS AND HAVE IDENTIFIED SPILL PREVENTION AND RESPONSE PROCEDURES PRIOR TO ANY ACTIVITIES AT THE PROJECT SITE.
15. THE CONTRACTOR SHALL KEEP ONE (1) SET OF CONTRACT DRAWINGS MARKED TO FULLY INDICATE "AS-BUILT" CONDITIONS. THE DRAWINGS SHALL BE PROVIDED TO THE OWNER AND MARCIN ENGINEERING UPON COMPLETION OF THIS WORK. THREE (3) "AS-BUILT" TIES TO ALL SERVICES, FINDINGS, VALVES AND MANHOLES TO PHYSICAL MONUMENTS ARE TO BE PROVIDED BY THE CONTRACTOR.
16. IF ANY GROUND WATER IS ENCOUNTERED, THE CONTRACTOR SHALL CONTACT MARCIN ENGINEERING AND THE PROJECT GEOTECHNICAL ENGINEER IMMEDIATELY.
17. THE CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE CHANNELS, CULVERTS AND APPURTENANCES DURING CONSTRUCTION, AS NECESSARY TO PROTECT ROADS AND PROPERTY.
18. ROAD SUBGRADE SHALL BE PROOF ROLLED AND FREE OF DEFLECTION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER. ANY FAILING AREAS SHALL BE REPAIRED AND PROOF ROLLED AGAIN UNTIL ACCEPTED BY THE GEOTECHNICAL ENGINEER WITH NO ADDITIONAL COST TO OWNER.
19. ALL LANDSCAPING SHALL BE PER THE LANDSCAPE ARCHITECT PLANS AND/OR OWNER.
20. TOPSOIL SHALL BE STRIPPED AND STOCKPILED.
21. OVERSIZE BOULDERS (ROCK EXCAVATION-AS DEFINED IN CDOT SPECIFICATION 203.02.D) ENCOUNTERED DURING THE WORK SHALL BE REMOVED AND STOCKPILED IN A LOCATION DESIGNATED BY THE OWNER.
22. CONTRACTOR IS RESPONSIBLE FOR DAILY CLEANING OF ALL ACCESS ROADS AND OTHER PUBLIC STREETS NECESSITATED BY HIS ACTIVITIES ON THE SITE.
23. DUST CONTROL IS INCIDENTAL TO EARTHWORK CONSTRUCTION AND SHALL BE PROVIDED BY CONTRACTOR, AT NO COST TO OWNER, IN ACCORDANCE WITH THE TOWN OF EAGLE MUNICIPALITY STANDARDS AND SPECIFICATIONS.
24. THE CONTRACTOR SHALL PROVIDE A STORMWATER MANAGEMENT PLAN (SWMP) PER THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION.
25. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES. CONTRACTOR IS RESPONSIBLE TO REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER CONSTRUCTION IS COMPLETE AND OPEN VEGETATION APPROXIMATELY 70% RE-ESTABLISHED DEEMED BY THE OWNER.

VICINITY MAP

APPROXIMATE SCALE: 1"=400'

EAGLE, COLORADO



CONSULTANT CONTACTS

- A. Marcin Engineering LLC; Tom Marcin PE, PLS (Civil Engineer, Construction Admin), (970) 748-0271
- B. BDG Architecture; Bill Nutkins, AIA (Architect), (970) 471-0698
- C. Town of Eagle (Water & Sewer System)
- D. Holy Cross Energy (Electric), Keith Hernandez (970) 947-5439
- E. Black Hills Energy (Gas), (888) 890-5554
- F. Utility Notification Center of Colorado, (UNCC) 811

TABLE OF CONTENT

C1	COVER SHEET & NOTES
C2	EXISTING CONDITIONS & REMOVALS PLAN
C3	SITE PLAN
C4	GRADING & DRAINAGE PLAN
C5	EROSION CONTROL PLAN
C6	DETAILS SHEET

MARCIN ENGINEERING LLC
P.O. BOX 1062
AVON, COLORADO
970-748-0274

COVER SHEET & NOTES
775 SAWATCH ROAD
TOWN OF EAGLE, COLORADO

REVISIONS

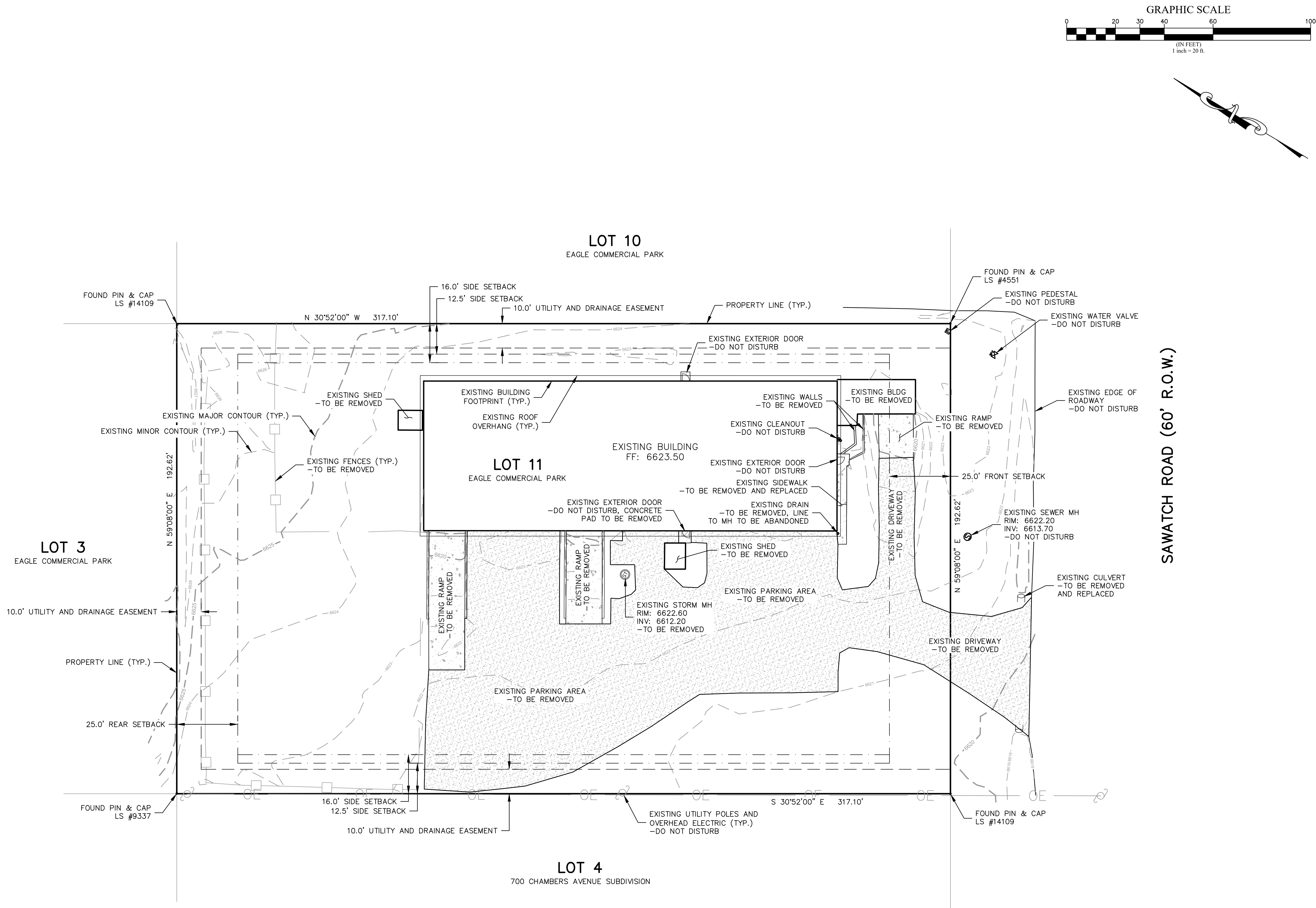
DATE _____

No.	
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JOB: 20063
DATE: 08/28/2020
SCALE: N/A

SHEET
C-1

DRAWING: C:\projects\Marsh Engineering\Projects\2020\20063-775 Sawatch Valley\2020\20063-775 Existing.dwg



SAWATCH ROAD (60' R.O.W.)

NOTES:
1: ALL LINEWORK AND DATA HEREIN
GATHERED FROM TOPOGRAPHIC SURVEY BY
EAGLE VALLEY SURVEYING, INC., DATED MAY
2020.
2: SEE ARCHITECTURAL PLANS FOR TREE
REMOVAL DETAILS.

NOT FOR CONSTRUCTION

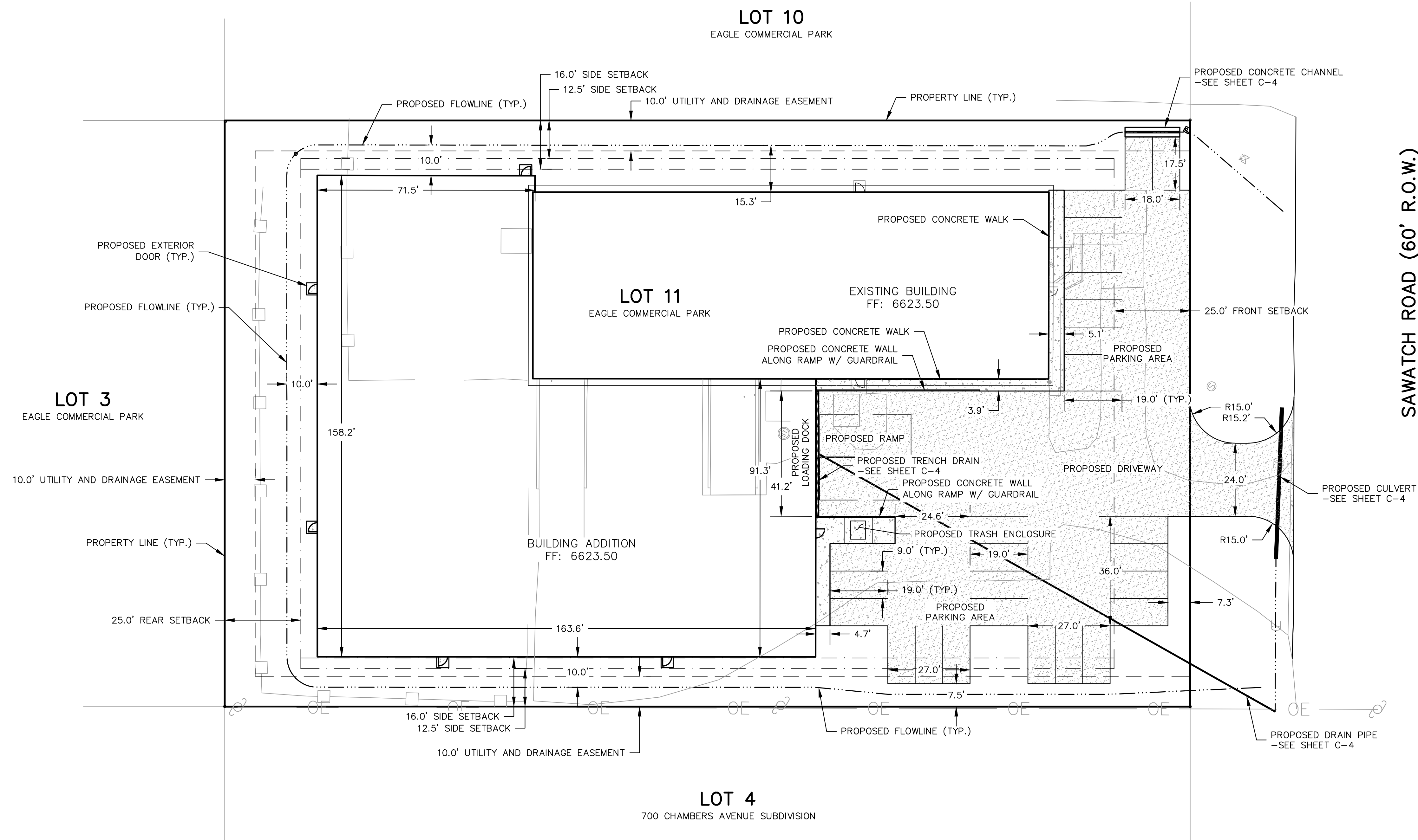
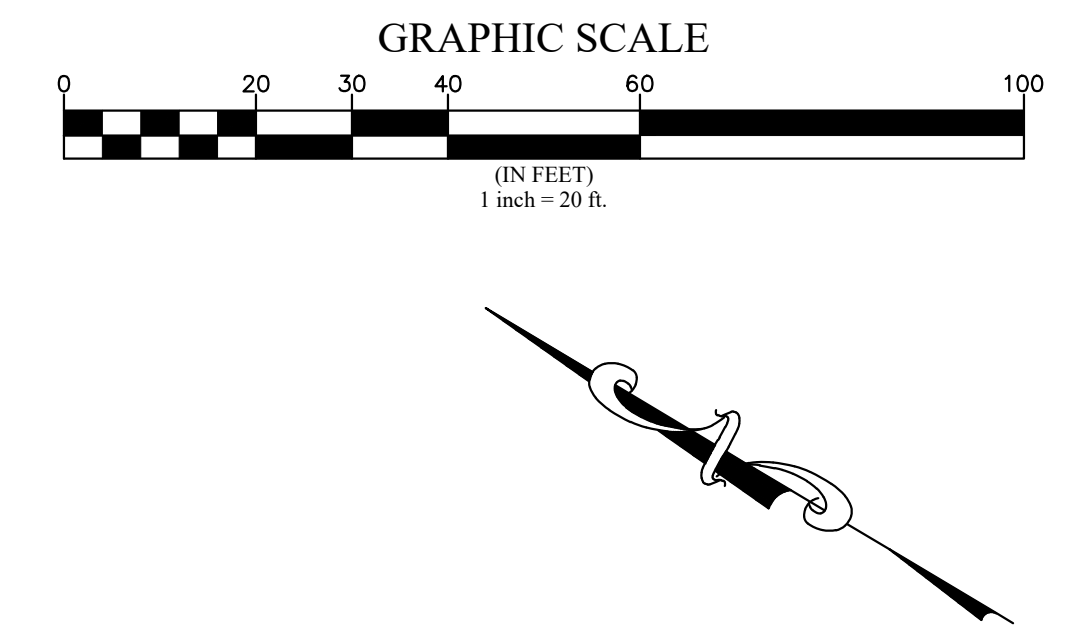
MARCIN ENGINEERING LLC
P.O. BOX 1062
AVON, COLORADO
970-748-0274

EXISTING CONDITIONS & REMOVALS PLAN
775 SAWATCH ROAD
TOWN OF EAGLE, COLORADO

NO. DATE REVISIONS BY

JOB: 20063
DATE: 08/28/2020
SCALE: 1" = 20'

SHEET
C-2



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AVON, COLORADO
970-748-0274

SITE PLAN
775 SAWATCH ROAD
TOWN OF EAGLE, COLORADO

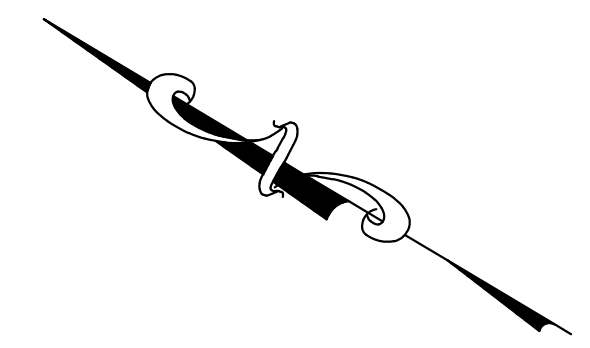
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OB: 20063
DATE: 08/28/2020
SCALE: 1" = 20'

SHEET
C-3

NOT FOR CONSTRUCTION

DRAWING: C:\Dropbox (Marcin Engineering)\Projects\2020\20063-775 Sawatch\dwg\ENG\20063-Site-Groding.dwg



GRADING & DRAINAGE PLAN
775 SAWATCH ROAD
TOWN OF EAGLE, COLORADO

5	2500	1000	500
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OB: 20063
DATE: 08/28/2020
SCALE: 1" = 20'

SHEET
C-4

NOT FOR CONSTRUCTION



RE-VEGETATE ALL DISTURBED AREAS WITH SEED, MULCH, FERTILIZER, AND TACKIFIER EXCEPT THE ROAD PLATFORM. AREAS TREATED WITH EROSION CONTROL BLANKET WILL INCLUDE TOPSOIL, SEED MIX, FERTILIZER, AND MULCH. ALL OTHER DISTURBED AREAS WILL HAVE TOP SOIL, SEED MIX, FERTILIZER, MULCH, AND TACKIFIER.

INSTALL EROSION CONTROL BLANKET (LANDLOK C2 OR APPROVED EQUAL) ON ALL DISTURBED AREAS. REVEGETATE AREA WITH TOPSOIL, SEED, MULCH, AND FERTILIZER PRIOR TO BLANKET PLACEMENT.

INSTALL TURF REINFORCEMENT MAT (TRM, LANDLOK 450 OR APPROVED EQUAL) IN DITCHES.

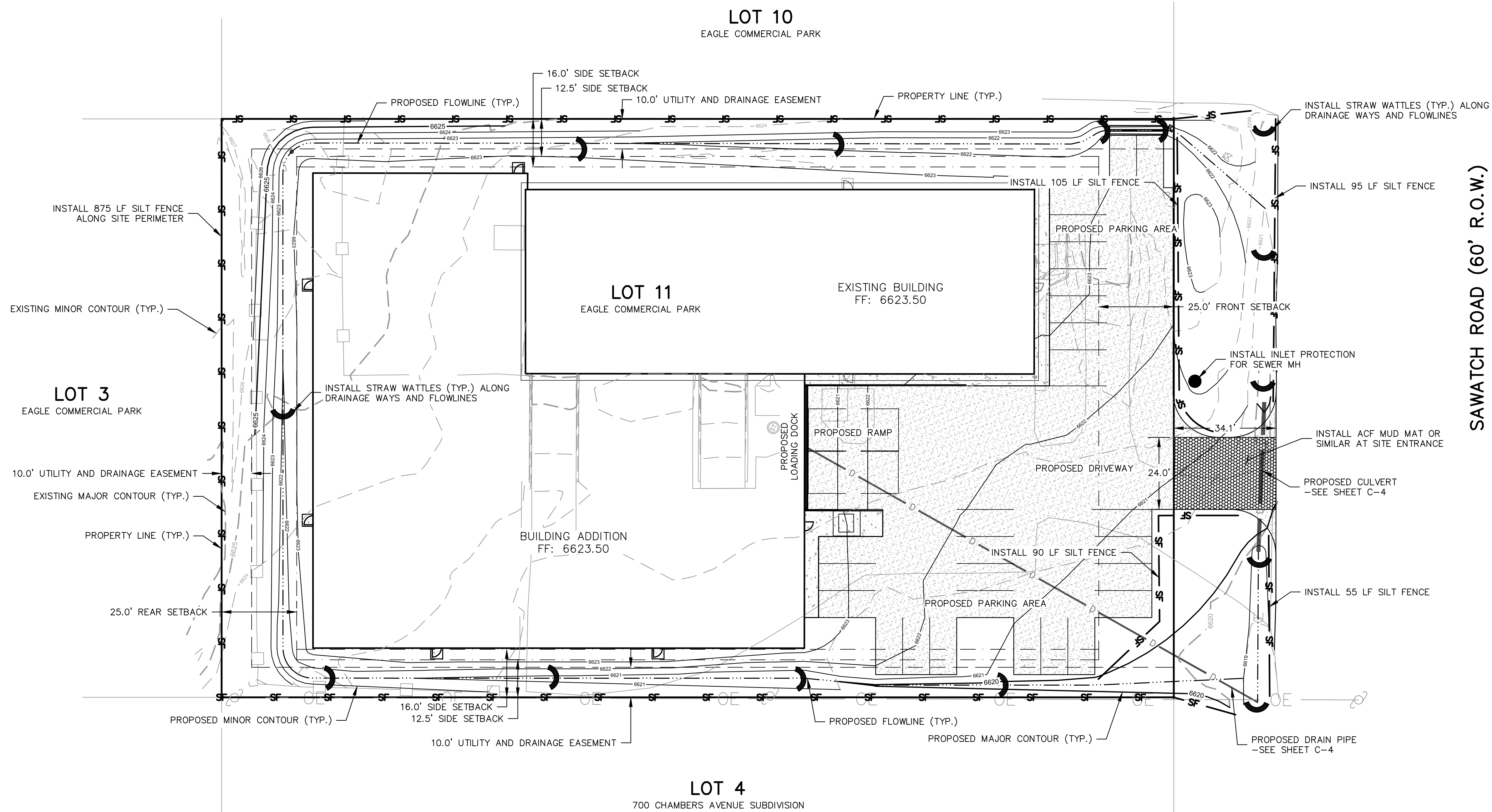
INSTALL WATTLES, CONSTRUCTION FENCE, CONSTRUCTION ENTRANCE MUD MAT, AND SEDIMENT TRAPS PRIOR TO ROAD CONSTRUCTION, EXCAVATION, AND EMBANKMENT.

INSTALL EROSION CONTROL MEASURES (LANDLOK TRM FABRIC, RIP RAP, AND EROSION LOGS) AFTER ROADWAY DITCHES HAVE BEEN CONSTRUCTED AND TOPSOIL PLACED.

THE TERM "REVEGETATION" ON THESE PLANS MEANS THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED CONTAINING THE SPECIFIED AMOUNTS OF FERTILIZER IN ACCORDANCE WITH THE LANDSCAPE PLANS.

THOSE PORTIONS OF THE ROAD SUBGRADE THAT DO NOT RECEIVE GRAVEL OR TOPSOIL SHALL BE FERTILIZED, MULCHED, AND TACKED. THE SUBGRADE SURFACE SHALL BE RAKED. THE SEED SHALL BE DRILLED OR BROADCAST AND

- | | | | |
|-----|--|-----|--|
| | RAKED INTO THE TOP 1/4" OF SOIL PRIOR TO SEEDING FERTILIZER SHALL BE WORKED INTO THE TOP 4" OF SOIL AT THE RATE SPECIFIED. | 17. | CONTRACTOR SHALL REMOVE SEDIMENT CONTROL FACILITIES AFTER FINAL STABILIZATION. |
| 8. | INSTALL AND MAINTAIN SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THESE PLANS AND/OR BEST MANAGEMENT PRACTICES. | 18. | REMOVAL AND CLEANUP OF ANY SEDIMENT THAT LEAVES THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR. |
| 9. | ALL PROPOSED SEDIMENT CONTROL MEASURES ARE TEMPORARY MEASURES UNLESS SPECIFIED ON PLANS. | 19. | CONTRACTOR TO PROVIDE EROSION CONTROL BLANKETS AND/OR OTHER TREATMENTS ADEQUATE TO CONTROL EROSION ON ALL AREAS OF GREATER THAN 2:1 SLOPE. |
| 10. | SEDIMENT CONTROL MEASURES MAY REQUIRE MINOR FIELD ADJUSTMENTS AT THE TIME OF CONSTRUCTION TO INSURE THAT THEIR INTENDED PURPOSE IS ACCOMPLISHED. | 20. | CONTRACTOR TO PROVIDE A NATIVE GRASSLAND SEED MIX WHICH SHALL BE USED TO RE-VEGETATE ALL DISTURBED AREAS OF THE SITE ACCORDING TO THE METHOD IN NOTE #1 OF THIS SECTION. CONTRACTOR TO ALSO RESTORE IRRIGATION SYSTEM TO ITS ORIGINAL CONDITION. |
| 11. | PROVIDE CONTINUOUS INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES TO ENSURE THAT SEDIMENT CONTROL EFFICIENCY IS OBTAINED UNTIL FINAL STABILIZATION OF SITE HAS TAKEN PLACE. | | |
| 12. | INSTALL SEDIMENT CONTROL MEASURES AT THE ONSET OF GRADING OPERATIONS SO THAT EFFECTIVE SEDIMENT CONTROL CAN BE ACHIEVED DURING THE ENTIRE GRADING OPERATIONS PERIOD. | | |
| 13. | STABILIZE ALL POINTS OF INGRESS AND EGRESS WITH CRUSHED STONE DURING CONSTRUCTION TO PREVENT TRACKING OF MUD ONTO PUBLIC ROADWAYS. | | |
| 14. | CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ASSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE CONSTRUCTION SITE. | | |
| 15. | ALL SEDIMENT CONTROL AND STORM DRAINAGE FACILITIES SHALL BE INSPECTED AND MAINTAINED TO ASSURE THAT THEY PROPERLY FUNCTION. | | |
| 16. | APPROVAL SHALL BE REQUESTED UPON FINAL STABILIZATION OF ALL SITES BEFORE REMOVAL OF SEDIMENT CONTROLS. | | |

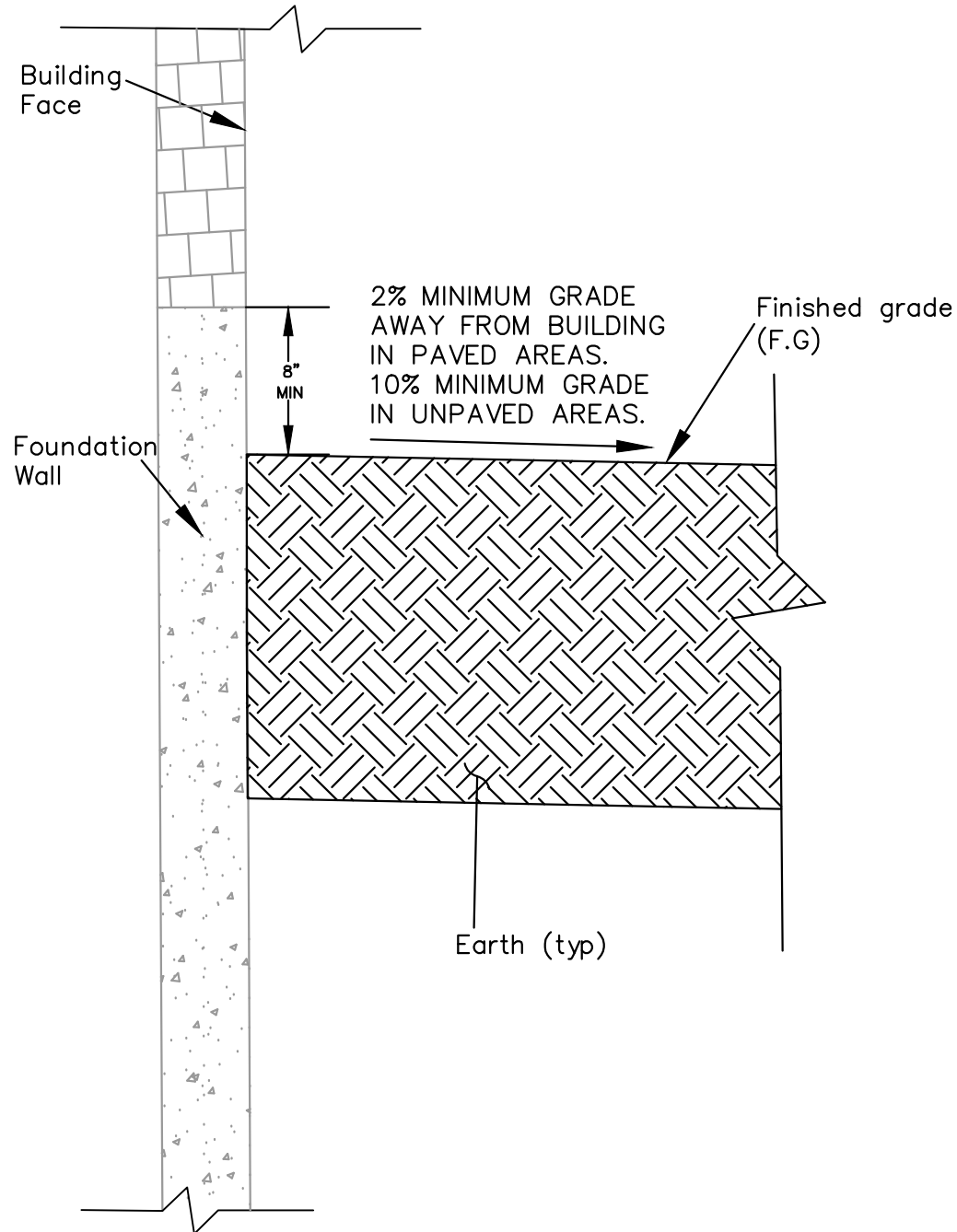


EROSION CONTROL PLAN
775 SAWATCH ROAD
TOWN OF EAGLE, COLORADO

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2000	
1	
2	

SHEET
C-5

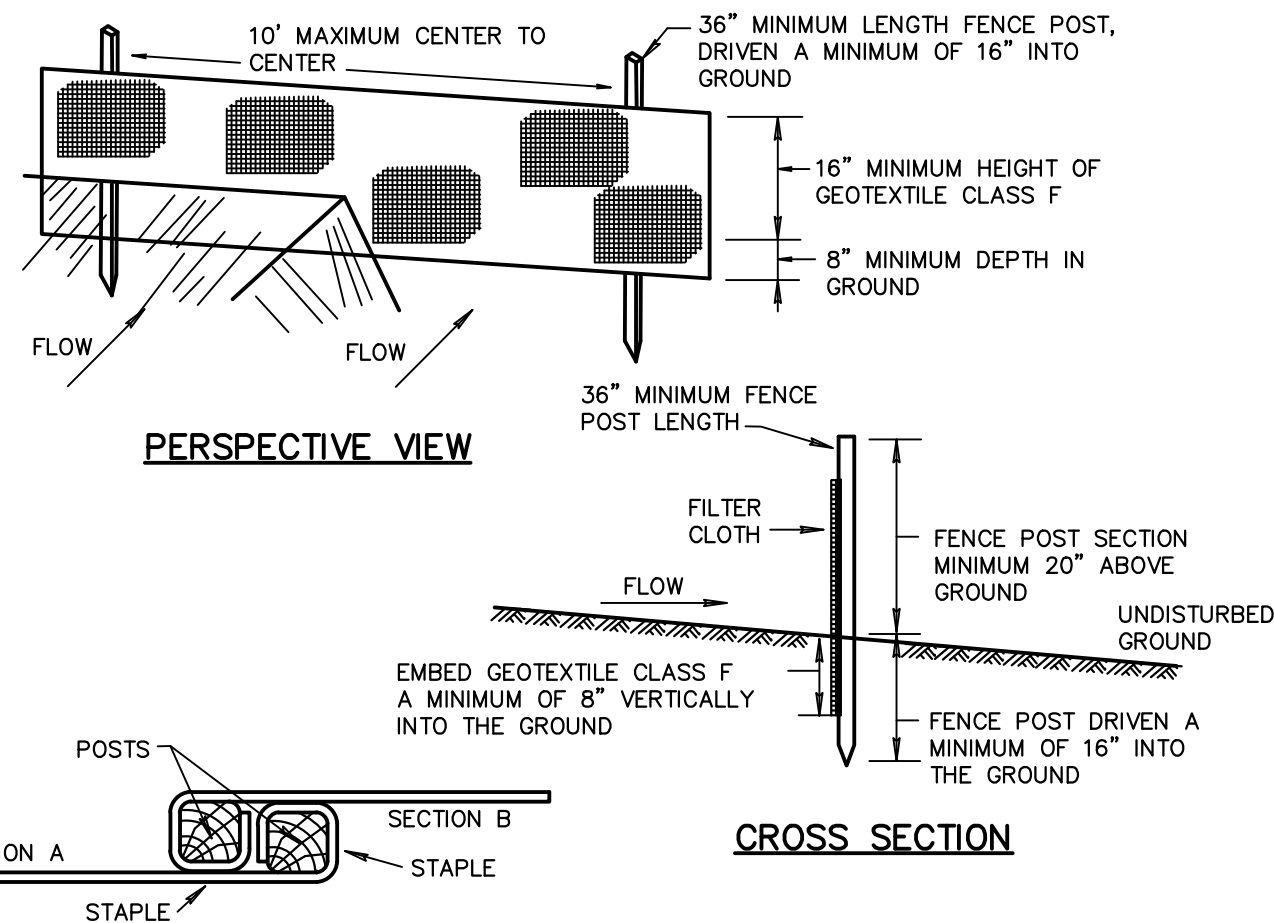
NOT FOR CONSTRUCTION



TYPICAL SECTION, UNLESS OTHERWISE NOTED

NT.S.

A GRADING NEAR FOUNDATION WALLS



JOINING TWO ADJACENT SILT FENCE SECTIONS TOP VIEW

SILT FENCE
Approx. Scale: 1" = 2'-0"

STANDARD SYMBOL

Construction Specifications

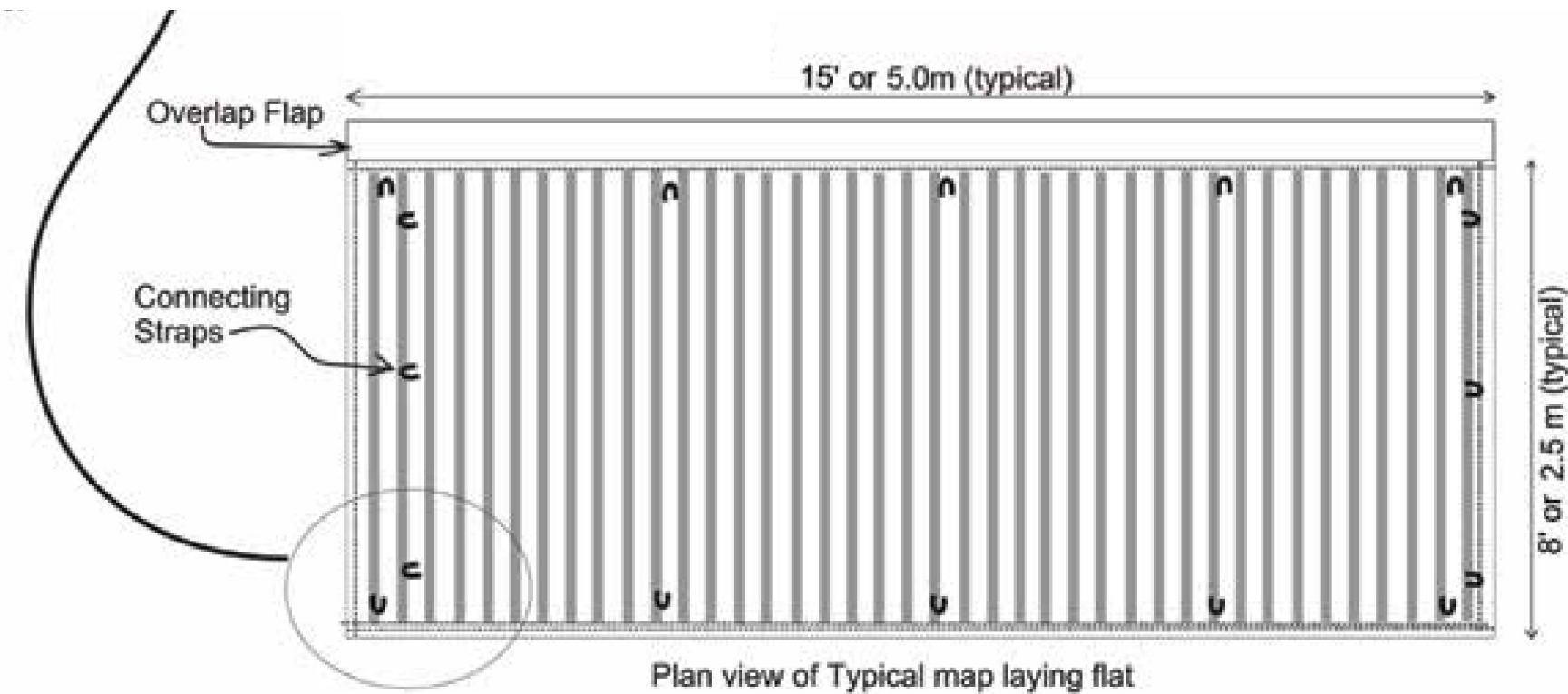
- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pond per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and midsection and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in. (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in. (min.)	Test: MSMT 509
Flow Rate	0.3 gal. ft. / minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

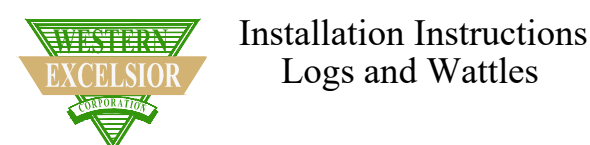
NT.S.

B SILT FENCE



NT.S.

C MUD MAT



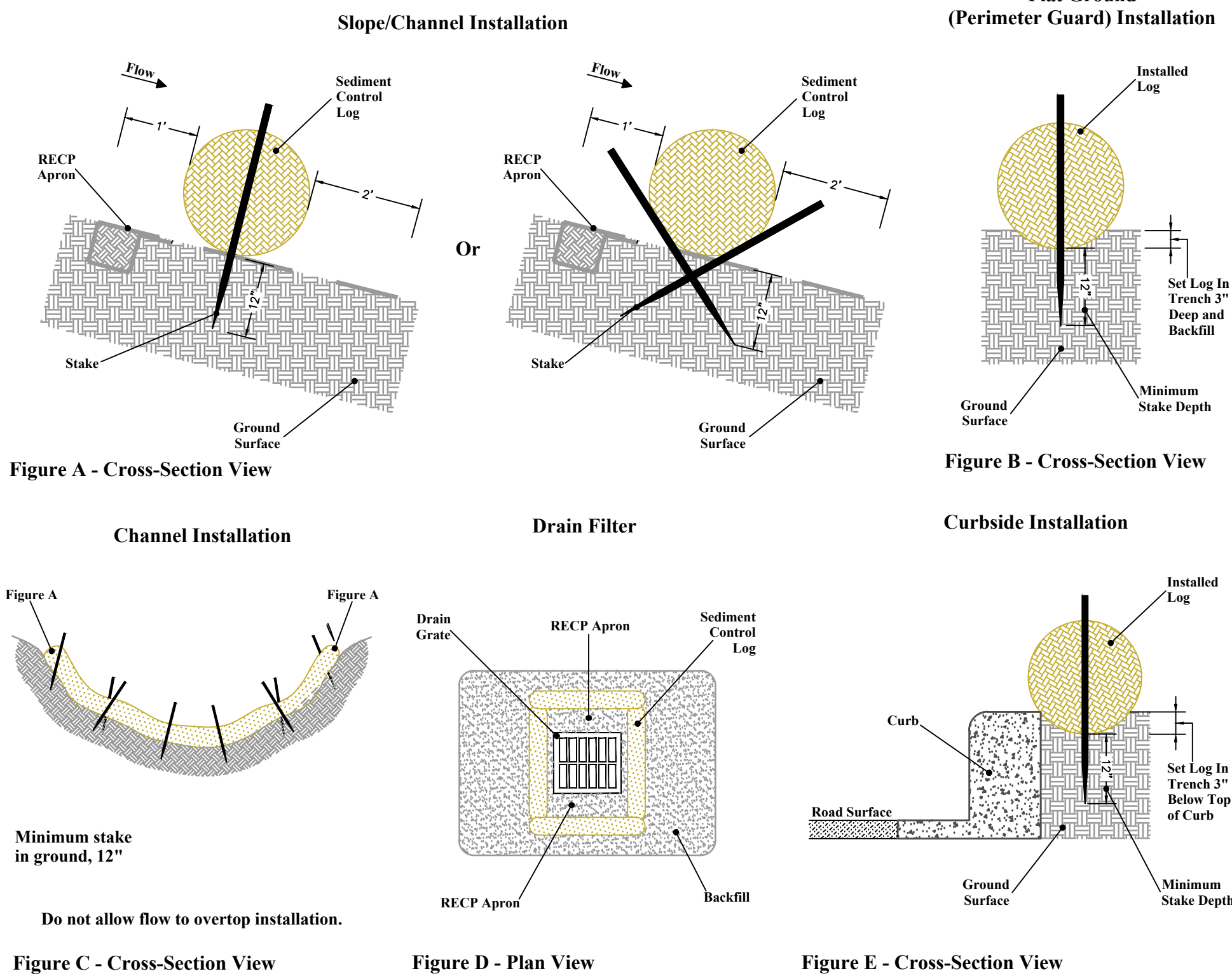
- Step 1 - Site Preparation**
Prepare site to design profile and grade. Remove debris, rocks, clods, etc.. Ground surface should be smooth prior to installation to ensure log remains in contact with slope.
- Step 2 - Staple Selection**
At a minimum, 1" long by 1" by 24", stakes are to be used to secure the log to the ground surface. Installation in rocky, sandy or other loose soil may require longer stakes.

Slope Installation
Place RECP along slope to provide upstream apron for log. Secure RECP according to standard slope installation instructions including upstream anchor trench. Secure log to blanket, ensuring log remains in intimate contact with the RECP over the length of the installation. A minimum of one foot upstream apron and two foot downstream apron are required for installation. Subsequent, downslope rows of logs should be spaced appropriately for site conditions to minimize acceleration of flow. Further, log seams are to be offset to ensure continuous filtration. Figure A presents a schematic of a slope installation in profile view.

Channel Installation
Place RECP along channel to provide upstream and downstream apron for log identically to slope installation. Secure log to blanket, ensuring log remains in intimate contact with the RECP over the length of the installation. A minimum of one foot upstream apron and two foot downstream apron are required for installation. Subsequent, downslope rows of logs should be spaced appropriately for site conditions to minimize acceleration of flow. Further, log seams are to be offset to ensure continuous filtration. Figure A/ Figure C presents a schematic of a channel installation.

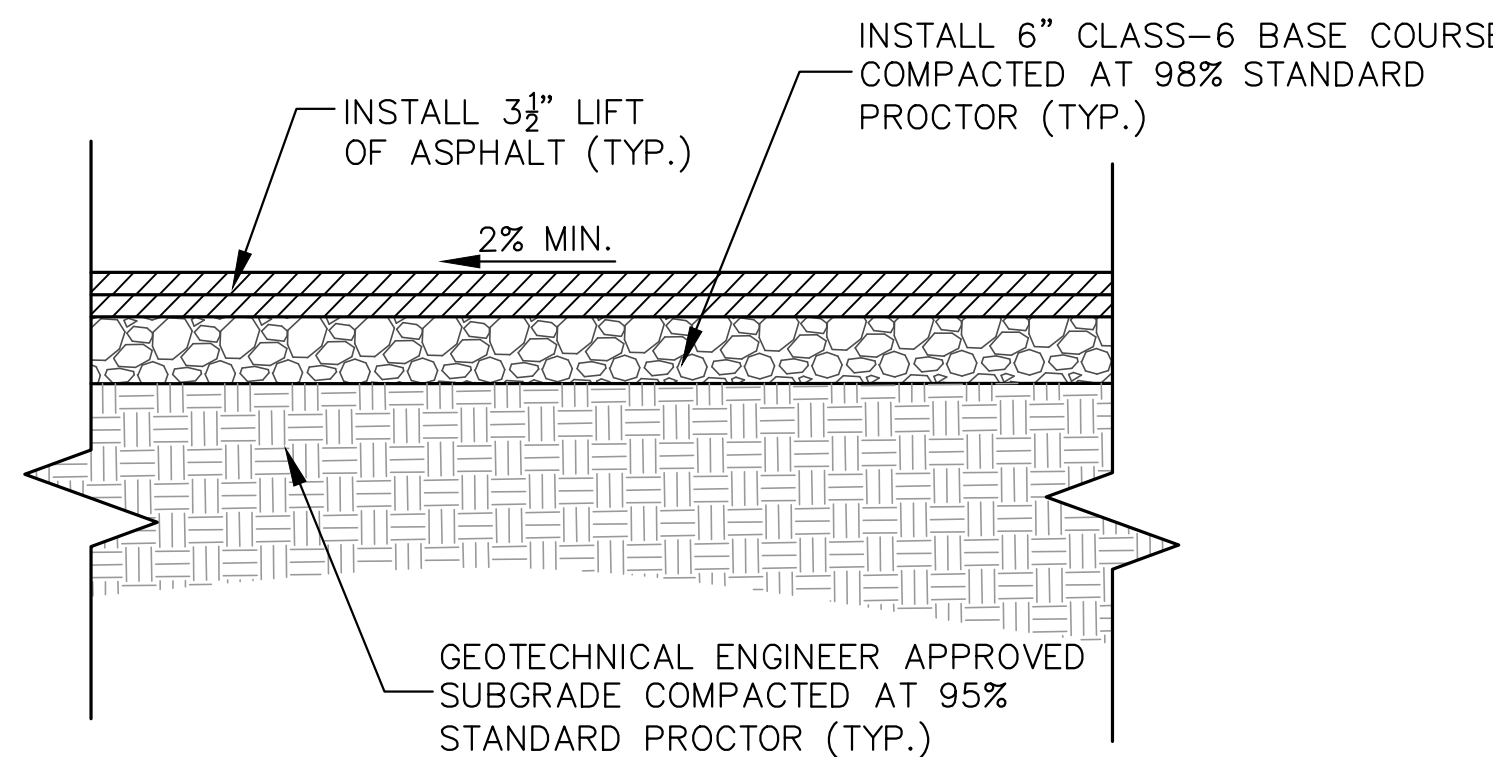
Drain Filter Installation
Surround drain inlet to be protected with log, ensuring seams are overlapping to minimize flow circumventing log. Secure logs to ground surface ensuring the log remains in intimate contact with the ground surface over the entire installation. Provide RECP apron secured to the ground surface between drain and log.

Document # WE_EXCEL_LOG_IL. Please contact Western Excelsior technical support Division at 800-967-4009 with specific questions or for further information.



NT.S.

D STRAW WATTLE



NT.S.

E ASPHALT DRIVEWAY SECTION

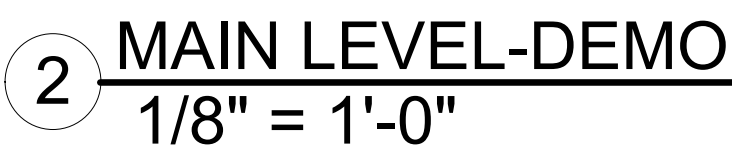
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AVON, COLORADO
970-748-0274

DETAILS SHEET
BROADWAY STATION
EAGLE, COLORADO

NO.	DATE	REVISIONS	BY

JOB: 20063
DATE: 08/28/2020
SCALE: N/A

SHEET
C-6



① MAIN LEVEL-EXISTING
1/8" = 1'-0"

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970.471.0698 | BNUTKINS@NDG.COM
PO BOX 634 EDWARDS, COLORADO 81632

AL

WESTERN SLOPE LAUNDRY

773 SAWATCH DR.
EAGLE, CO 81631

02

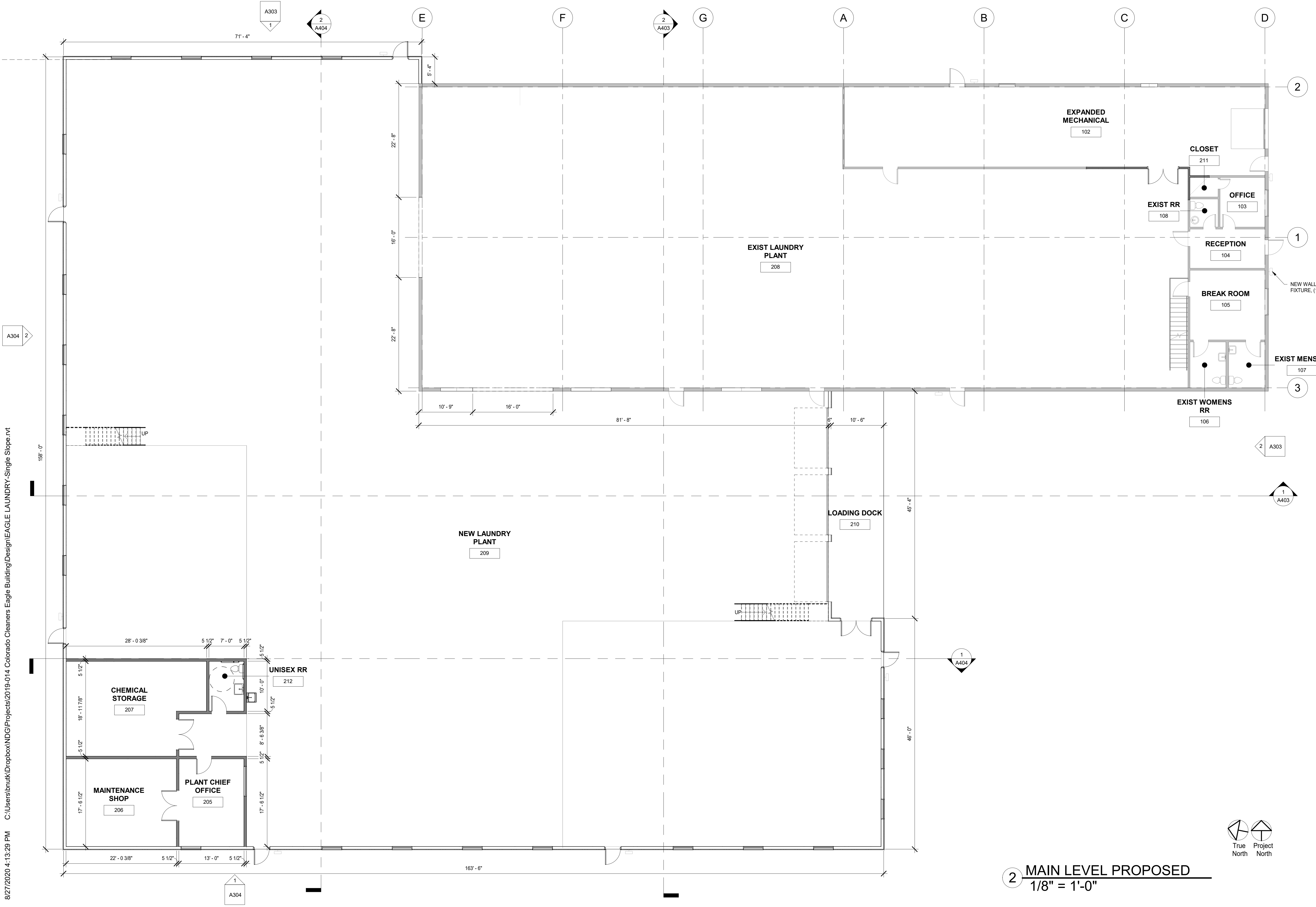
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LEVEL

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A200

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SEAL

WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

Job #
1802
Issue Date

Drawing Name
PROPOSED MAIN
PLAN

Revision	No.	Date

A201

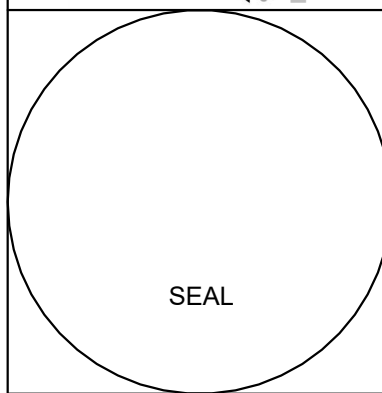
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WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

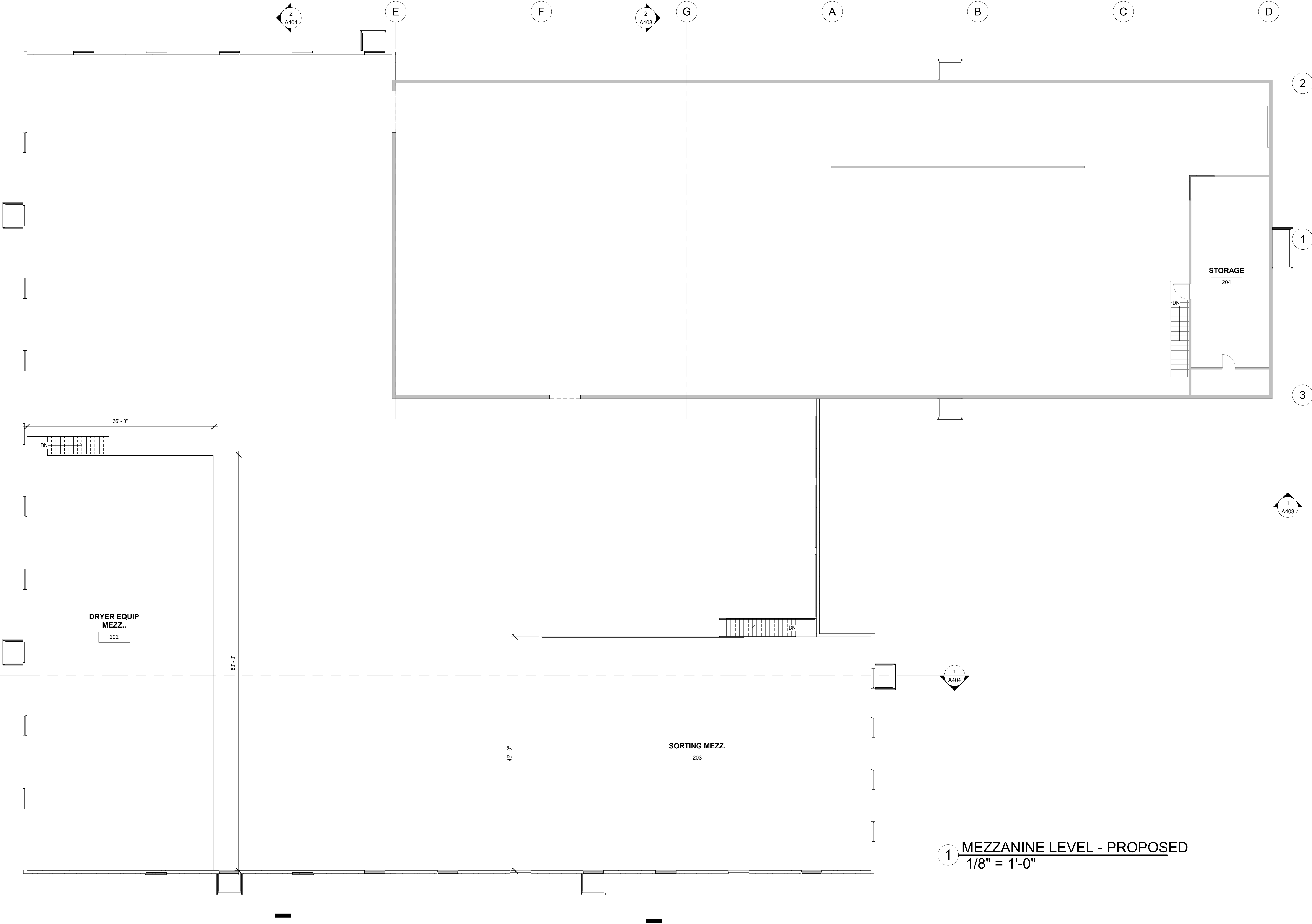
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Drawing Name
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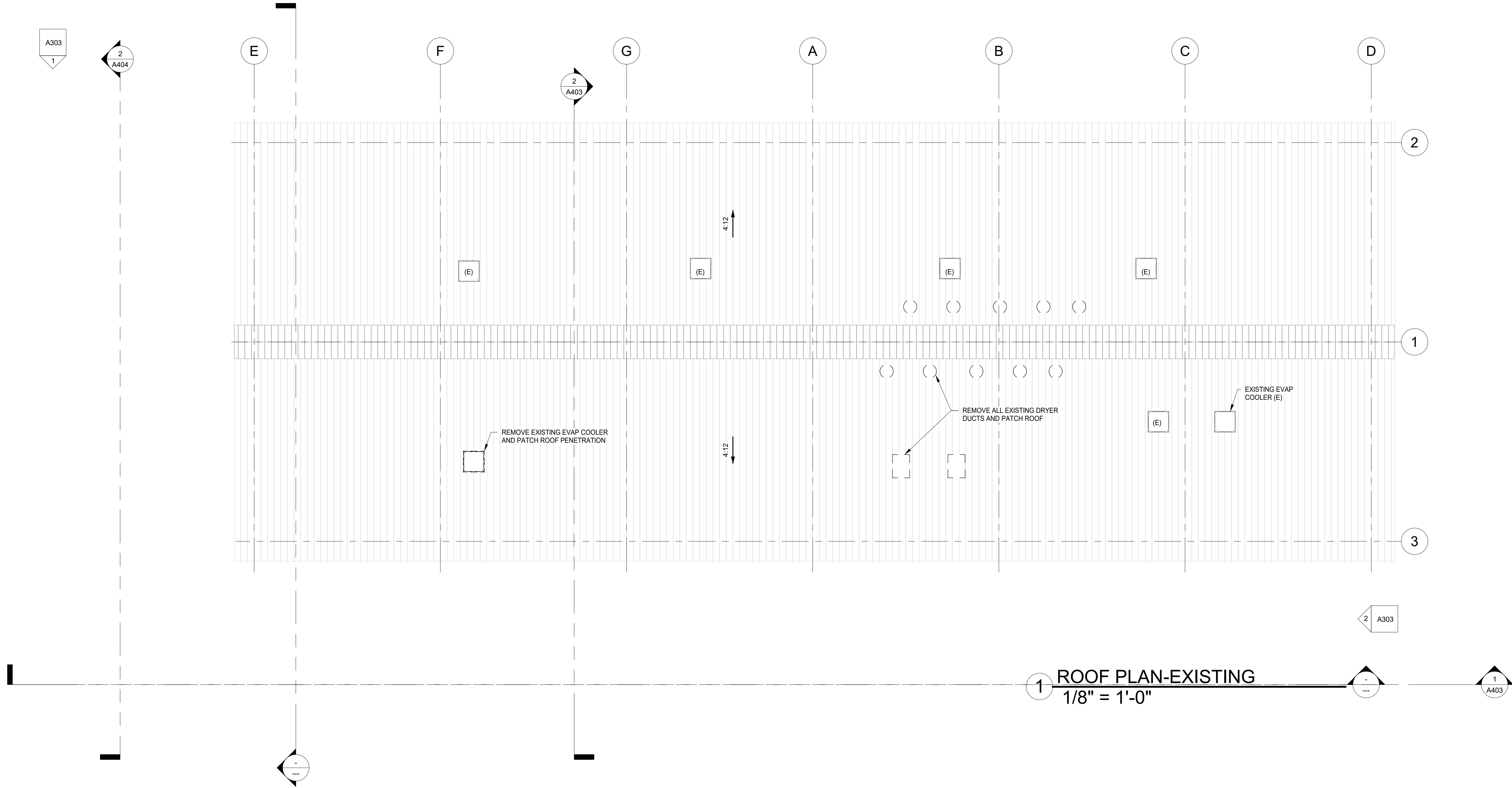


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Revision	No.	Date



WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

Job #
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Issue Date

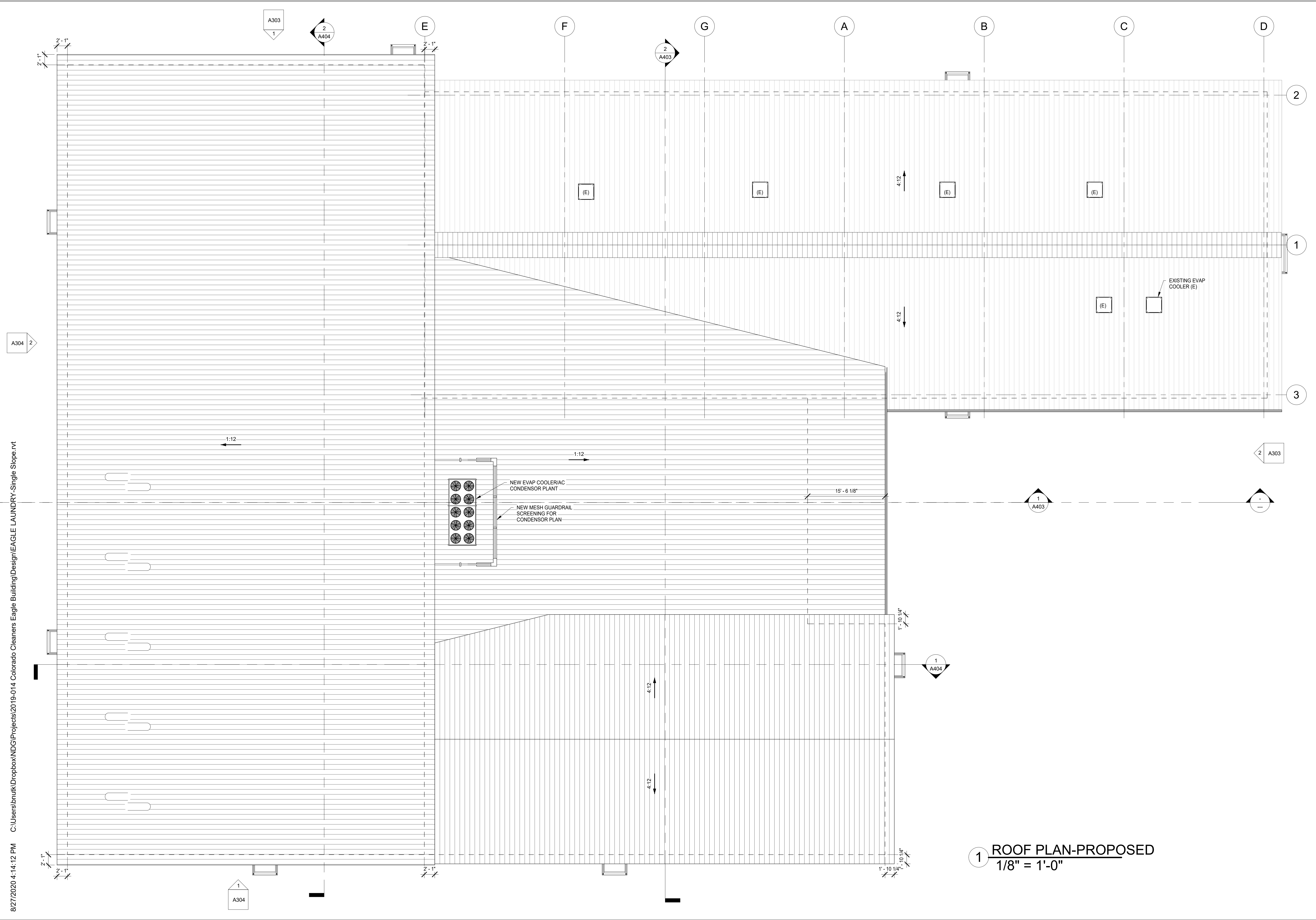
Drawing Name
EXISTING ROOF
PLAN

Revision	No.	Date

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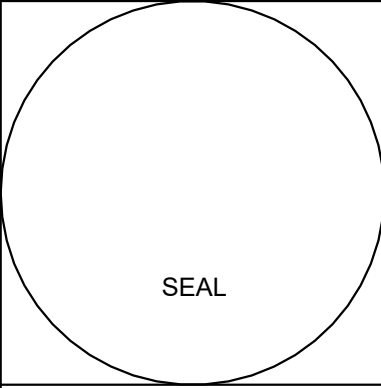
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1 ROOF PLAN-PROPOSED
1/8" = 1'-0"

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WESTERN SLOPE LAUNDRY
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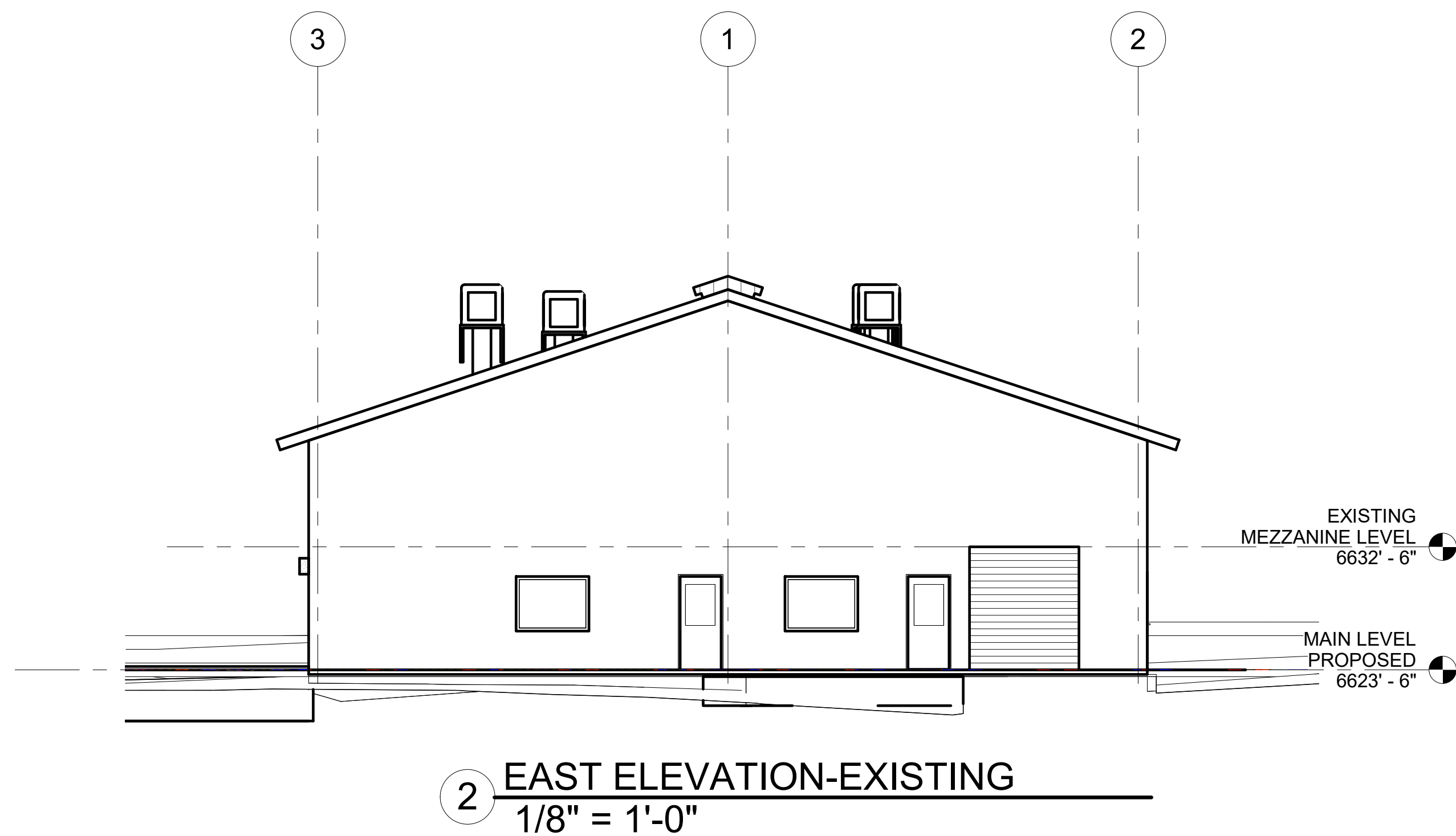
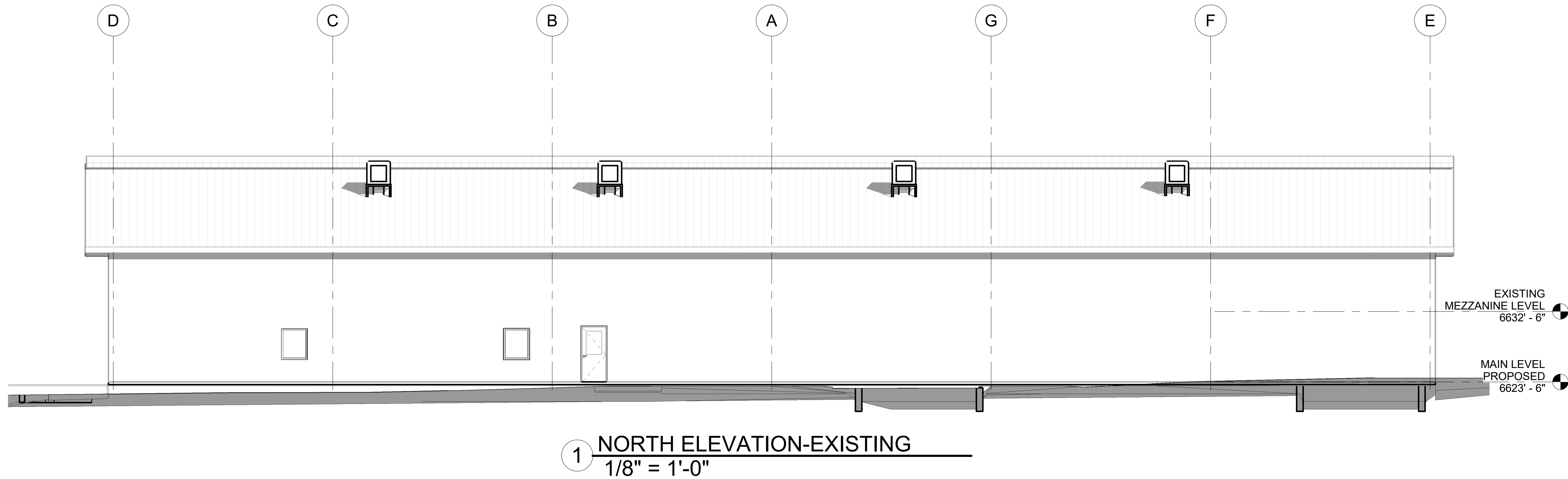
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Drawing Name
PROPOSED ROOF
PLAN

Revision	No.	Date

A205

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SEAL

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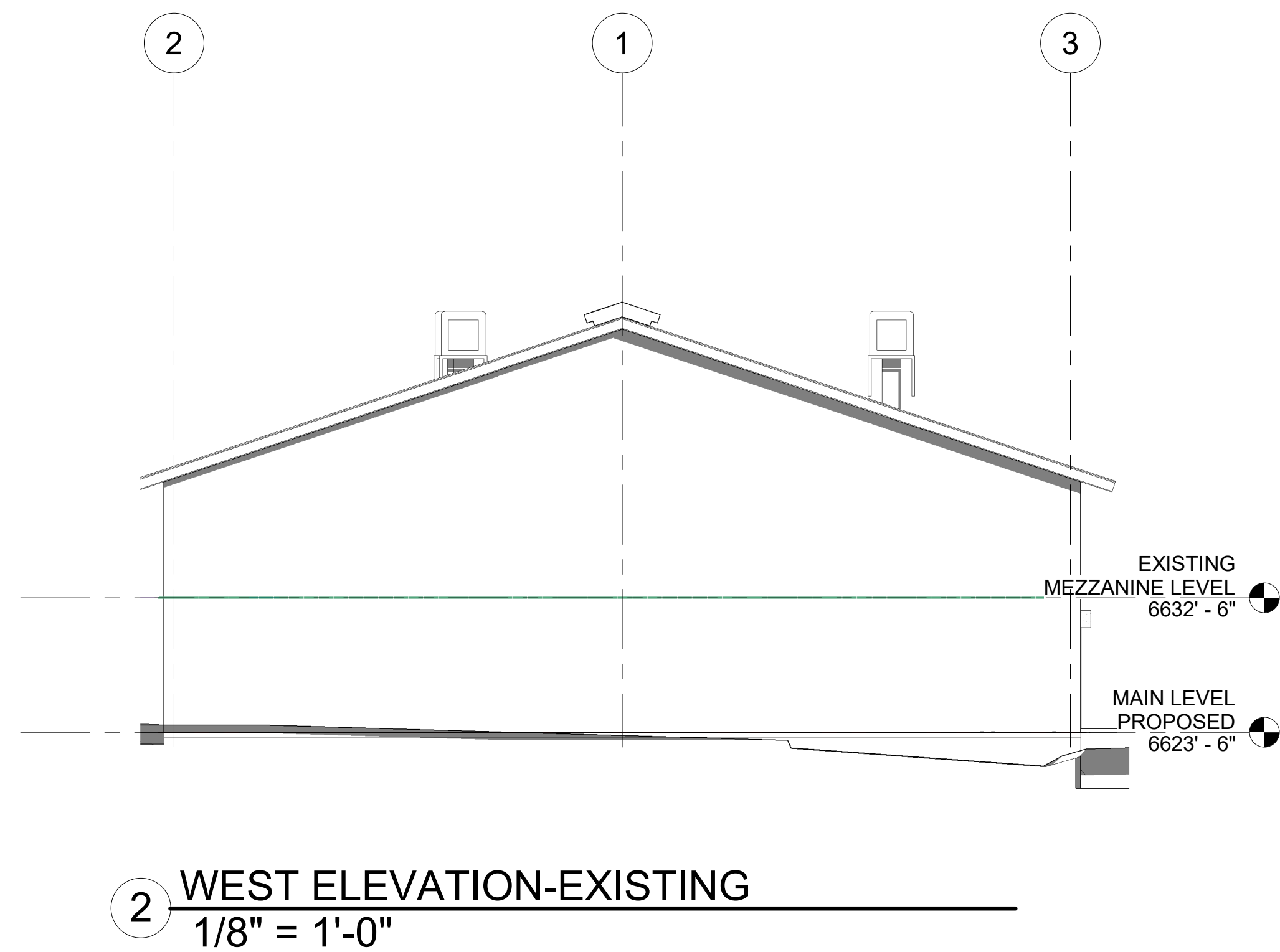
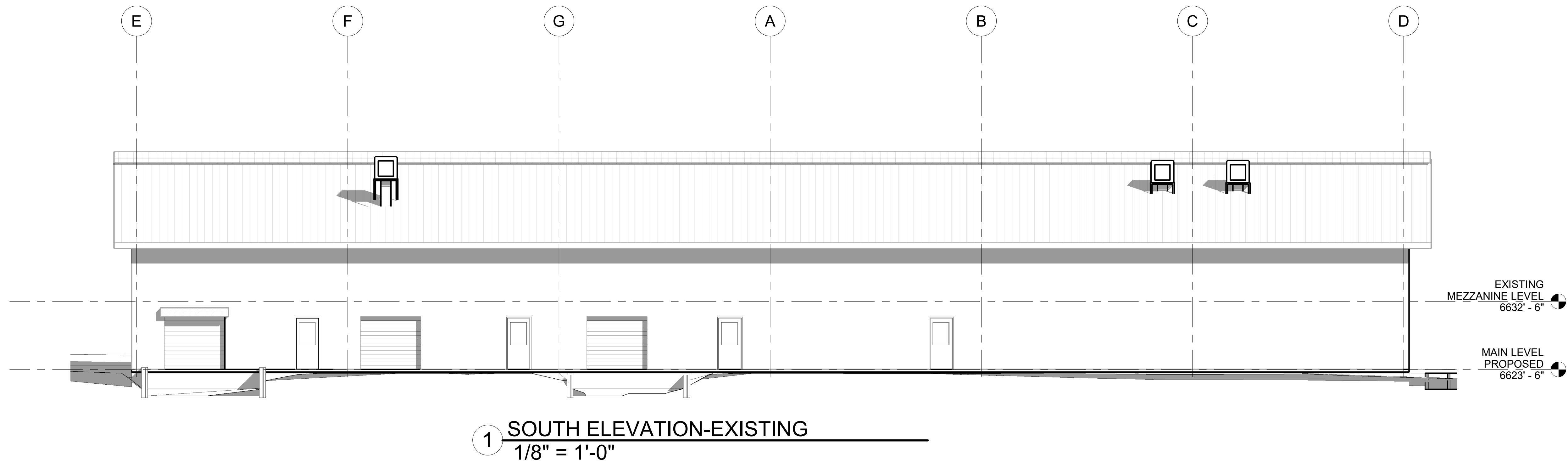
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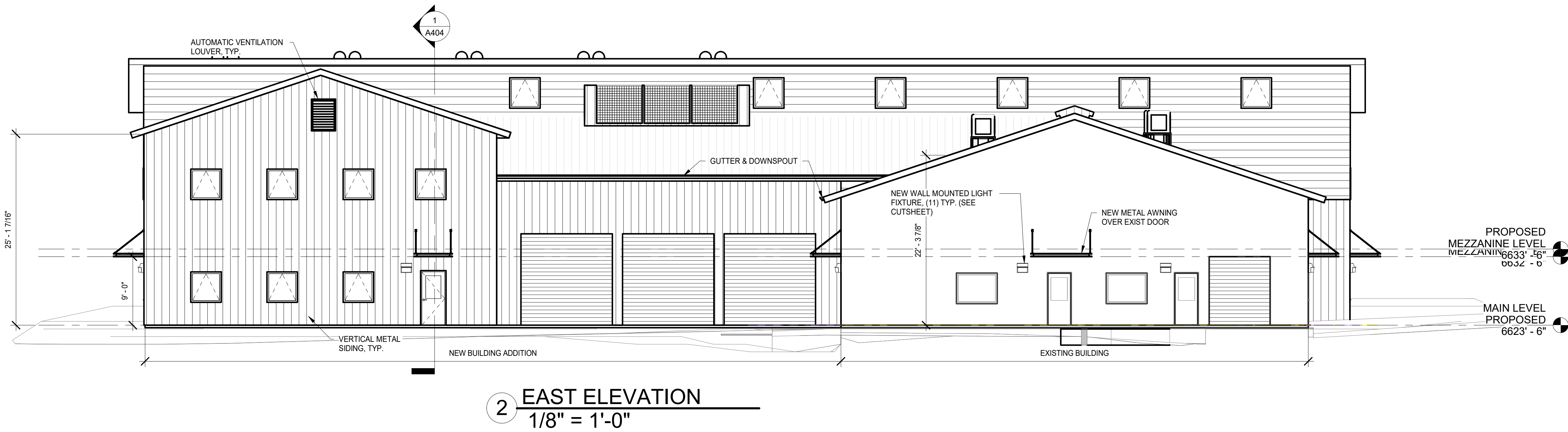
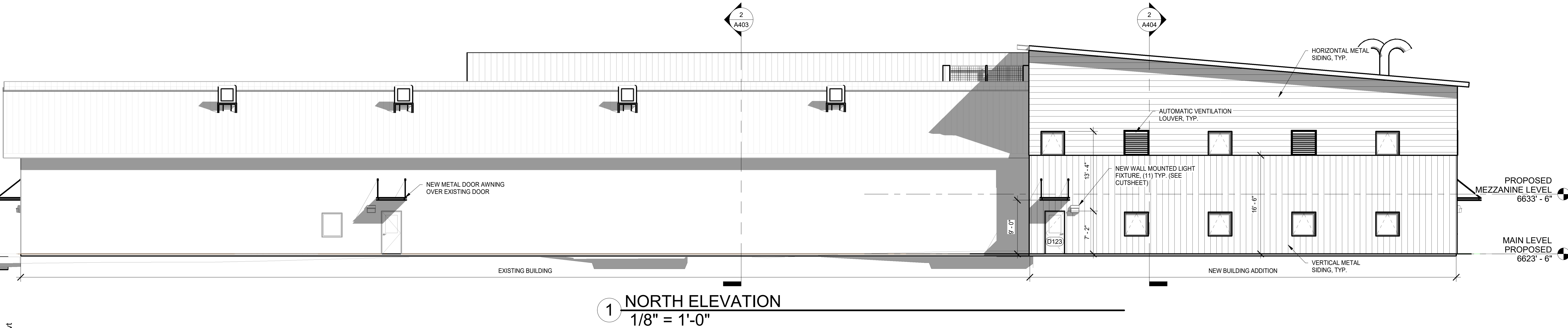
Revision	No.	Date				

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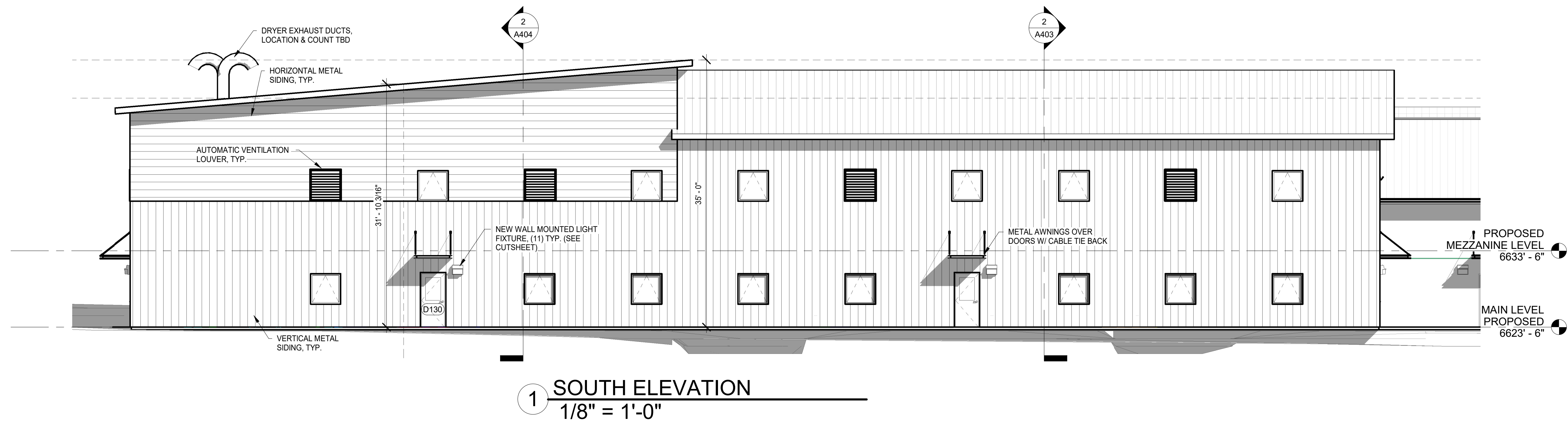
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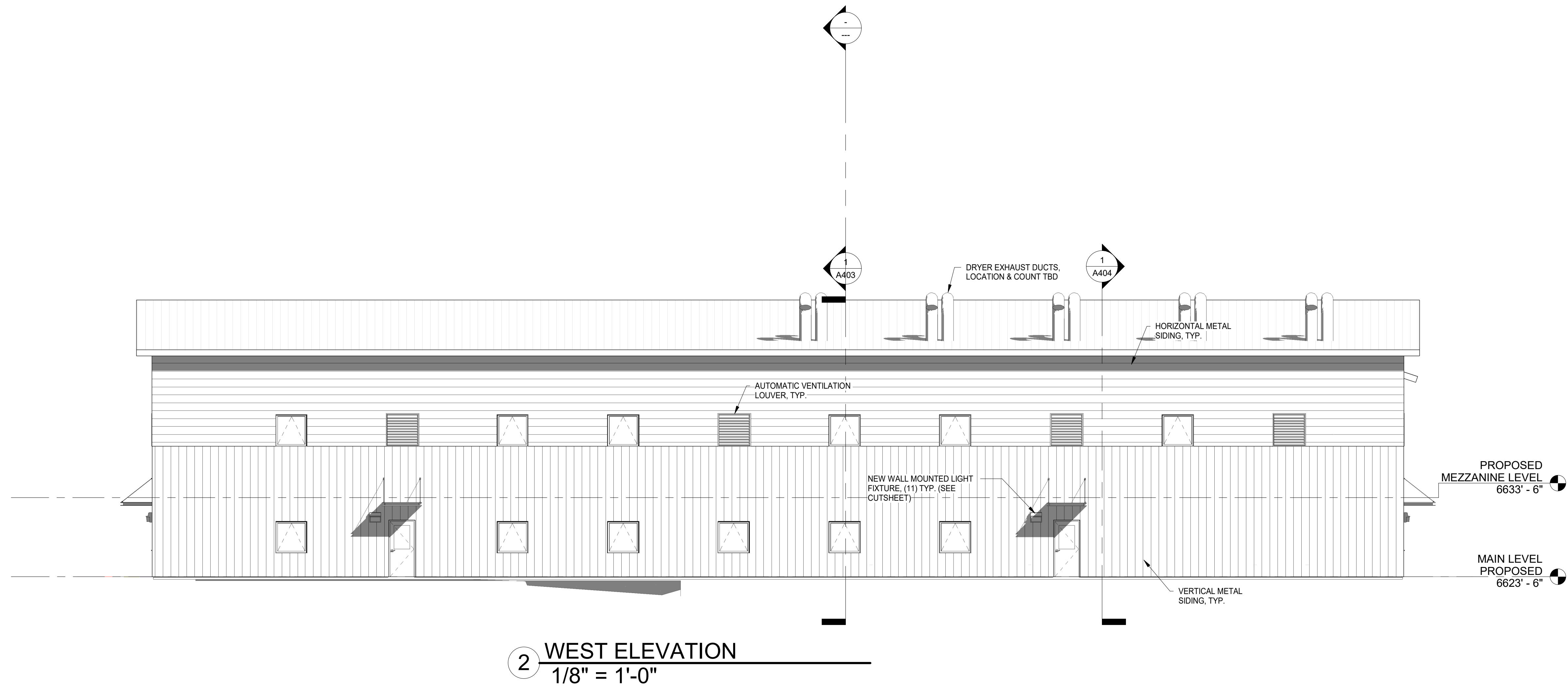


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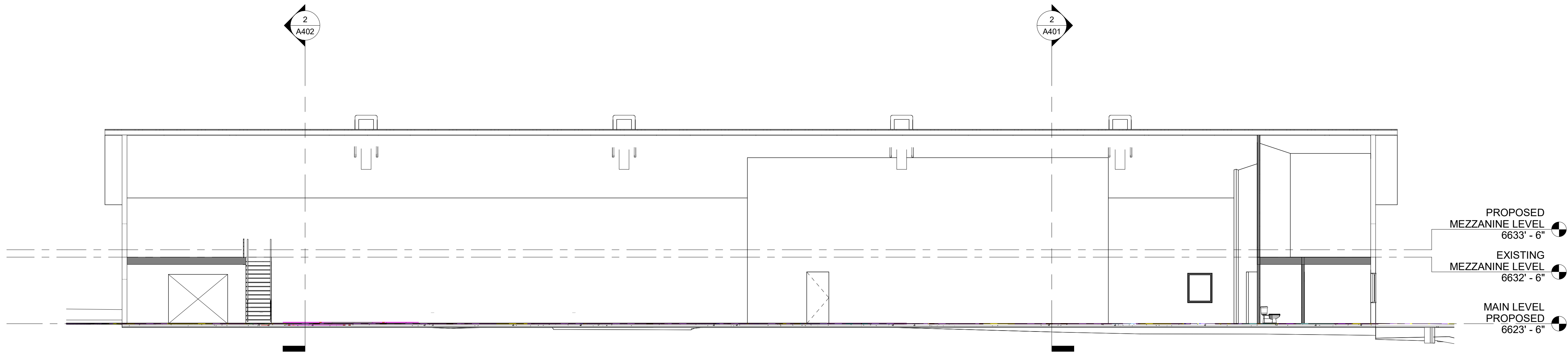


1 SOUTH ELEVATION
1/8" = 1'-0"

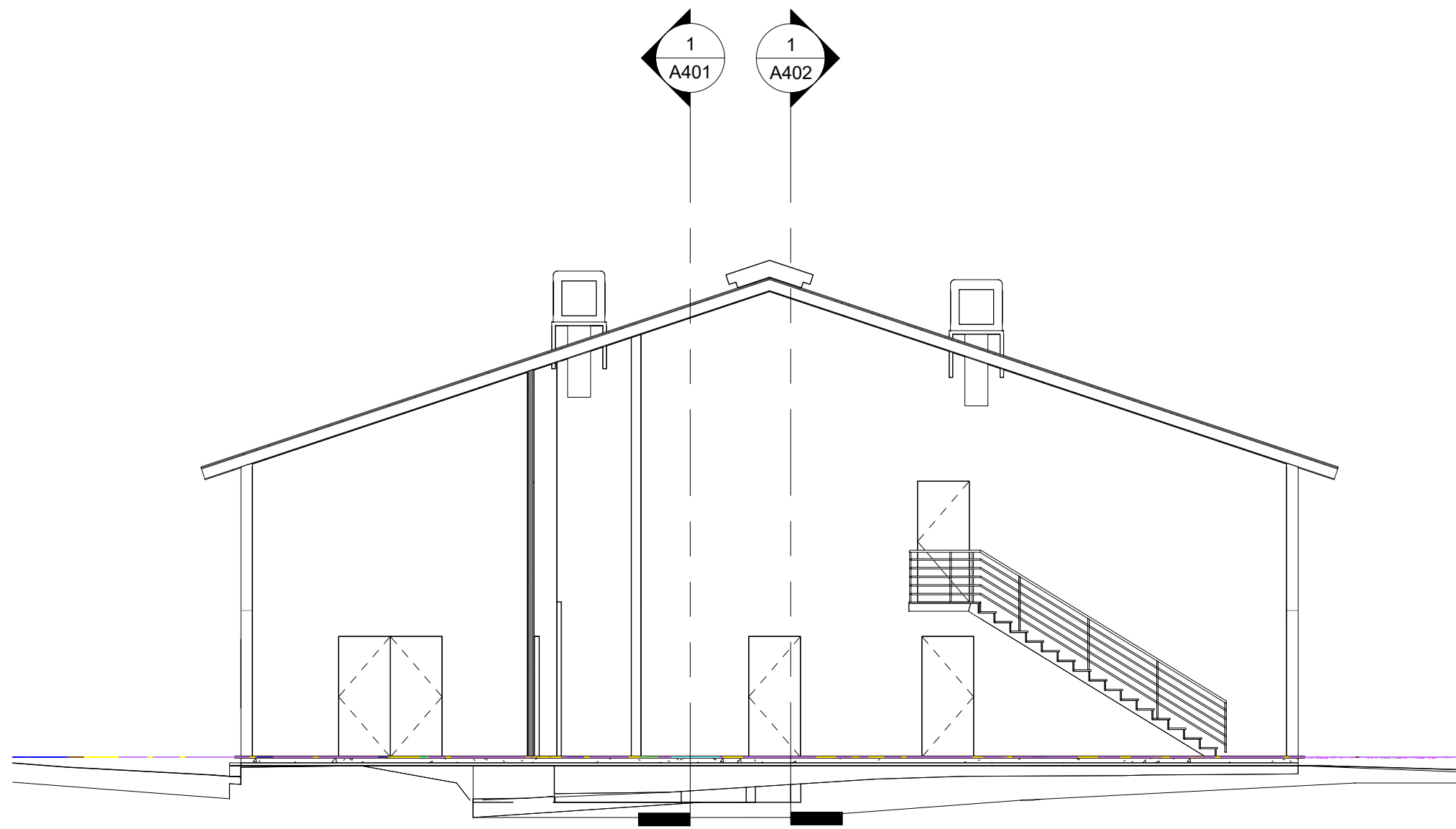


2 WEST ELEVATION
1/8" = 1'-0"

Revision	No.	Date



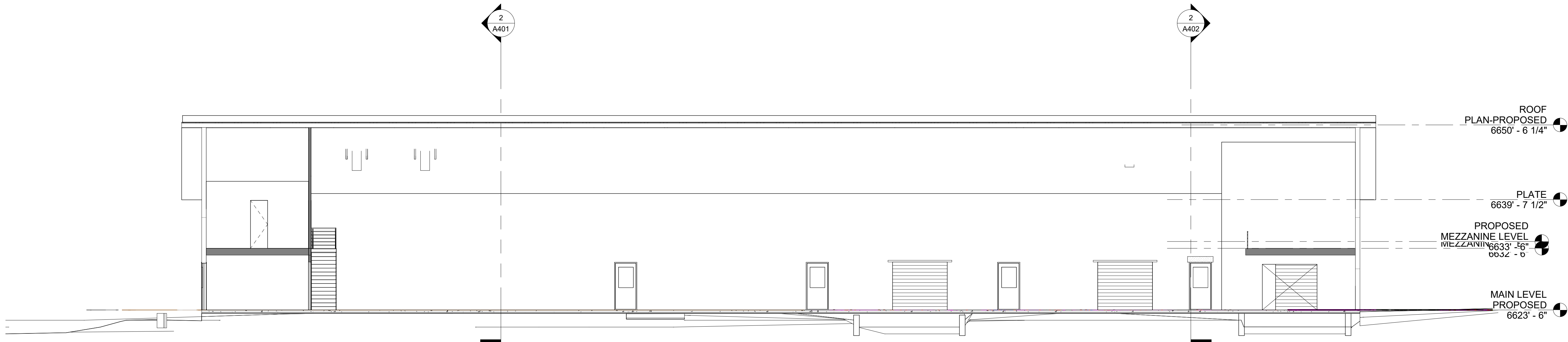
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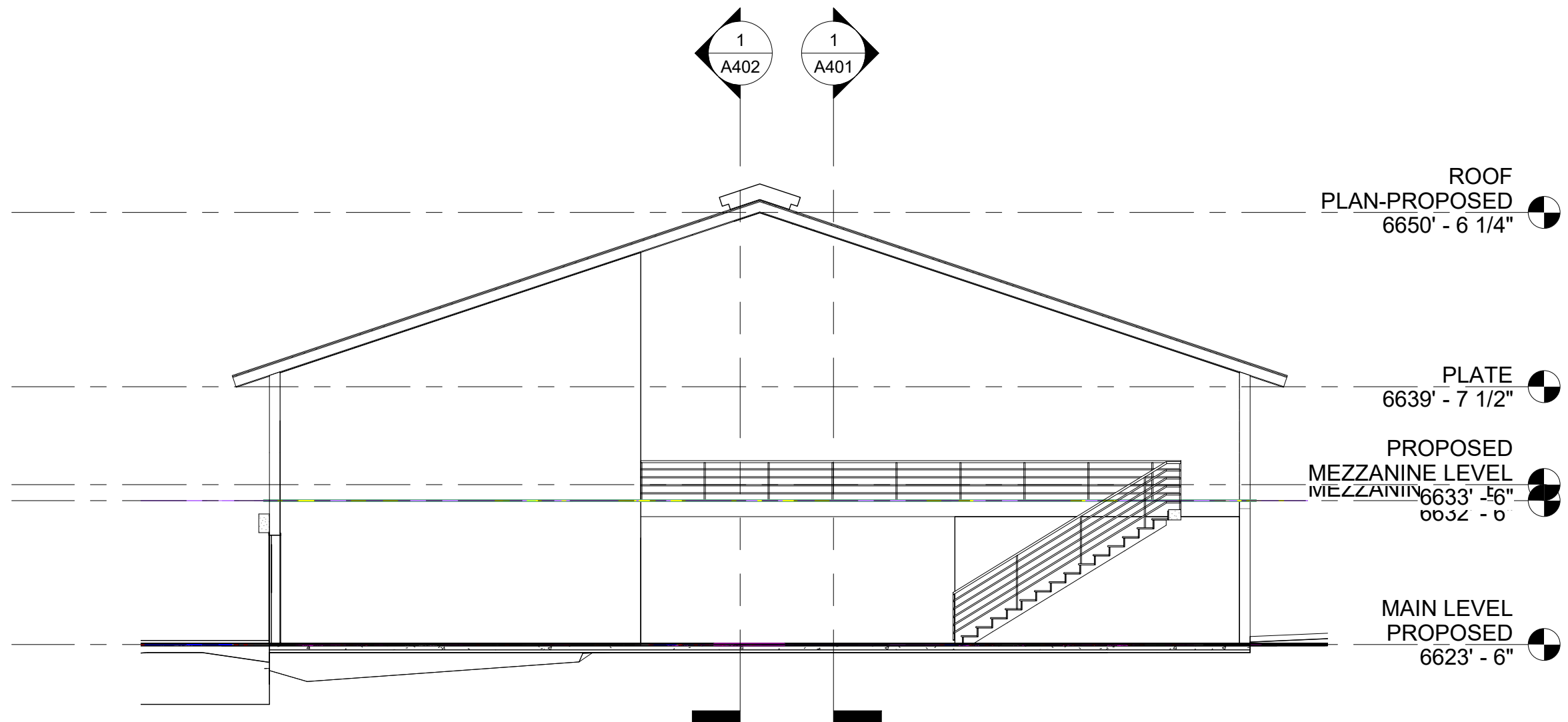
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Revision	No.	Date

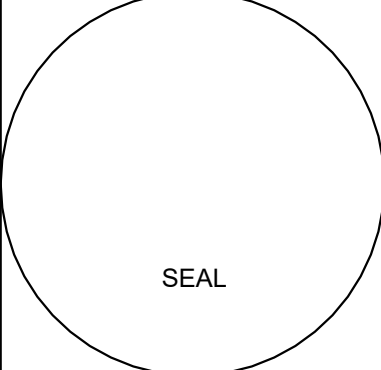
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1 EXISTING SOUTH SECTION
1/8" = 1'-0"



2 EXISTING WEST SECTION
1/8" = 1'-0"



WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

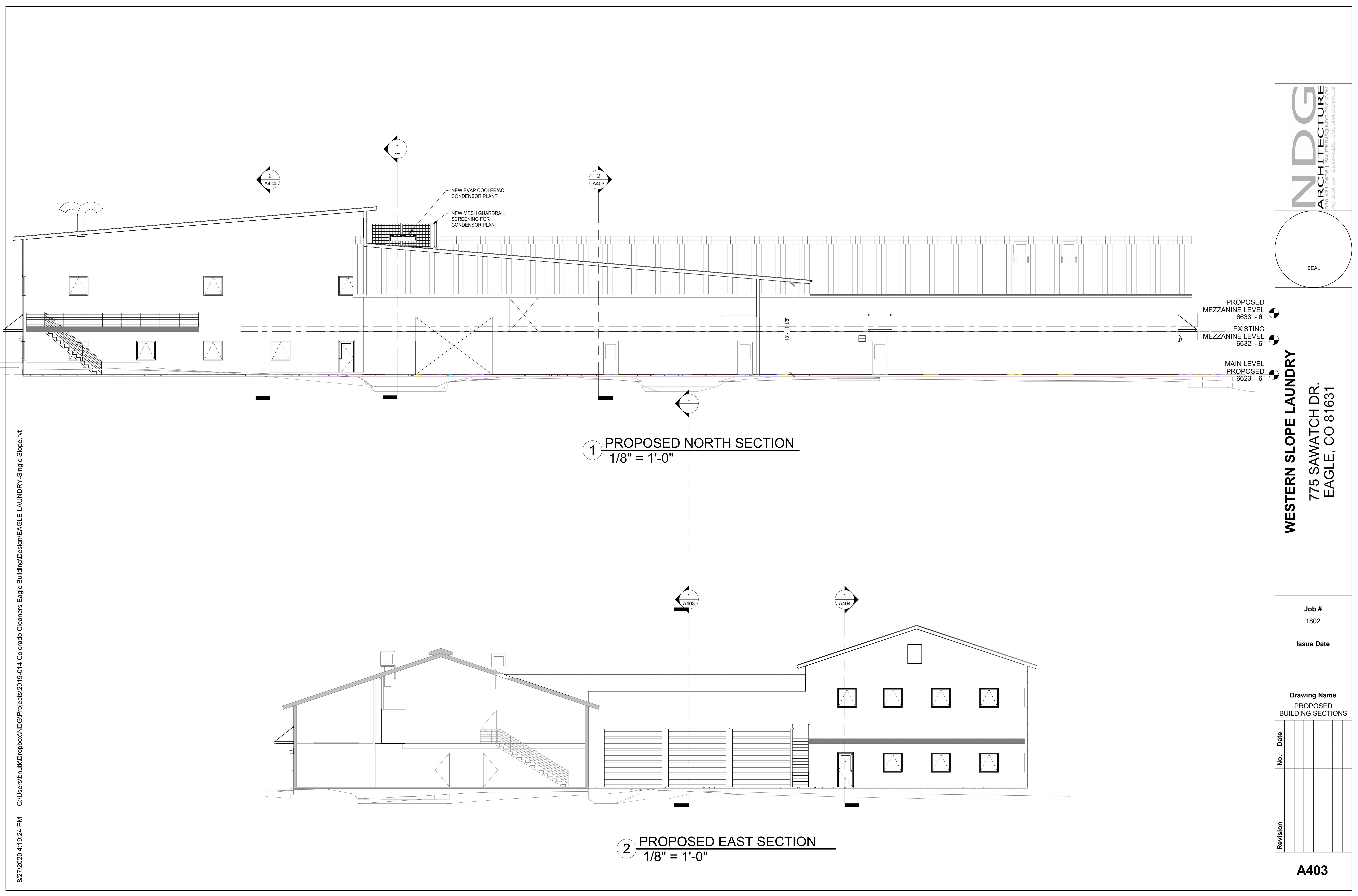
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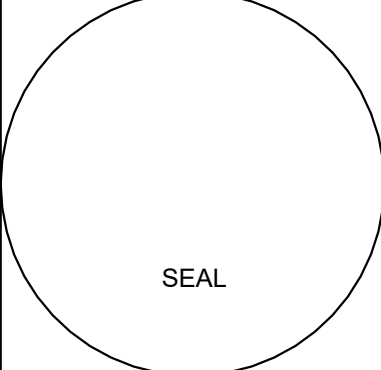
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A402



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WESTERN SLOPE LAUNDRY
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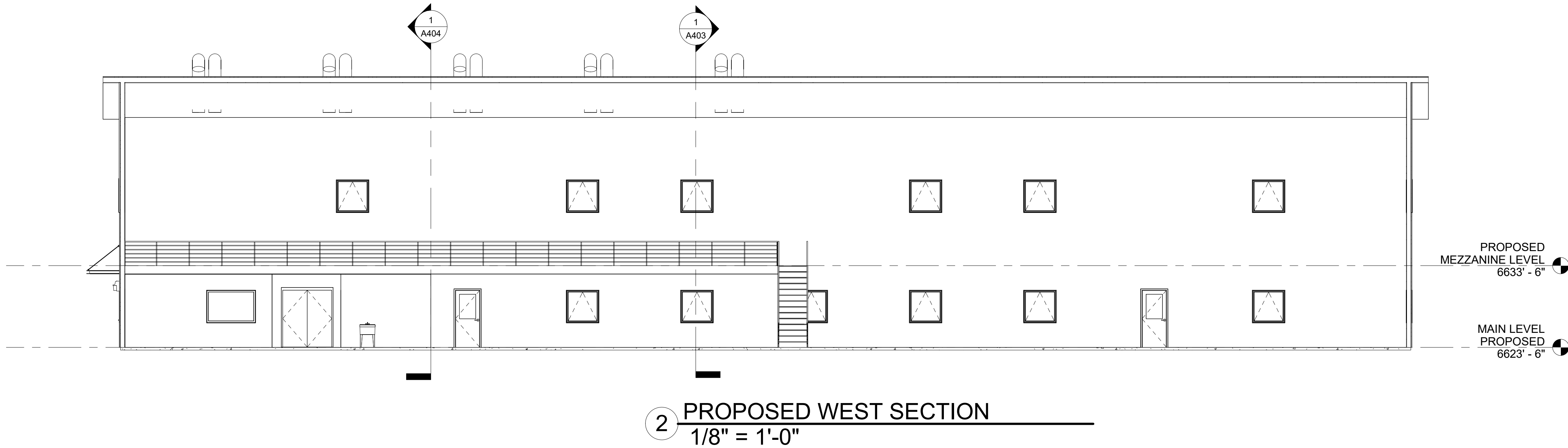
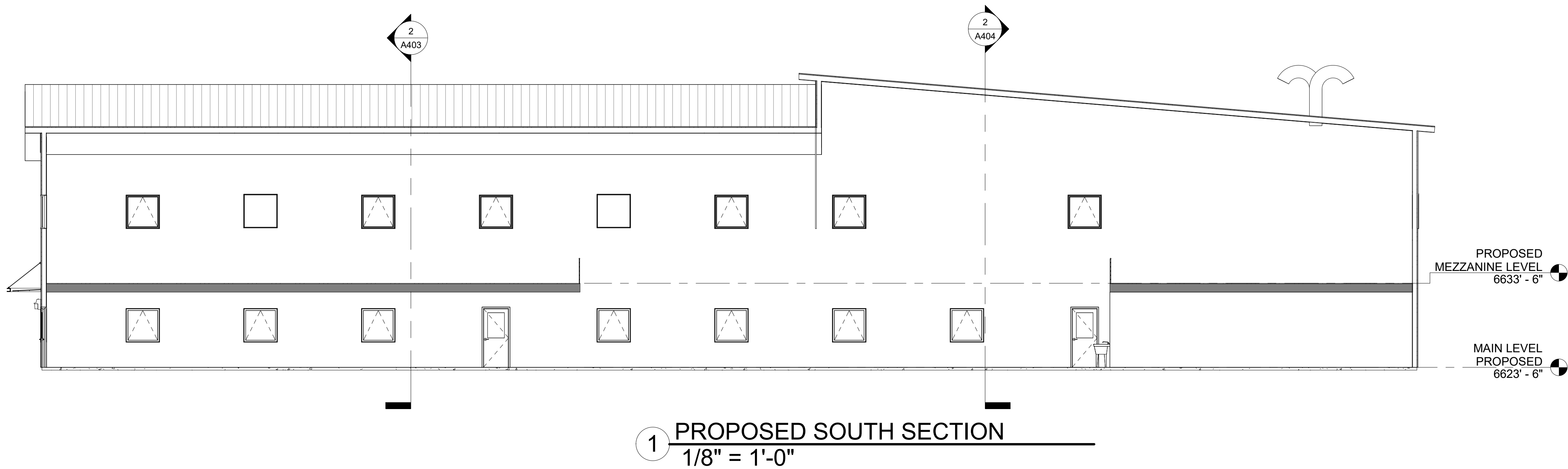
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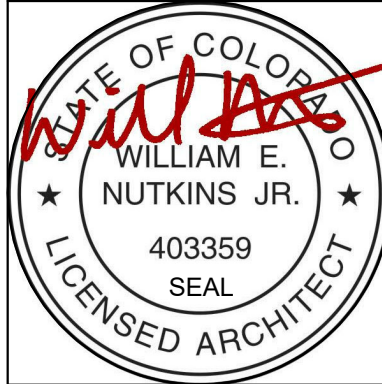
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A403

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Job #
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Issue Date

Drawing Name
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BUILDING SECTIONS

Revision	No.	Date

A404

