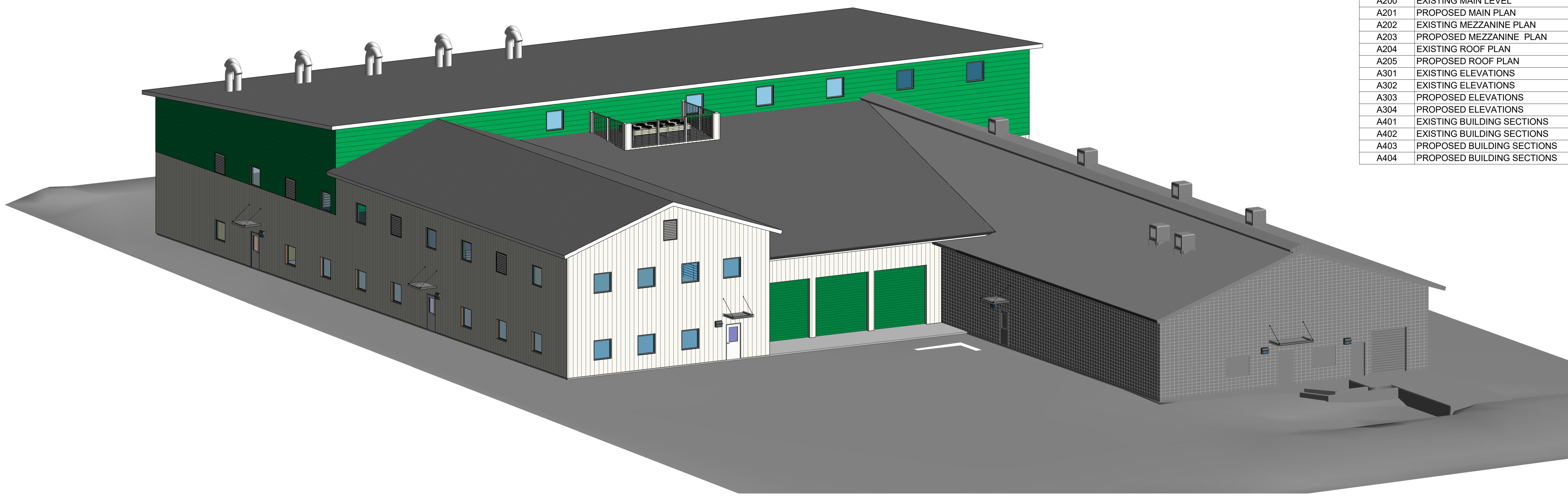


WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

DEVELOPMENT PERMIT

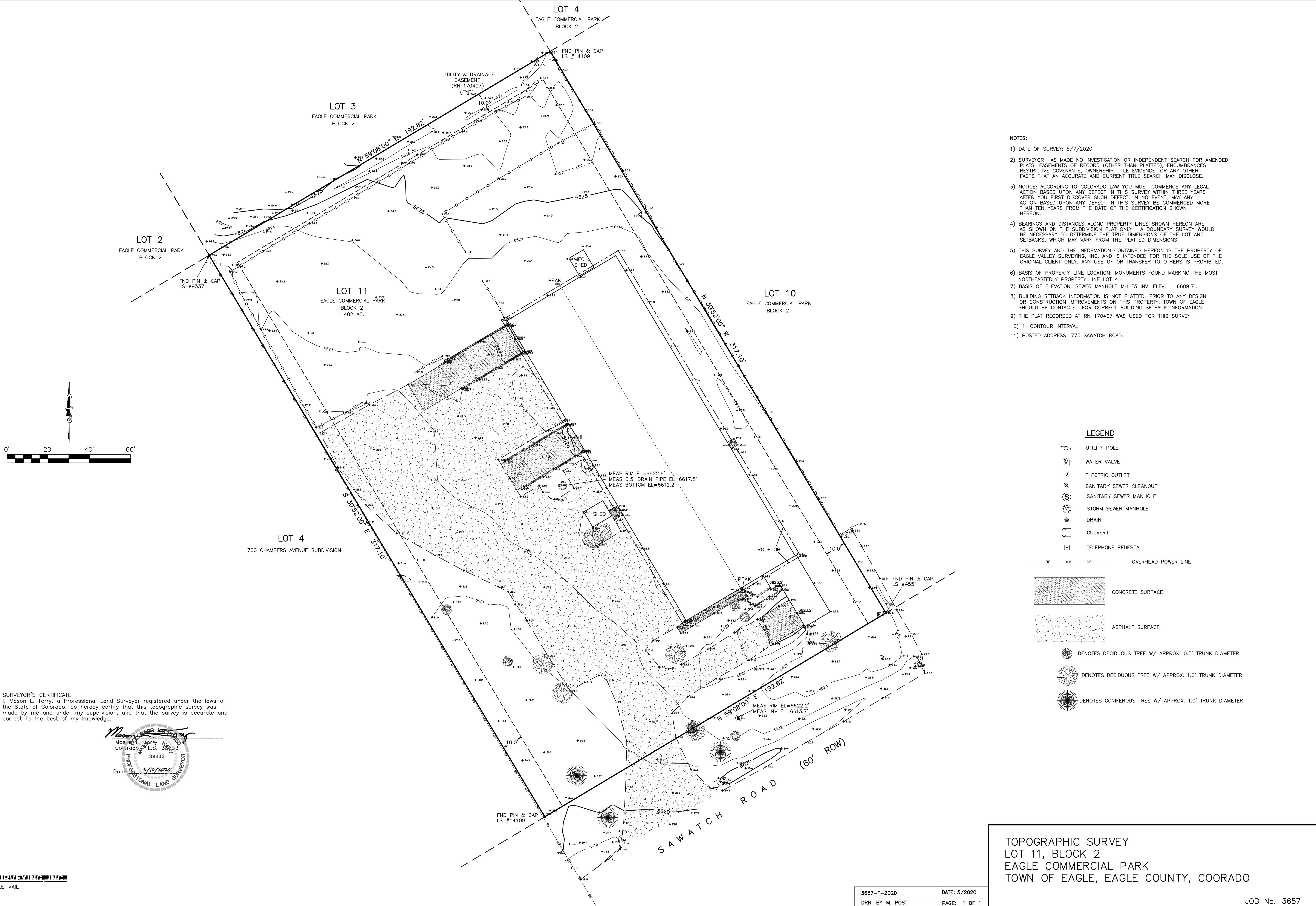
08-27-2020



SHEET LIST	
Sheet #	Sheet Name
A000	COVER
A101	PROPOSED ARCHITECTURAL SITE PLAN
L101	PROPOSED LANDSCAPE PLAN
C-1	CIVIL COVER SHEET
C-2	EXISTING CONDITIONS & REMOVAL PLAN
C-3	SITE PLAN
C-4	GARDING AND DRAINAGE PLAN
C-5	EROSION CONTROL PLAN
C-6	Unnamed
A200	EXISTING MAIN LEVEL
A201	PROPOSED MAIN PLAN
A202	EXISTING MEZZANINE PLAN
A203	PROPOSED MEZZANINE PLAN
A204	EXISTING ROOF PLAN
A205	PROPOSED ROOF PLAN
A301	EXISTING ELEVATIONS
A302	EXISTING ELEVATIONS
A303	PROPOSED ELEVATIONS
A304	PROPOSED ELEVATIONS
A401	EXISTING BUILDING SECTIONS
A402	EXISTING BUILDING SECTIONS
A403	PROPOSED BUILDING SECTIONS
A404	PROPOSED BUILDING SECTIONS

ESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631
DEVELOPMENT PERMIT

A000



PROJECT INFORMATION

Lot Area	1.402 Acre	61,071.12 sq. ft.
Zoning	Commercial General	
Min. Lot Size	20,000 sq. ft	
Max Bldg. Ht.	35'	
Max Floor Area	150%	
Max Lot Coverage	50% Building	30% All Other
Setbacks	Front Yard - 25'	
(Proposed 16' - 0")	Side Yard - 12.5' or half building ht.	
	Rear Yard - 25'	

	EXISTING	PROPOSED	ALLOWED/REQ
Building Area	11,026 sq. ft.	35,606 sq. ft.	91,606.68 sq. ft
Building Height (max)	28'-7 3/4"	35'-0"	35'-0"
Building Height (mid-point)		31'-11 1/4"	22'-3 7/8"
Building Coverage	10,385.75 sq. ft.	29,453.4 sq. ft	30,535.56 sq. ft.
Impervious Coverage	16,800 sq. ft.	14,119.72 sq. ft.	18, 321.34 sq. ft.
Landscape Coverage	34,038.85 sq. ft.	17,283.1 sq. ft.	12, 214.2 sq. ft

Use	Sq. Ft.	Required Spaces		
	Total square footage	Code Requirement	Required Parking Spaces	Parking Spaces Provided
Existing office / break room/ employee space square footage 1	423 sf	1 space per 250 sf of office or public area	2 parking spaces	
Added office / break room / employee space square footage 1,2	608 sf	1 space per 250 sf of office or public area	3 parking spaces	
Existing warehouse area 3	9,283 sf	1 space per 1,000 sf of floor area	10 parking spaces	
Added warehouse area (includes mezzanines)	23,929.5 sf	1 space per 1,000 sf of floor area	24 parking spaces	
TOTAL PARKING SPACES:			49	25 4

1 - Excludes restrooms due to use for employees working

2 - Includes Chief Office and Machine Shop

- 2 - Includes Chief Office and Machine Shop
- 3 - Includes portion of new expanded Mechanical Room

- 3 - Includes portion of new expanded Mechanical Room
- 4 - Actual employees count non-shift. Most of whom take public transportation or carpool

Parking Landscape Area	Sq. Ft.	Percentage
Parking Lot	12,947 sq. ft.	
Required Landscape		10% (1,295 sq. ft)
West side of parking lot	2,323.8 sq. ft	17.90%
East Side of parking lot	729 sq. ft.	5.60%

The logo for NDG Architecture. It features large, bold, grey, sans-serif letters 'N' and 'D' stacked vertically. To the right of these letters, the word 'ARCHITECTURE' is written in a smaller, all-caps, sans-serif font. Below 'ARCHITECTURE', the email address 'BNUTKINS@NDG-INC.COM' and the phone number '970.471.0698' are listed in a smaller, regular font.

ARCHITECTURE
970.471.0698 | BNUTKINS@NDG-INC.COM

Western Slope Laundry Addition

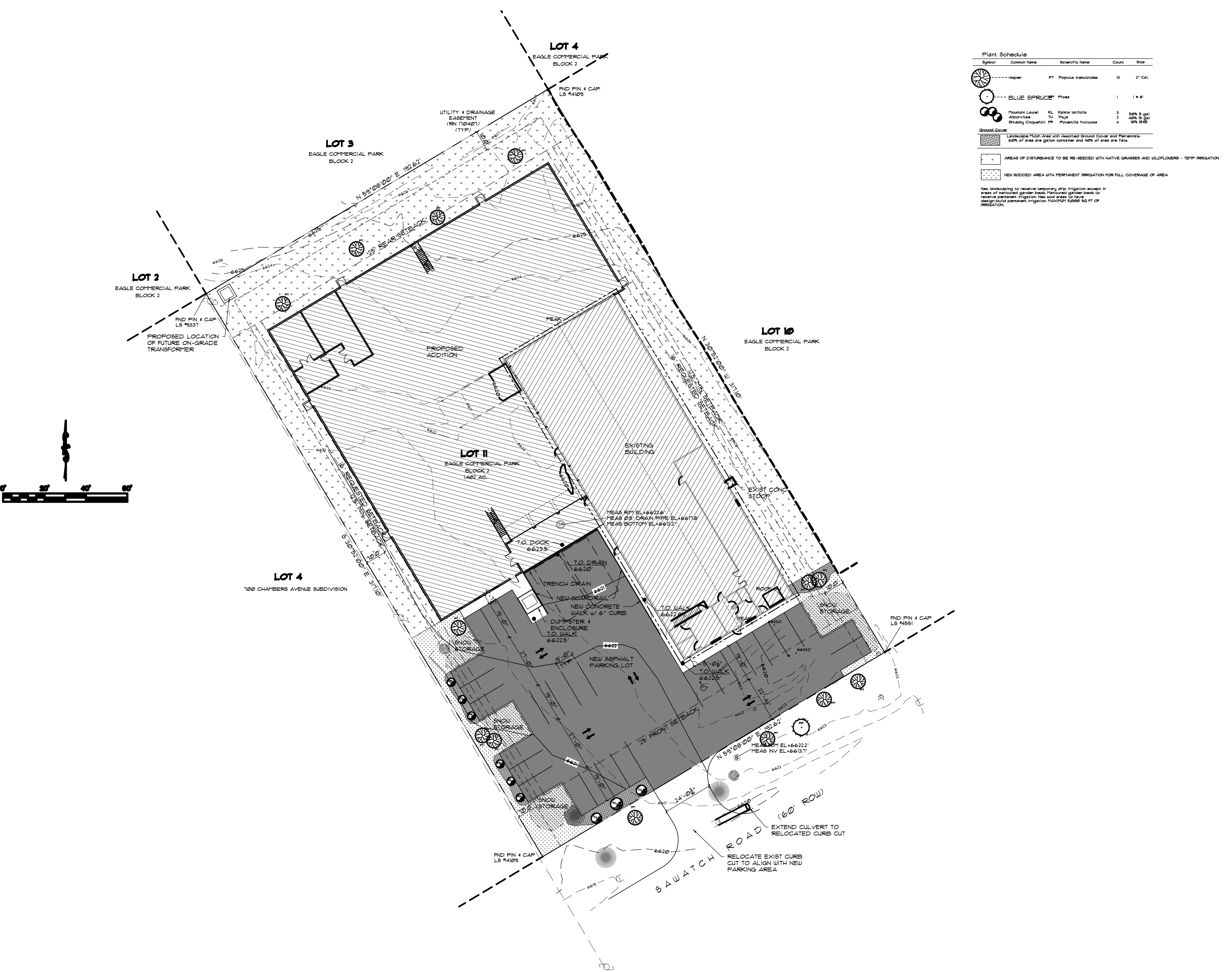
775 Sawatch Road Eagle Colorado 81631

Job#:
2019-014
Issued:
ev. Permit - 07/28/2021
Dwg. Name
Proposed
Landscape
Plan

A 4x6 grid of black lines on a white background. The grid consists of 24 lines in total, forming 12 vertical columns and 5 horizontal rows. The lines are thin and black, creating a simple geometric pattern.

Sheet

L101



775 SAWATCH ROAD

TOWN OF EAGLE, COLORADO

AUGUST 2020

GENERAL NOTES

1. THE CONTRACTOR SHALL CONFORM TO ALL TOWN OF EAGLE DEVELOPMENT CODE, REGULATIONS, AND STIPULATIONS WHILE ACCESSING THROUGH OR WORKING ON SITE.
2. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF EAGLE, ARCHITECT, AND MARCIN ENGINEERING AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. PLANS FOR CONSTRUCTION WILL BE DISTRIBUTED AT THIS MEETING. NO CONSTRUCTION WILL BE PERMITTED PRIOR TO THE PRE-CONSTRUCTION MEETING.
3. THE CONTRACTOR IS WARNED THAT CONFLICTS WITH EXISTING UTILITIES MAY EXIST. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, AND CONTRACTOR SHALL LOCATE ALL UTILITIES (INCLUDING DEPTH). NEITHER MARCIN ENGINEERING NOR THE OWNER ASSUME ANY RESPONSIBILITY FOR UTILITY LOCATIONS. ANY CONFLICTS WITH EXISTING UTILITIES SHALL BE BROUGHT TO THE ATTENTION OF MARCIN ENGINEERING AND THE OWNER SO THAT MINOR LINE OR GRADE CHANGES CAN BE MADE TO ELIMINATE ANY CONFLICTS WITH THESE EXISTING UTILITIES. EXISTING UTILITIES SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. UTILITIES THAT ARE DAMAGED BY THE CONTRACTOR THAT WERE PROPERLY MARKED/LOCATED SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER OR ENGINEER.
4. CONTRACTOR SHALL OBTAIN, AT ITS OWN EXPENSE, ALL PERMITS AND INSPECTIONS, WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, UNLESS OTHERWISE NOTED.
5. THE CONSTRUCTION OF ALL ROADS, SIDEWALKS, CURBS, EARTHWORK AND OTHER INFRASTRUCTURE DEVELOPMENT NOT SPECIFICALLY SPECIFIED BY SEPARATE UTILITY COMPANIES, SHALL BE CONSTRUCTED TO THE TOWN OF EAGLE MUNICIPAL CODE AND/OR COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2011 EDITION AND LATEST REVISIONS, CDOT TRAFFIC STANDARD PROJECT PLANS, 2008 EDITION, LATEST REVISIONS AND ALL SUPPLEMENTAL SPECIFICATIONS PROVIDED WITH THE CONTRACTOR. WHEN STANDARD SPECIFICATIONS ARE RESTRICTIVE, THE CONTRACTOR SHALL PREVAIL. THE CONTRACTOR SHALL OBTAIN COPIES OF THESE SPECIFICATIONS AND PLANS. THE CONTRACTOR SHALL HAVE ONE COPY OF THE PLANS AND ONE COPY OF THE SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
6. CONTRACTOR SHALL NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. ANY MISSING DIMENSIONS OR DISCREPANCIES IN THE PLANS, FIELD STAKING OR PHYSICAL FEATURES SHALL BE BROUGHT TO THE ATTENTION OF MARCIN ENGINEERING AND THE OWNER. IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT NOTIFYING MARCIN ENGINEERING AND THE OWNER, HE DOES SO AT HIS OWN RISK.
7. OBSERVATIONS OF THE WORK IN PROGRESS AND ON-SITE VISITS ARE NOT TO BE CONSTRUED AS A GUARANTEE OR WARRANTY BY MARCIN ENGINEERING OF THE CONTRACTOR'S CONTRACTUAL RESPONSIBILITIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF STOCKPILING OF MATERIALS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER, AND THE MATERIAL SUPPLIER.
9. CONSTRUCTION STAKING IS BY CONTRACTOR.
10. BENCHMARKS: CONTACT MARCIN ENGINEERING.
11. SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER MARCIN ENGINEERING OR THE OWNER IS RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE PROJECT SITE NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY WITH ANY REGULATIONS RELATING THERETO.
12. ALL UTILITY TRENCHES IN ROADWAY TO BE COMPAKTED AND TESTED PER GEOTECHNICAL ENGINEER REQUIREMENTS.
13. SOILS AND MATERIAL TESTING IS BY THE OWNER, BUT THE CONTRACTOR MUST NOTIFY THE OWNER AND GEOTECHNICAL ENGINEER OF SCHEDULING.
14. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE PRECAUTIONS TO SIGNIFICANTLY REDUCE ANY POTENTIAL POLLUTION CAUSED BY HIS ACTIVITIES, INCLUDING VEHICLE FUELING, STORAGE OF FERTILIZERS OR CHEMICALS, ETC. THE CONTRACTOR SHALL HAVE IDENTIFIED PROCEDURES FOR HANDLING POTENTIAL POLLUTANTS AND HAVE IDENTIFIED SPILL PREVENTION AND RESPONSE PROCEDURES PRIOR TO ANY ACTIVITIES AT THE PROJECT SITE.
15. THE CONTRACTOR SHALL KEEP ONE (1) SET OF CONTRACT DRAWINGS MARKED TO FULLY INDICATE "AS-BUILT" CONDITIONS. THE DRAWINGS SHALL BE PROVIDED TO THE OWNER AND MARCIN ENGINEERING UPON COMPLETION OF THIS WORK. THREE (3) "AS-BUILT" TIES TO ALL SERVICES, FITTINGS, VALVES AND MANHOLES TO PHYSICAL MONUMENTS ARE TO BE PROVIDED BY THE CONTRACTOR.
16. IF ANY GROUND WATER IS ENCOUNTERED, THE CONTRACTOR SHALL CONTACT MARCIN ENGINEERING AND THE PROJECT GEOTECHNICAL ENGINEER IMMEDIATELY.
17. THE CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE CHANNELS, CULVERTS AND APPURTENANCES DURING CONSTRUCTION, AS NECESSARY TO PROTECT ROADS AND PROPERTY.
18. ROAD SUBGRADE SHALL BE PROOF ROLLED AND FREE OF DEFLECTION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER. ANY FAILING AREAS SHALL BE REPAIRED AND PROOF ROLLED AGAIN UNTIL ACCEPTED BY THE GEOTECHNICAL ENGINEER WITH NO ADDITIONAL COST TO OWNER.
19. ALL LANDSCAPING SHALL BE PER THE LANDSCAPE ARCHITECT PLANS AND/OR OWNER.
20. TOPSOIL SHALL BE STRIPPED AND STOCKPILED.
21. OVERSIZE BOULDERS (ROCK EXCAVATION-AS DEFINED IN COOT SPECIFICATION 203.02.D) ENCOUNTERED DURING THE WORK SHALL BE REMOVED AND STOCKPILED IN A LOCATION DESIGNATED BY THE OWNER.
22. CONTRACTOR IS RESPONSIBLE FOR DAILY CLEANING OF ALL ACCESS ROADS AND OTHER PUBLIC STREETS NECESSITATED BY HIS ACTIVITIES ON THE SITE.
23. DUST CONTROL IS INCIDENTAL TO EARTHWORK CONSTRUCTION AND SHALL BE PROVIDED BY CONTRACTOR, AT NO COST TO OWNER, IN ACCORDANCE WITH THE TOWN OF EAGLE MUNICIPALITY STANDARDS AND SPECIFICATIONS.
24. THE CONTRACTOR SHALL PROVIDE A STORMWATER MANAGEMENT PLAN (SWMP) PER THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION.
25. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES. CONTRACTOR IS RESPONSIBLE TO REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER CONSTRUCTION IS COMPLETE AND ONCE VEGETATION IS APPROXIMATELY 70% RE-ESTABLISHED DEEMED BY THE OWNER.

VICINITY MAP

APPROXIMATE SCALE: 1"=400'

EAGLE, COLORADO

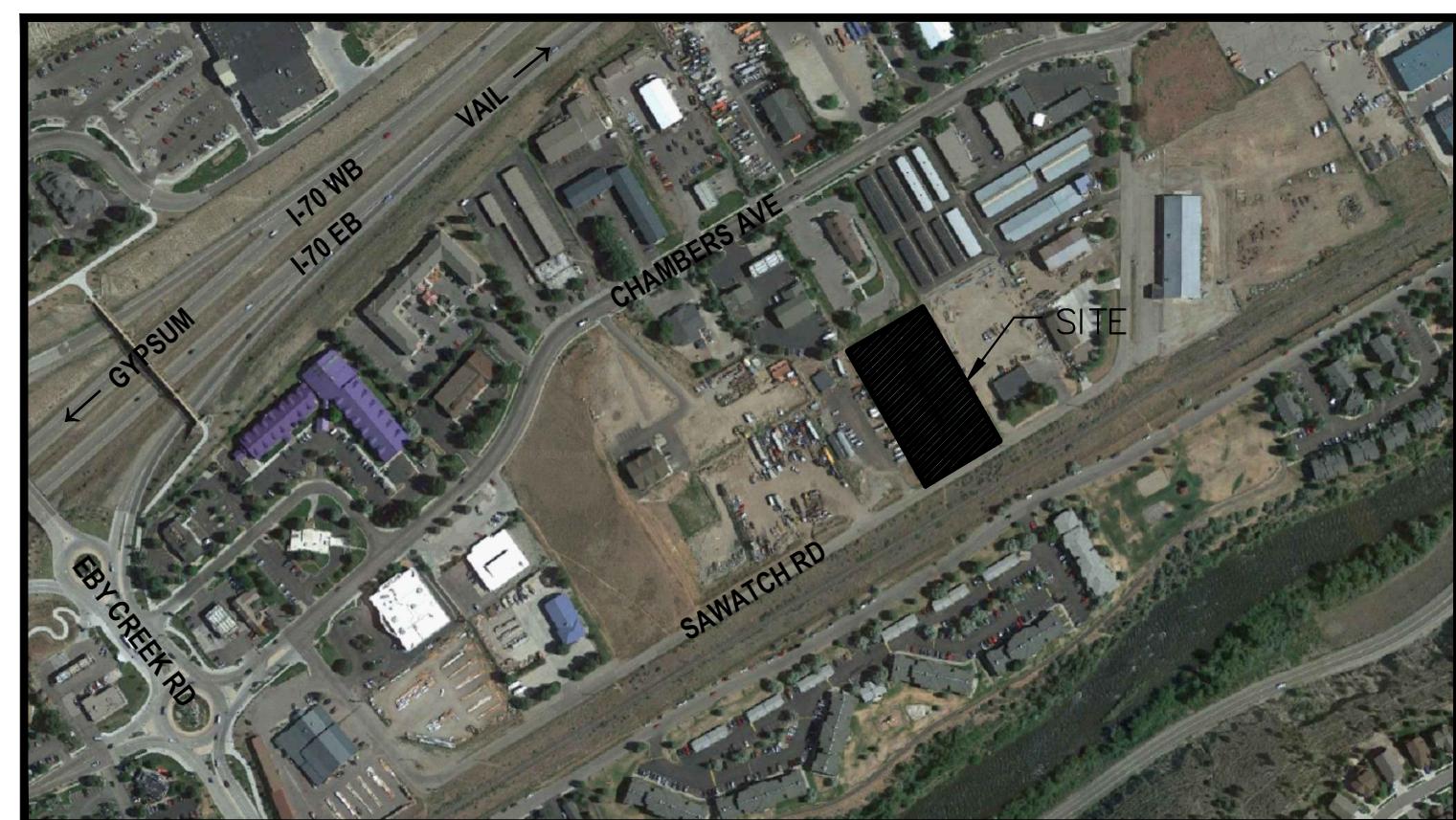


TABLE OF CONTENTS

C1	COVER SHEET & NOTES
C2	EXISTING CONDITIONS & REMOVALS PLAN
C3	SITE PLAN
C4	GRADING & DRAINAGE PLAN
C5	EROSION CONTROL PLAN
C6	DETAILS SHEET

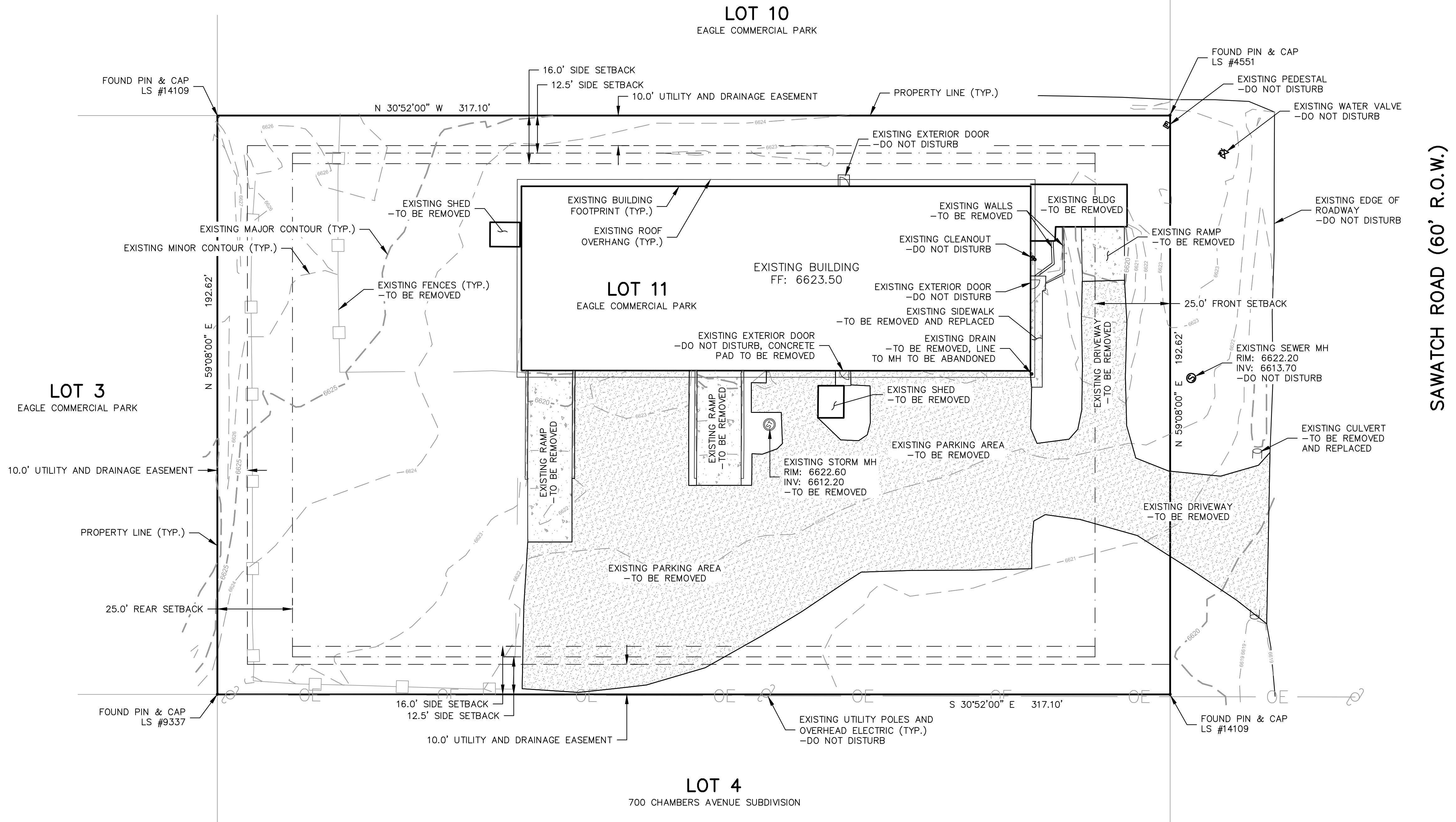
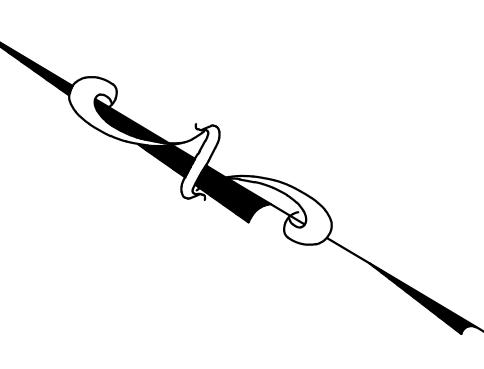
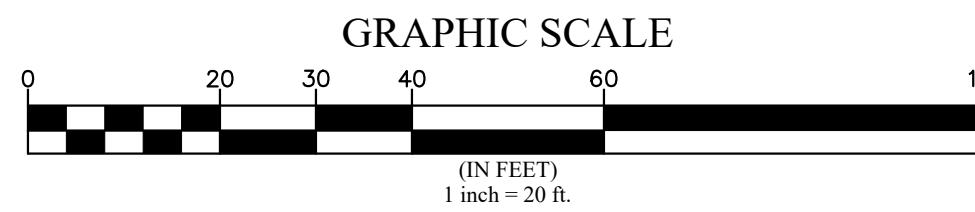
MARIN ENGINEERING LLC
P.O. BOX 1062
AVON, COLORADO
970-748-0274

COVER SHEET & NOTES
775 SAWATCH ROAD
TOWN OF EAGLE, COLORADO

NO.	DATE	REVISIONS	BY

JOB: 20063
DATE: 08/28/2020
SCALE: N/A

SHEET
C-1



MARIN ENGINEERING LLC
P.O. BOX 1062
AVON, COLORADO
970-748-0274

EXISTING CONDITIONS & REMOVALS PLAN
775 SAWATCH ROAD
TOWN OF EAGLE, COLORADO

NO.	DATE	REVISIONS	BY

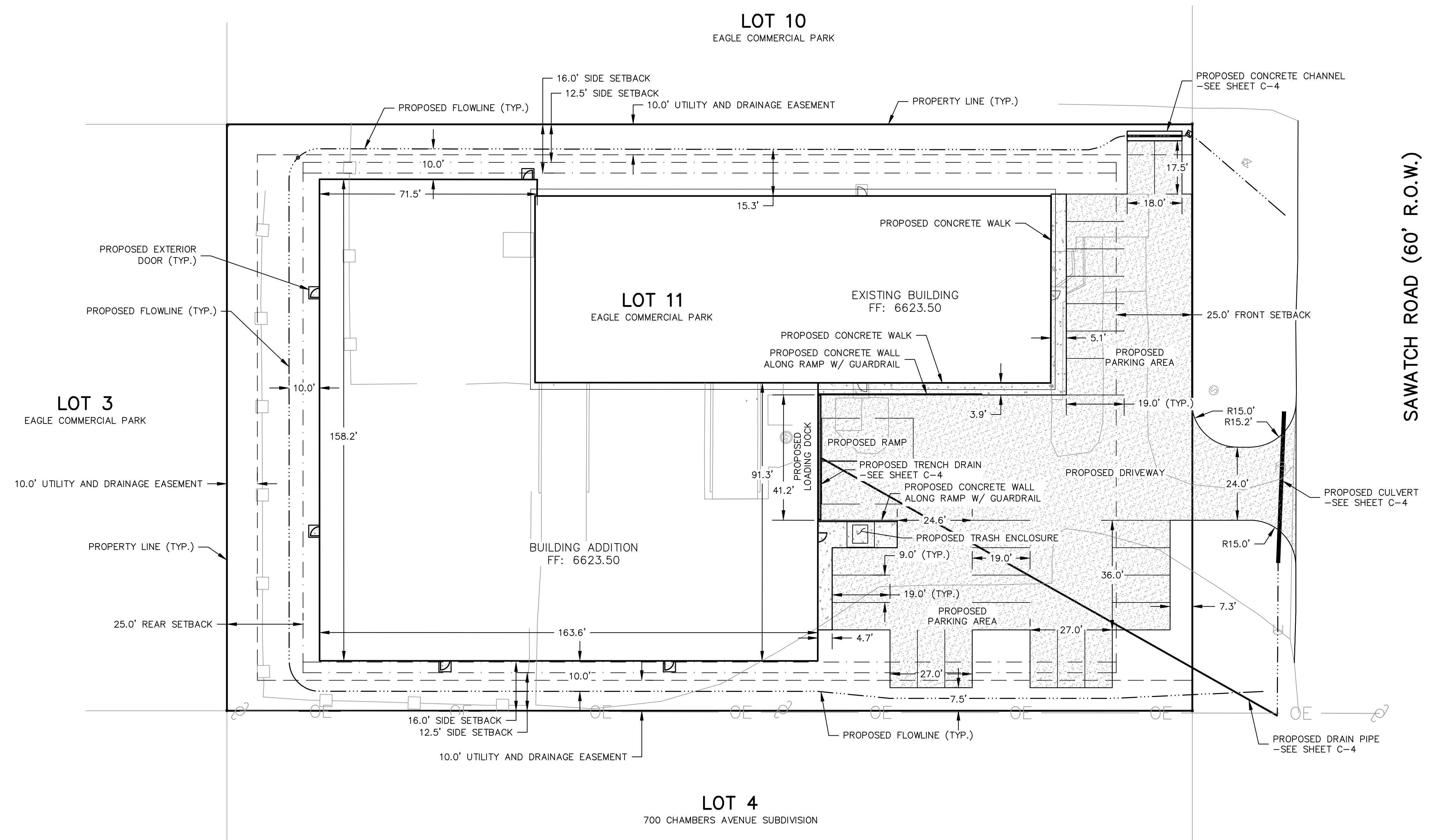
JOB: 20063
DATE: 08/28/2020
SCALE: 1" = 20'

SHEET
C-2

NOTES:

- 1: ALL LINework AND DATA HEREIN GATHERED FROM TOPOGRAPHIC SURVEY BY EAGLE VALLEY SURVEYING, INC., DATED MAY 2020.
- 2: SEE ARCHITECTURAL PLANS FOR TREE REMOVAL DETAILS.

NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION

SHEET C-3

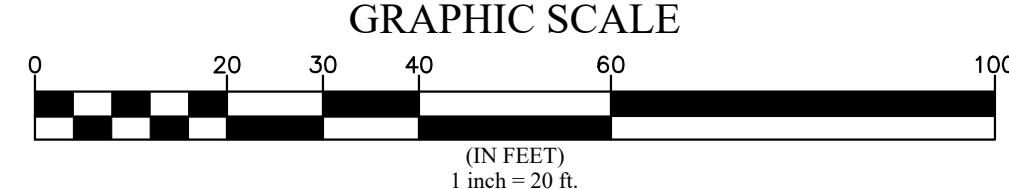
B: 20063
TE: 08/28/2020
ALE: 1" = 20'

RCIN ENGINEERING LLC
P.O. BOX 1062
AVON, COLORADO
970-748-0274

SITE PLAN
775 SAWATCH ROAD
TOWN OF EAGLE, COLORADO

EROSION CONTROL NOTES

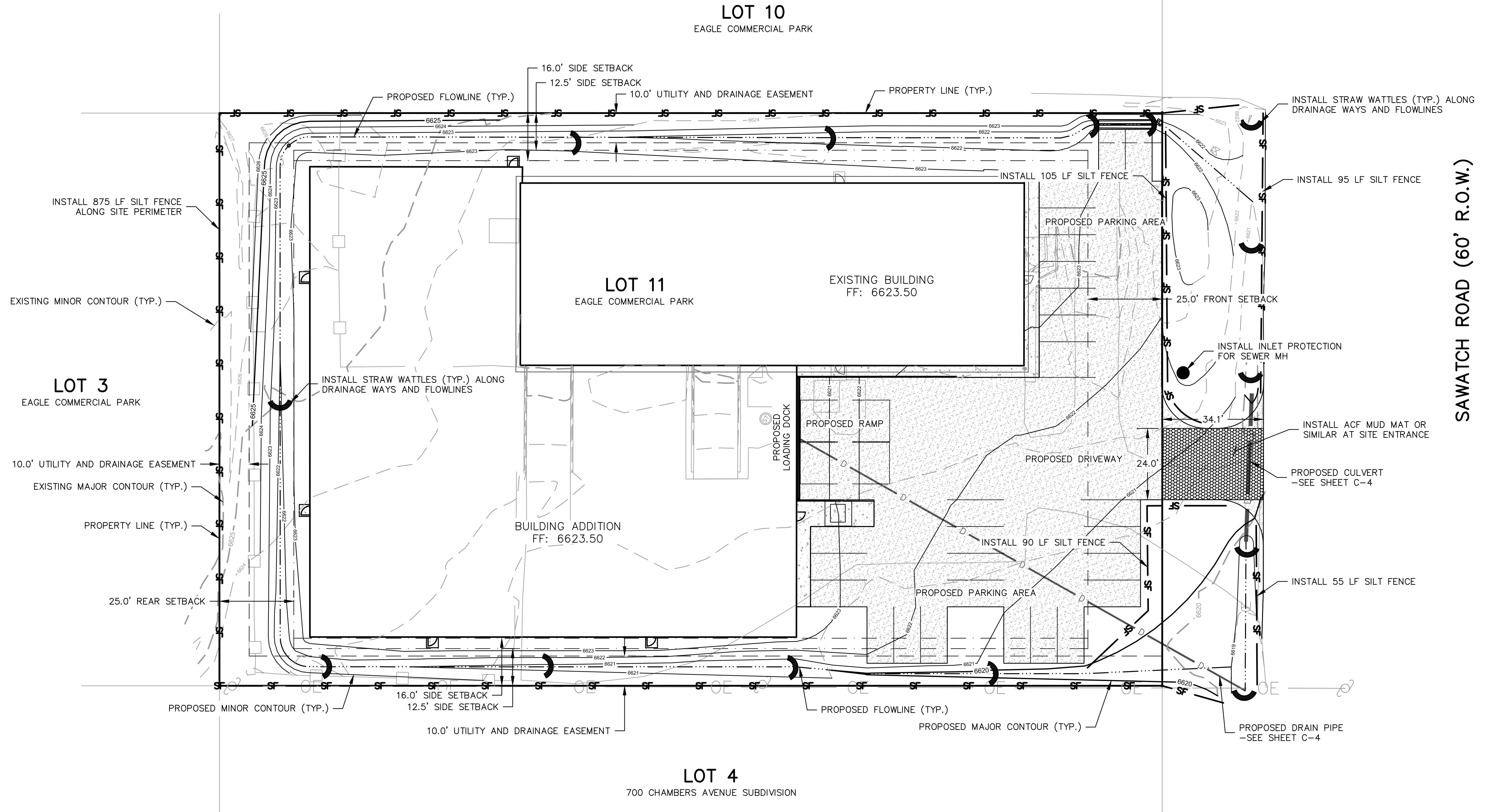
- RE-VEGETATE ALL DISTURBED AREAS WITH SEED, MULCH, FERTILIZER, AND TACKIFIER EXCEPT THE ROAD PLATFORM. AREAS TREATED WITH EROSION CONTROL MATTING WILL INCLUDE TOPSOIL, SEED MIX, FERTILIZER, AND MULCH. ALL OTHER DISTURBED AREAS WILL HAVE TOP SOIL, SEED MIX, FERTILIZER, MULCH, AND TACKIFIER.
- INSTALL EROSION CONTROL BLANKET (LANDLOK C2 OR APPROVED EQUAL) ON ALL DISTURBED AREAS. REVEGETATE AREA WITH TOPSOIL, SEED, MULCH, AND FERTILIZER PRIOR TO BLANKET PLACEMENT.
- INSTALL TURF REINFORCEMENT MAT (TRM, LANDLOK 450 OR APPROVED EQUAL) IN DITCHES.
- INSTALL WATTLES, CONSTRUCTION FENCE, CONSTRUCTION ENTRANCE MUD MAT, AND SEDIMENT TRAPS PRIOR TO ROAD CONSTRUCTION, EXCAVATION, AND EMBANKMENT.
- INSTALL EROSION CONTROL MEASURES (LANDLOK TRM FABRIC, RIP RAP, AND EROSION LOGS) AFTER ROADWAY DITCHES HAVE BEEN CONSTRUCTED AND TOPSOIL PLACED.
- THE TERM "REVEGETATION" ON THESE PLANS MEANS THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED CONTAINING THE SPECIFIED AMOUNTS OF FERTILIZER IN ACCORDANCE WITH THE LANDSCAPE PLANS.
- THOSE PORTIONS OF THE ROAD SUBGRADE THAT DO NOT RECEIVE GRAVEL SHALL BE SEDED, FERTILIZED, MULCHED, AND TACKED. THE SUBGRADE SURFACE SHALL BE RAKED. THE SEED SHALL BE DRILLED OR BROADCAST AND
- RAKED INTO THE TOP 1/4" OF SOIL. PRIOR TO SEEDING FERTILIZER SHALL BE WORKED INTO THE TOP 4" OF SOIL AT THE RATE SPECIFIED.
- INSTALL AND MAINTAIN SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THESE PLANS AND/OR BEST MANAGEMENT PRACTICES.
- ALL PROPOSED SEDIMENT CONTROL MEASURES ARE TEMPORARY MEASURES UNLESS SPECIFIED ON PLANS.
- SEDIMENT CONTROL MEASURES MAY REQUIRE MINOR FIELD ADJUSTMENTS AT THE ONSET OF CONSTRUCTION TO INSURE THAT THEIR INTENDED PURPOSE IS ACCOMPLISHED.
- PROVIDE CONTINUOUS INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES TO ENSURE THAT SEDIMENT CONTROL EFFICIENCY IS OBTAINED UNTIL FINAL STABILIZATION OF SITE HAS TAKEN PLACE.
- INSTALL SEDIMENT CONTROL MEASURES AT THE ONSET OF GRADING OPERATIONS SO THAT EFFECTIVE SEDIMENT CONTROL CAN BE ACHIEVED DURING THE ENTIRE GRADING OPERATIONS PERIOD.
- STABILIZE ALL POINTS OF INGRESS AND EGRESS WITH CRUSHED STONE DURING CONSTRUCTION TO PREVENT TRACKING OF MUD ONTO PUBLIC ROADWAYS.
- CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ASSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE CONSTRUCTION SITE.
- ALL SEDIMENT CONTROL AND STORM DRAINAGE FACILITIES SHALL BE INSPECTED AND MAINTAINED TO ENSURE THAT THEY PROPERLY FUNCTION.
- APPROVAL SHALL BE REQUESTED UPON FINAL STABILIZATION OF ALL SITES BEFORE REMOVAL OF SEDIMENT CONTROLS.



GRAPHIC SCALE

MARIN ENGINEERING LLC
P.O. BOX 1062
AVON, COLORADO
970-748-0274

EROSION CONTROL PLAN
775 SAWATCH ROAD
TOWN OF EAGLE, COLORADO



SAWATCH ROAD (60' R.O.W.)

NO.	DATE	REVISIONS	BY
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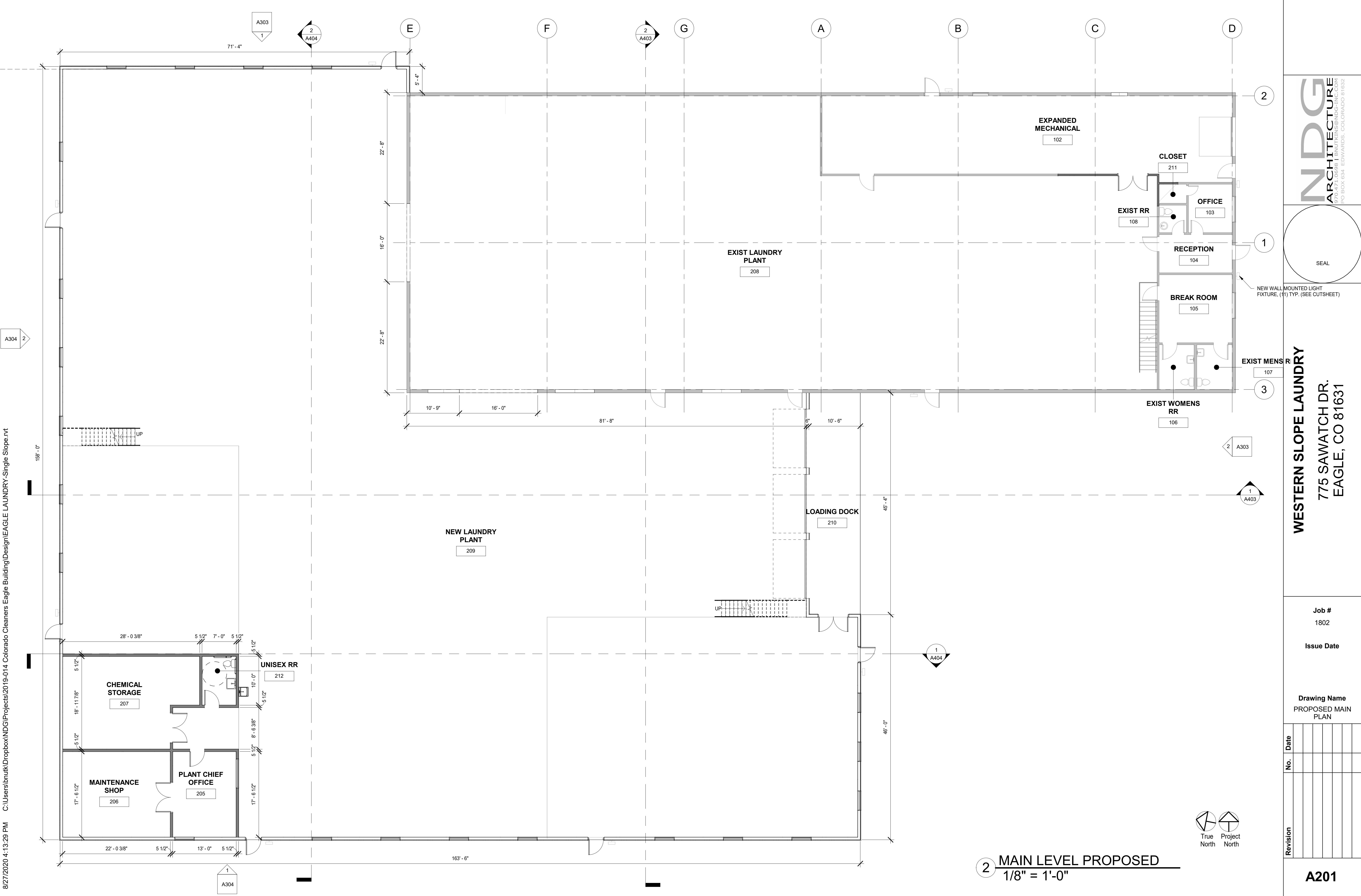
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DATE: 08/28/2020
SCALE: 1" = 20'

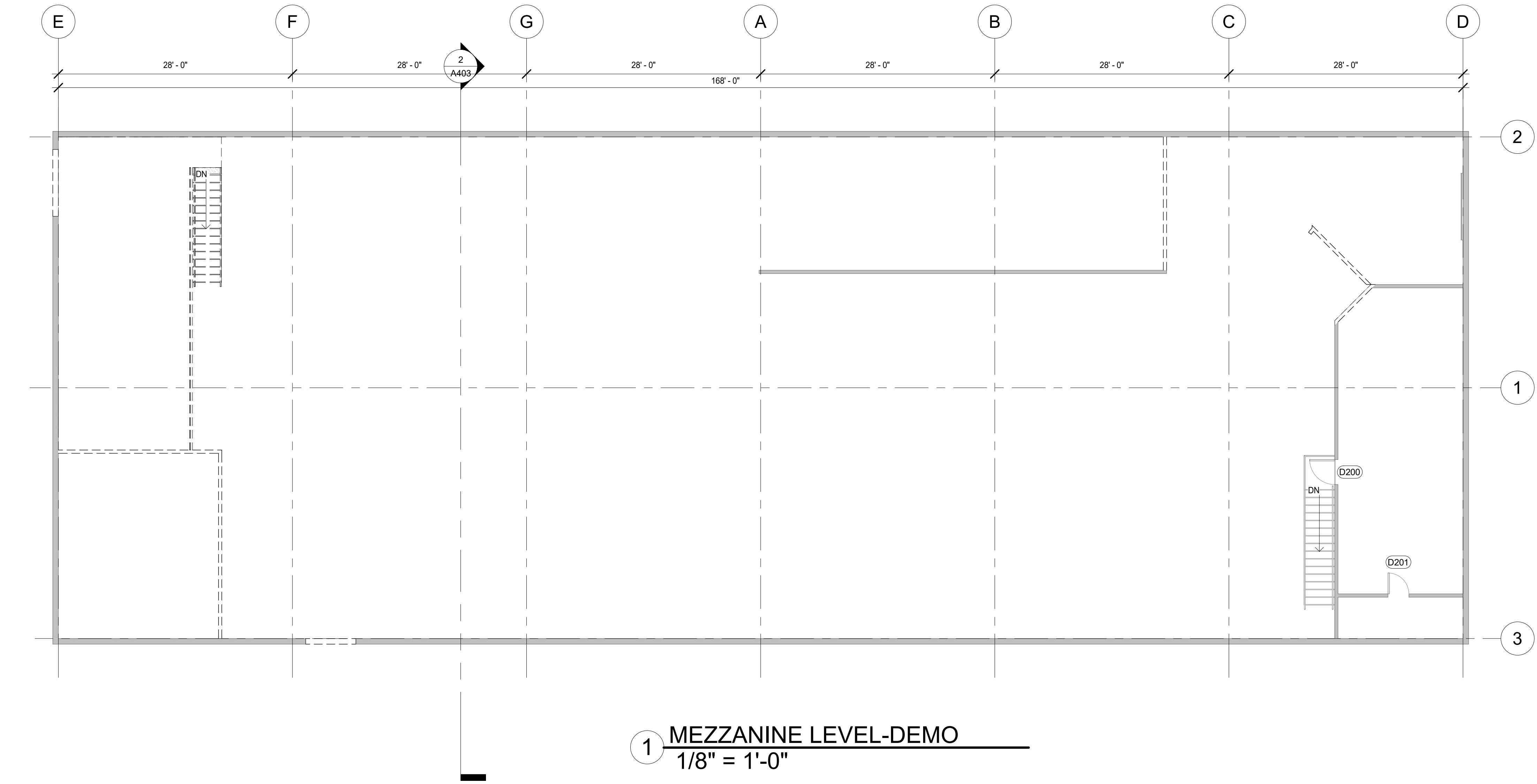
SHEET
C-5

NOT FOR CONSTRUCTION



8/27/2020 4:13:29 PM C:\Users\bnutk\Dropbox\NDG\Projects\2019-014 Colorado Cleaners Eagle Building\Design\EAGLE LAUNDRY-Single Slope.rvt





NDG
ARCHITECTURE
720-571-0588 | BUILDINGS@NDG.INK | COLORADO 81632

WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

Job #
1802

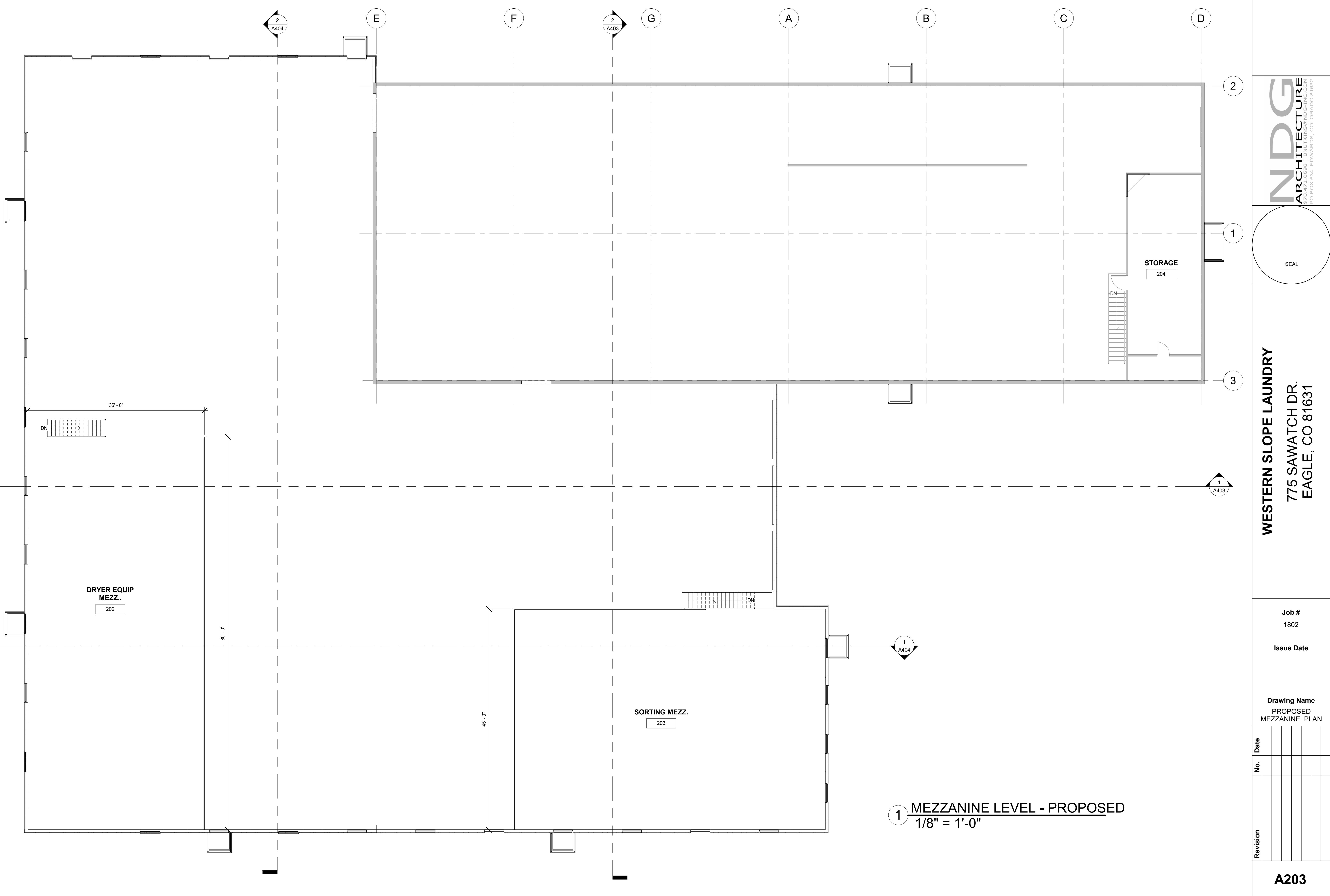
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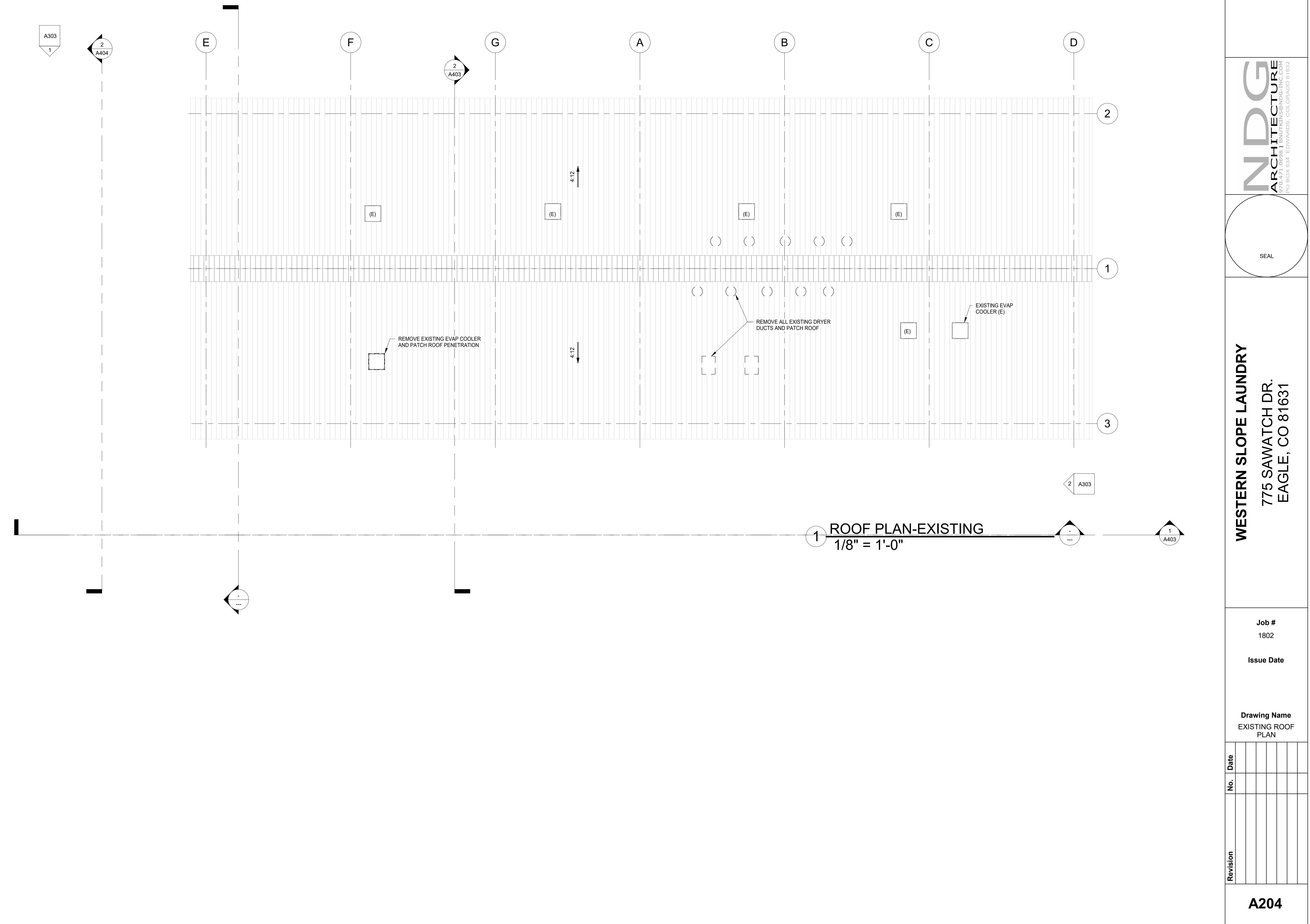
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EXISTING
MEZZANINE PLAN

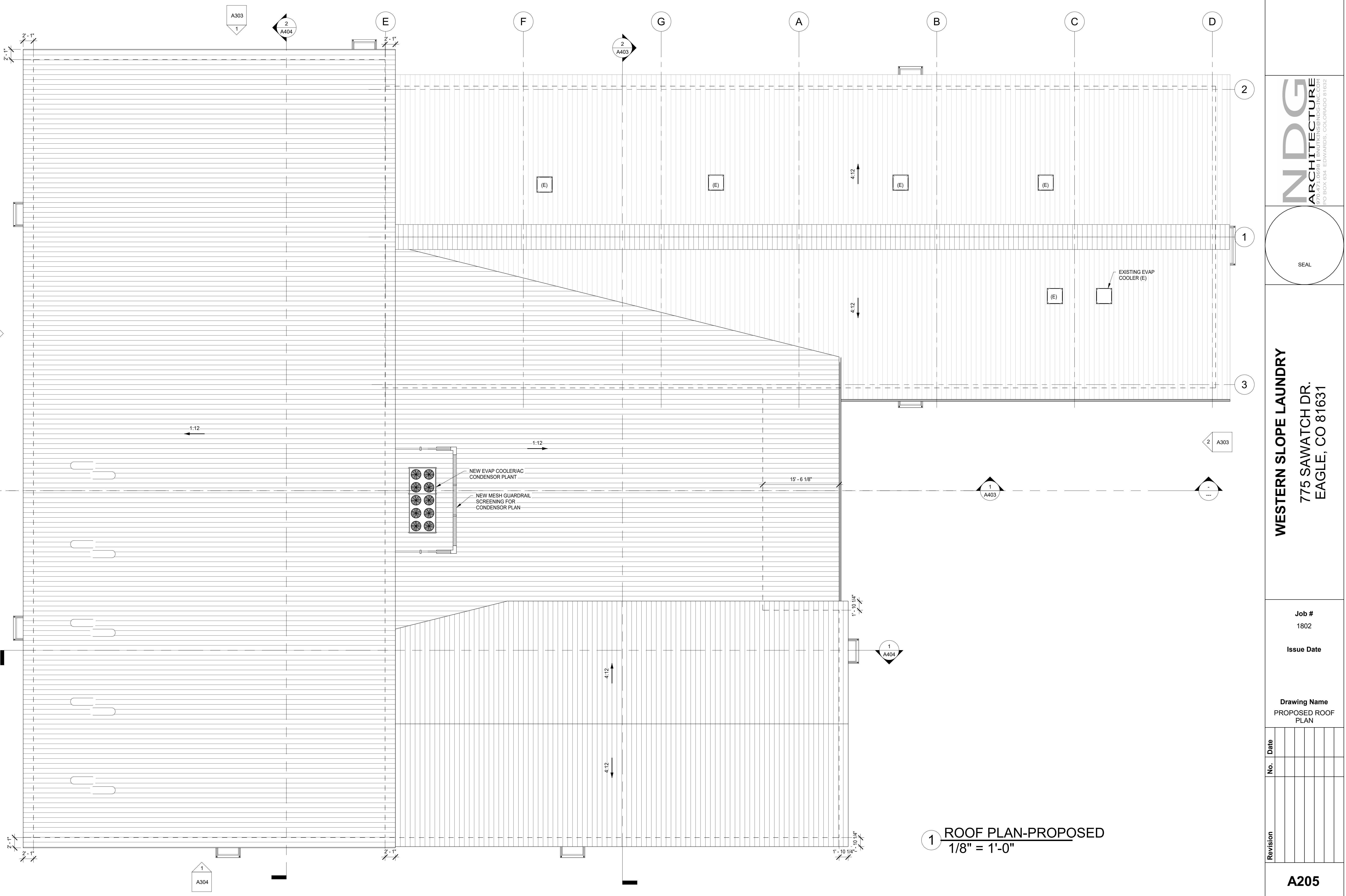
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A202



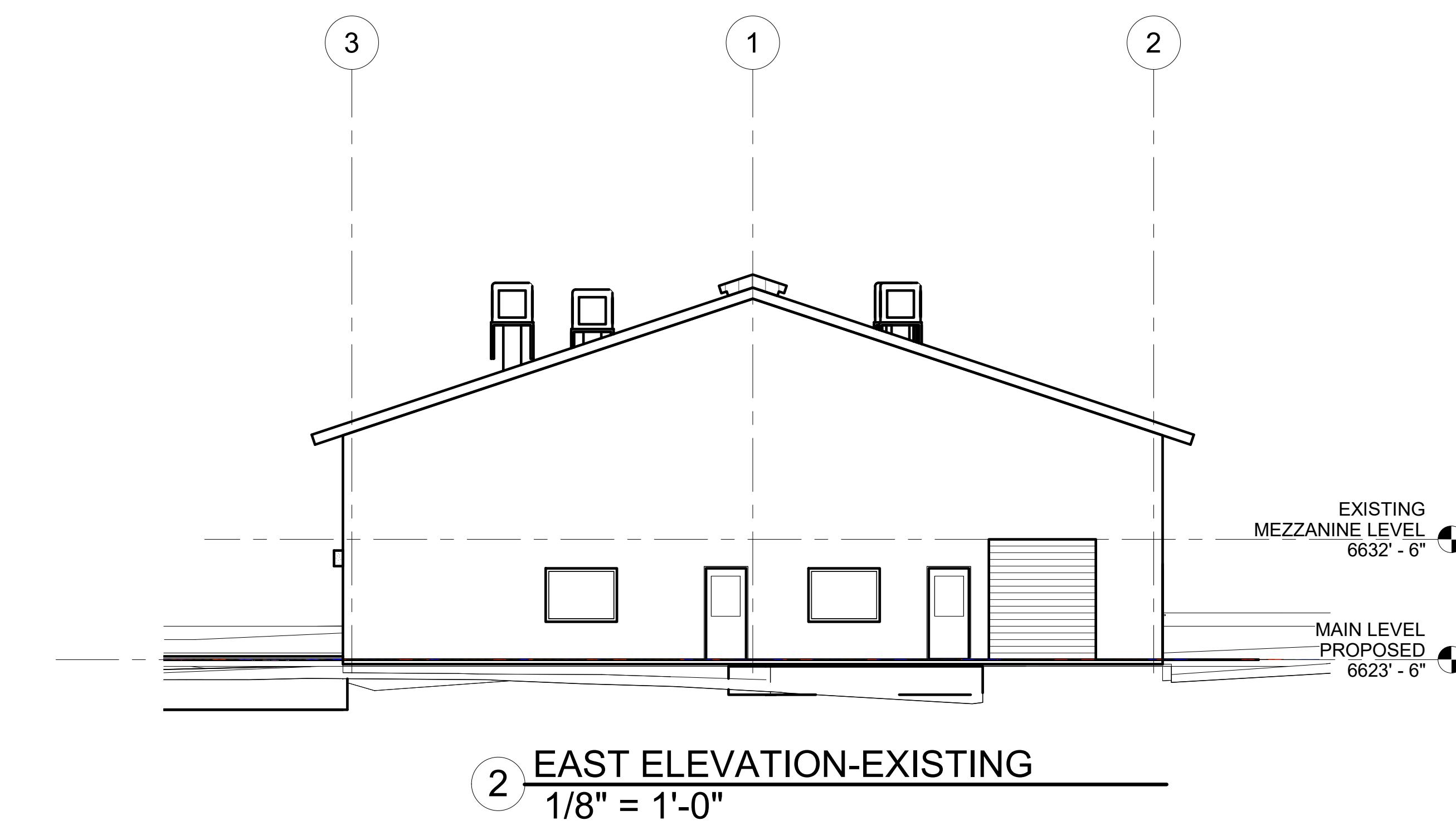
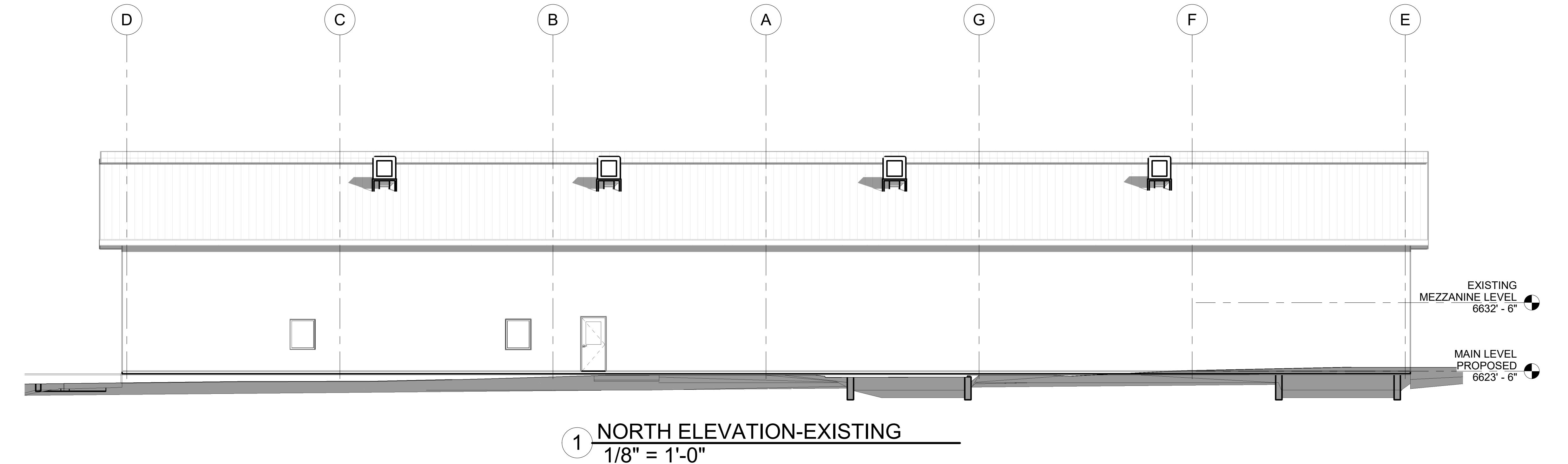




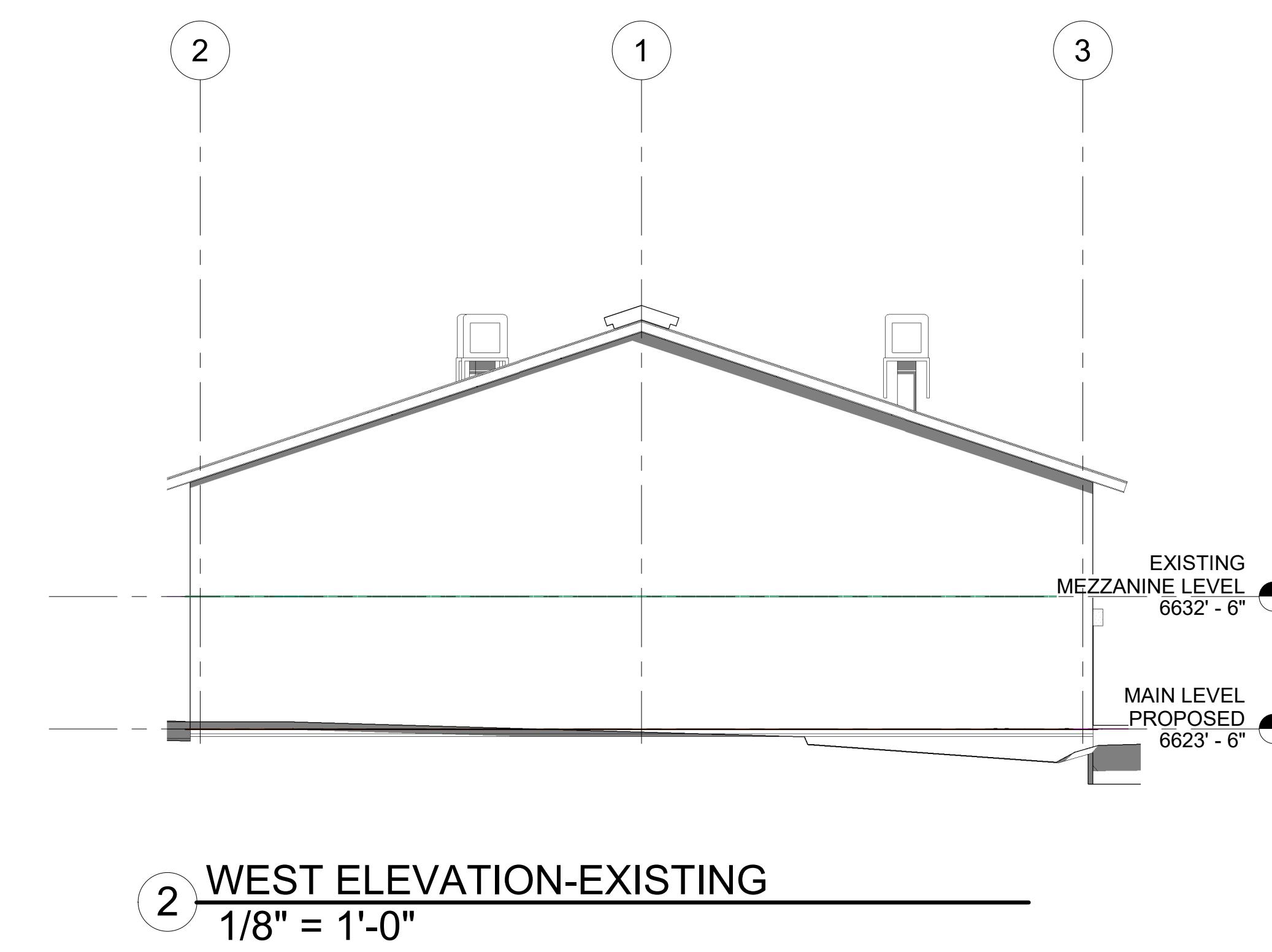
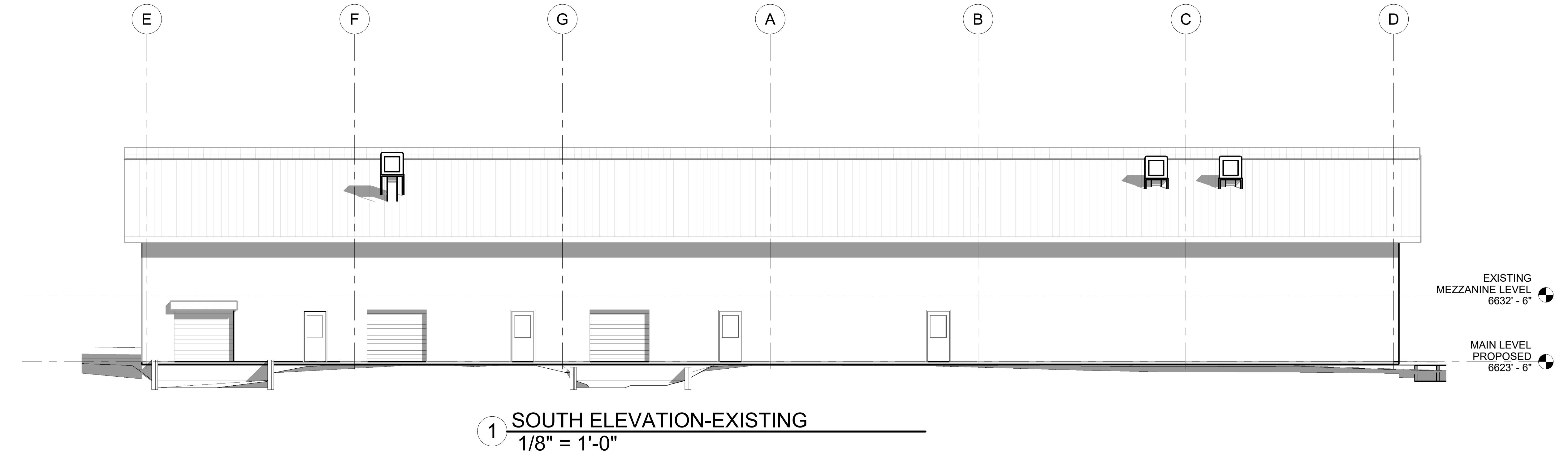


1 ROOF PLAN-PROPOSED
1/8" = 1'-0"

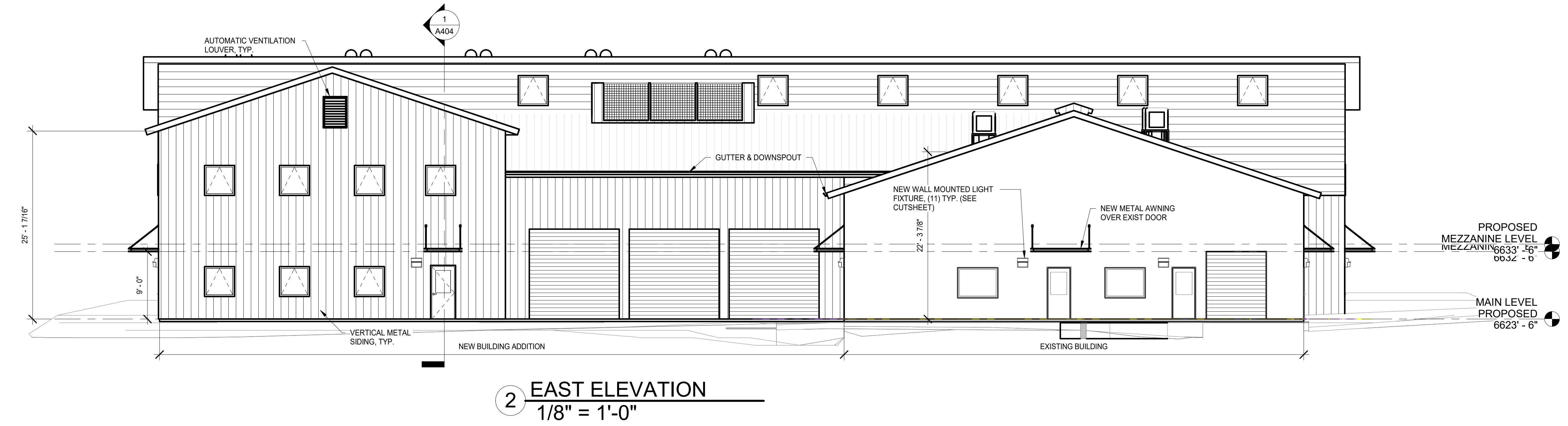
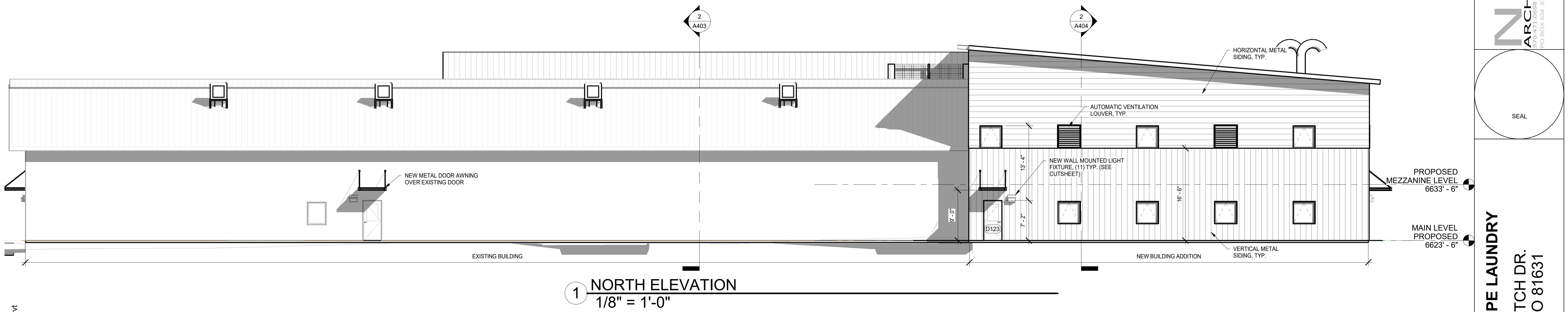
A205



Revision	No. Date	Job #	Issue Date	Drawing Name
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				WESTERN SLOPE LAUNDRY
				775 SAWATCH DR. EAGLE, CO 81631
				NDG ARCHITECTURE
				970.471.0698 BNUTKINS@NDG-INC.COM PO BOX 634 EDWARDS, COLORADO 81632
				SEAL



Revision	No. Date	Job #	Issue Date	Drawing Name
		1802		EXISTING ELEVATIONS
				WESTERN SLOPE LAUNDRY
				775 SAWATCH DR. EAGLE, CO 81631
				NDG ARCHITECTURE
				970.471.0698 BNUTKINS@NDG-INC.COM PO BOX 634 EDWARDS, COLORADO 81632
				SEAL



A303

Job #
1802

Issue Date

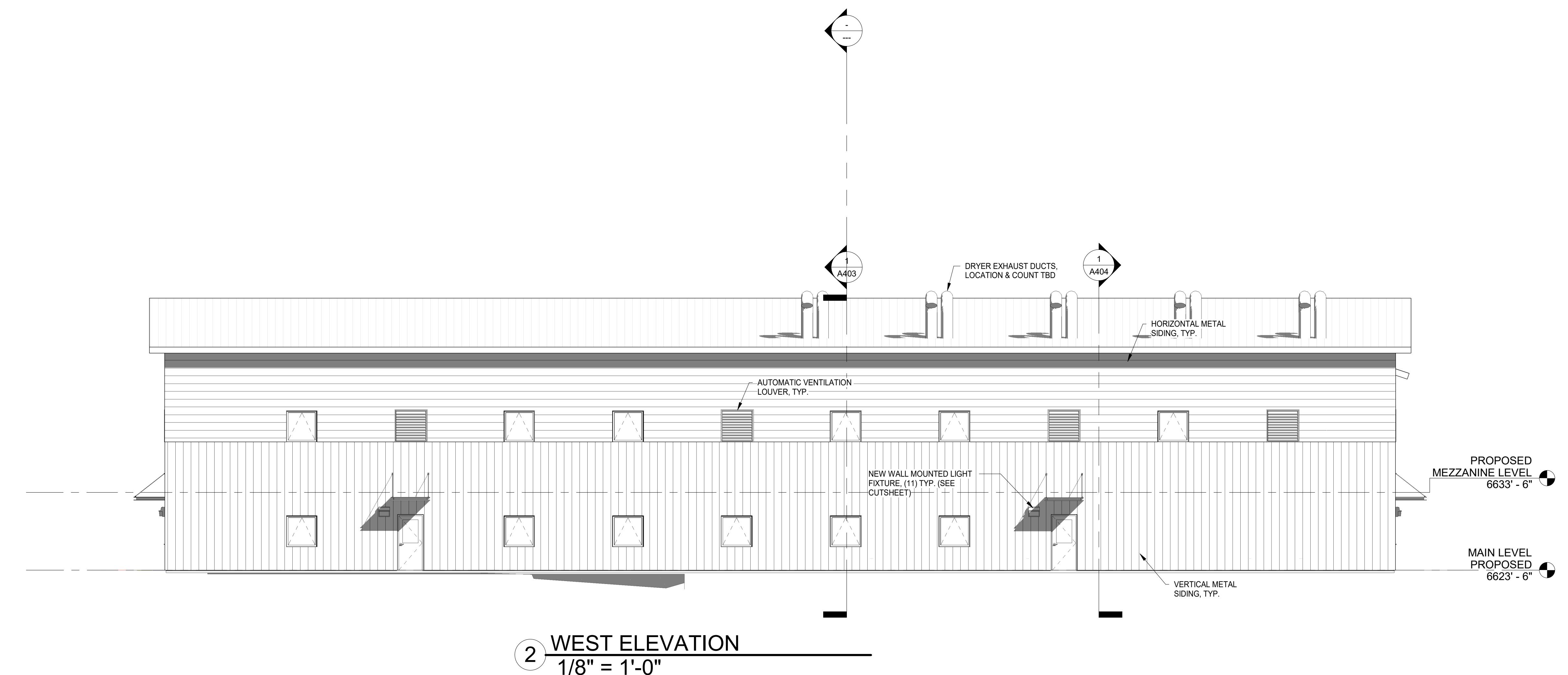
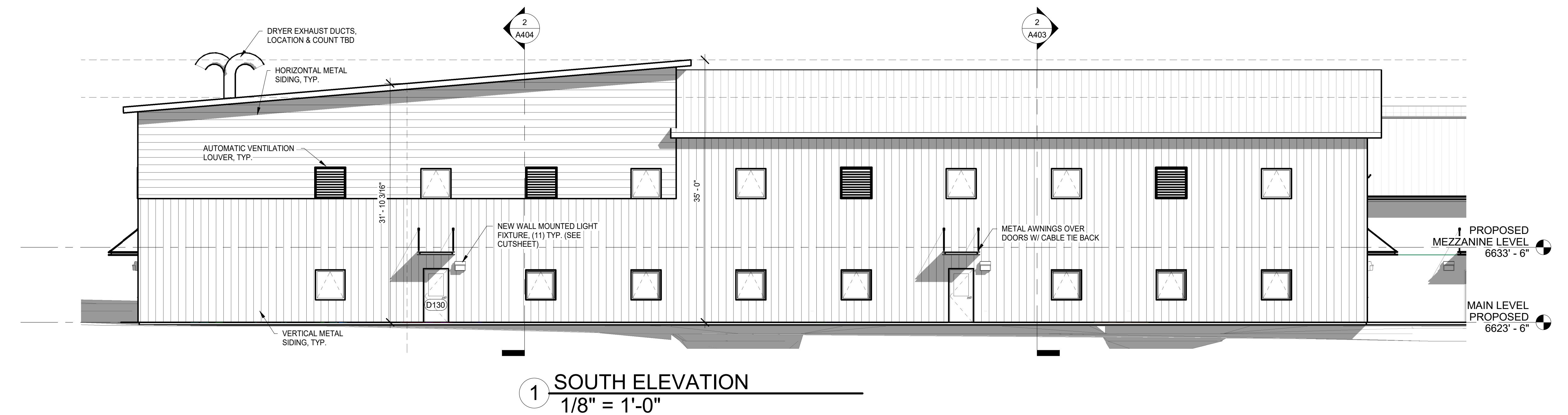
Drawing Name

PROPOSED ELEVATIONS

10

1000

ESIERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631



NDG ARCHITECTURE

970.471.0698 | BNUTKINS@NDG-INC.COM
PO BOX 634 EDWARDS, COLORADO 81632

A circular seal with the word "SEAL" in the center.

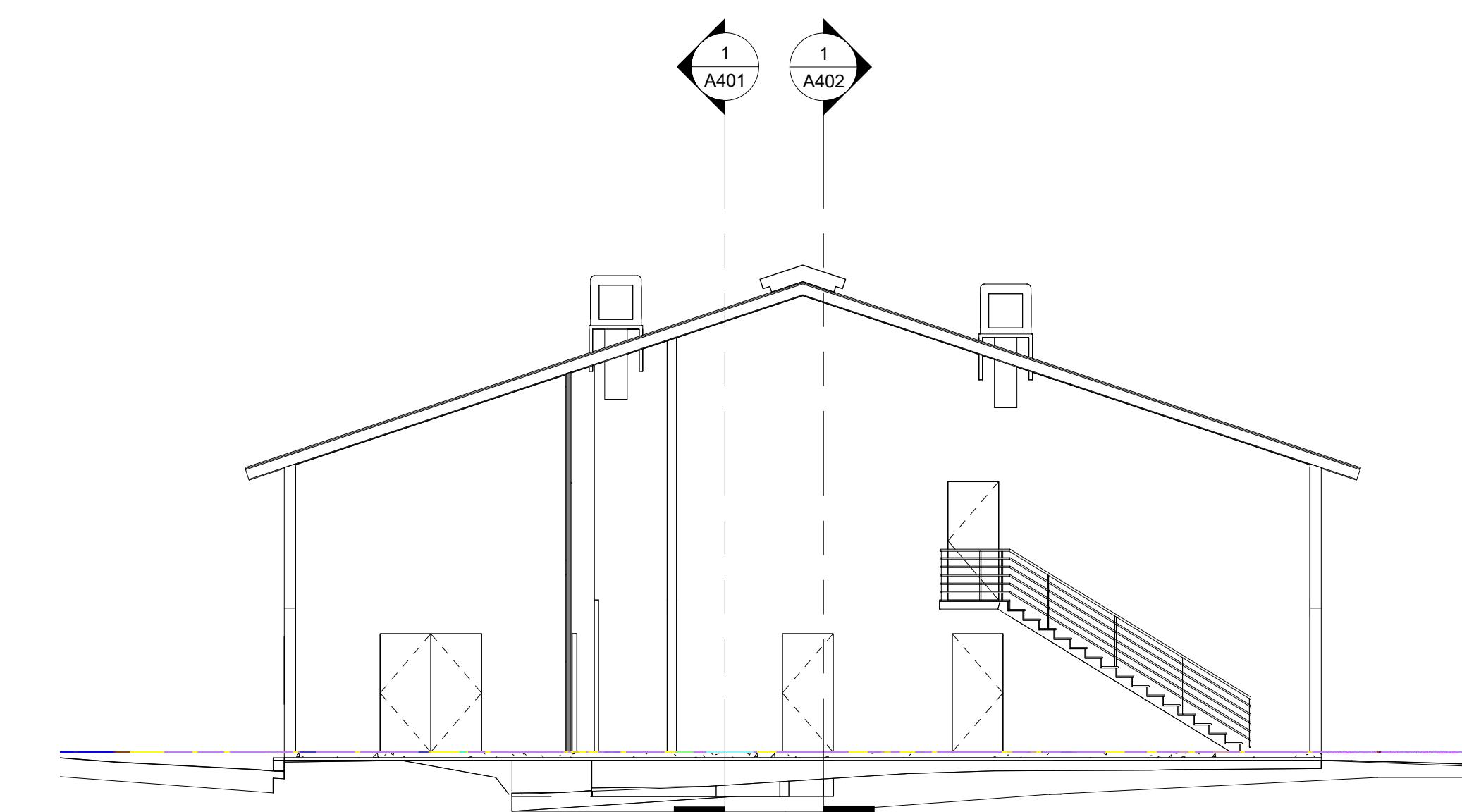
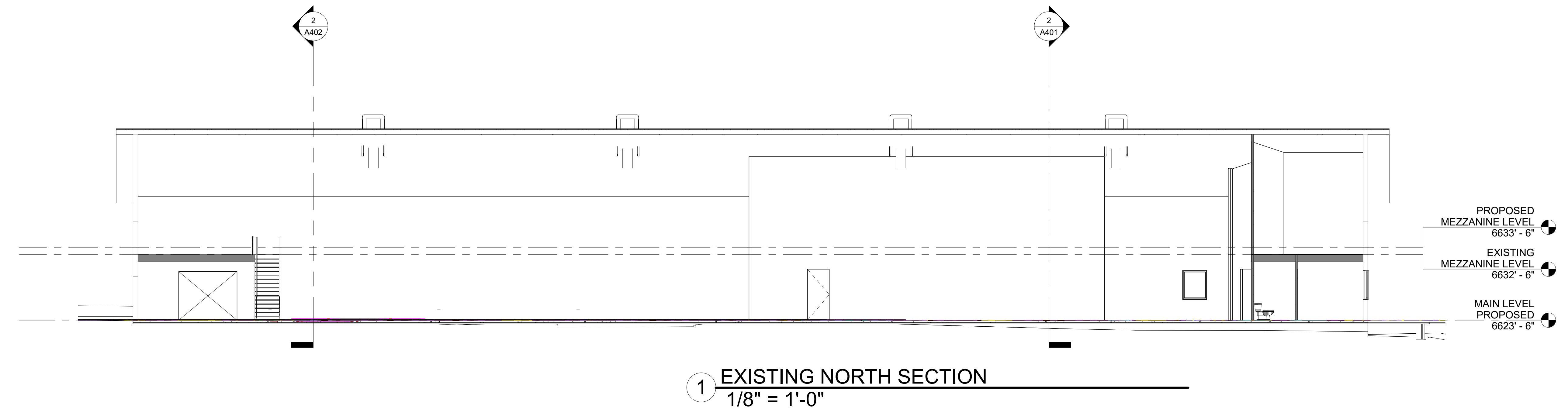
WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

Job #
1802

Issue Date

Drawing Name
PROPOSED
EDITIONS

A304



2 EXISTING EAST SECTION
1/8" = 1'-0"

SEAL

WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

Job #
1802

Drawing Name

EXISTING BUILDING SECTIONS

A401

WESTERN SLOPE LAUNDRY
775 SAWATCH DR.
EAGLE, CO 81631

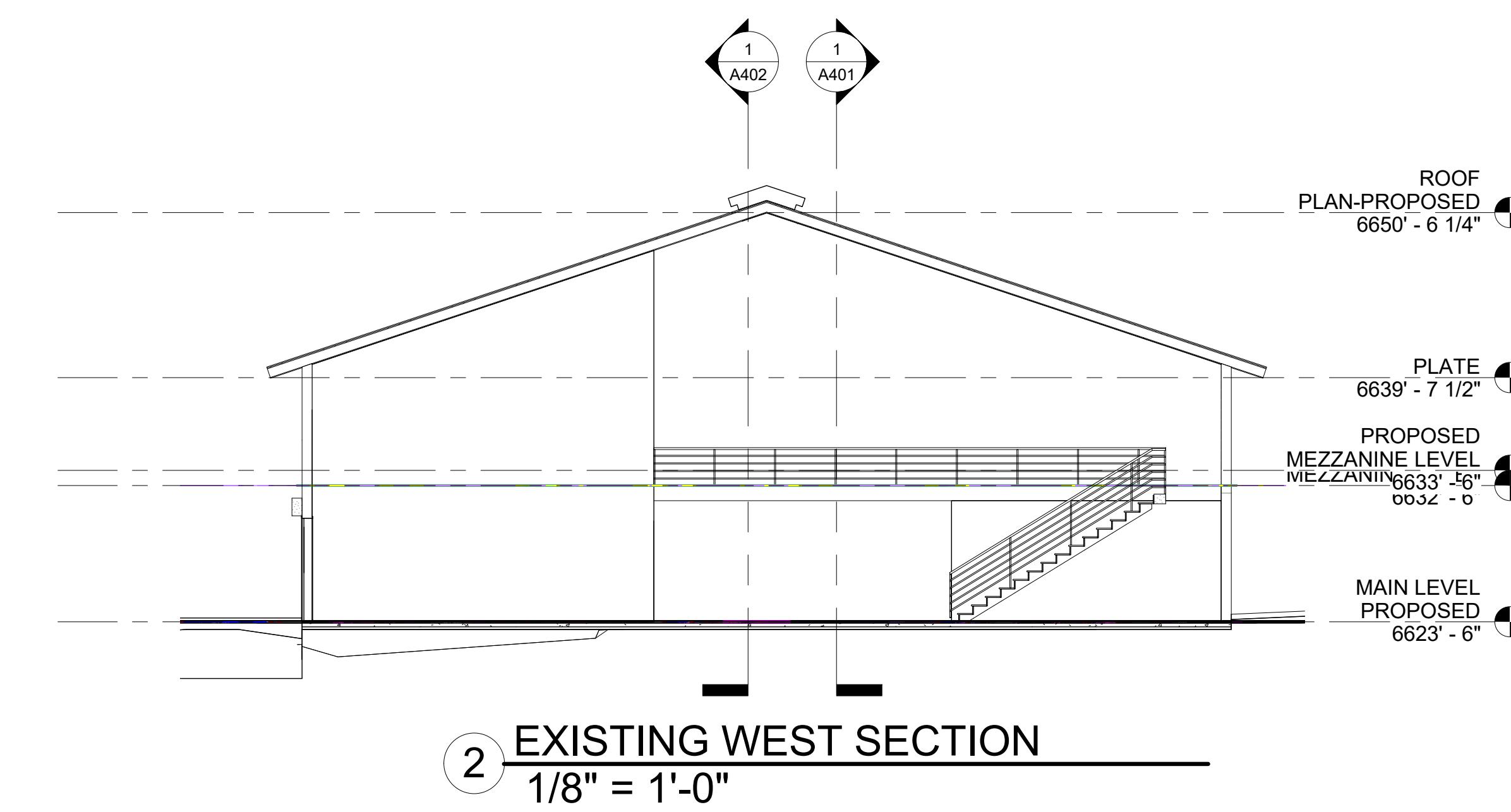
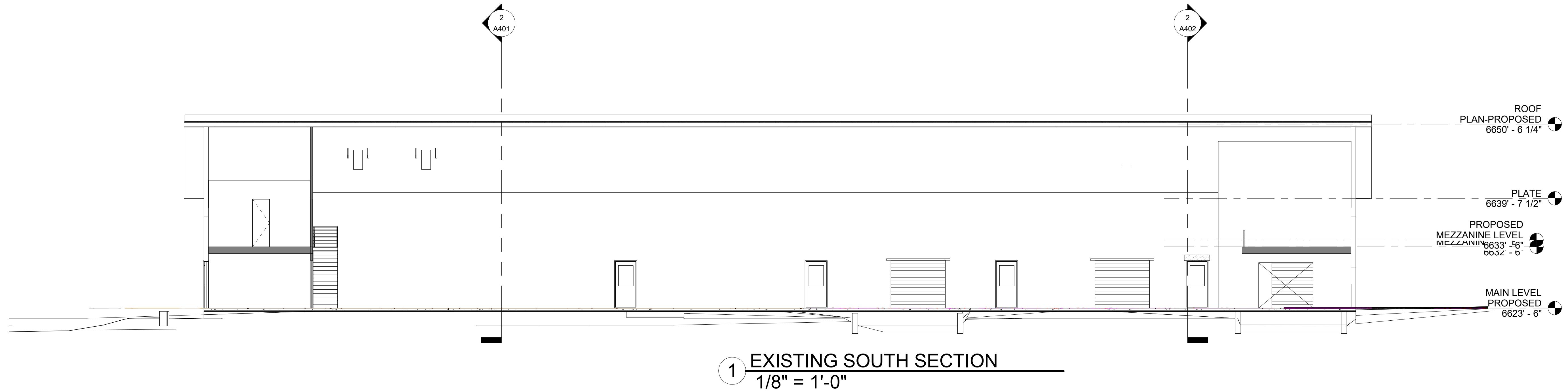
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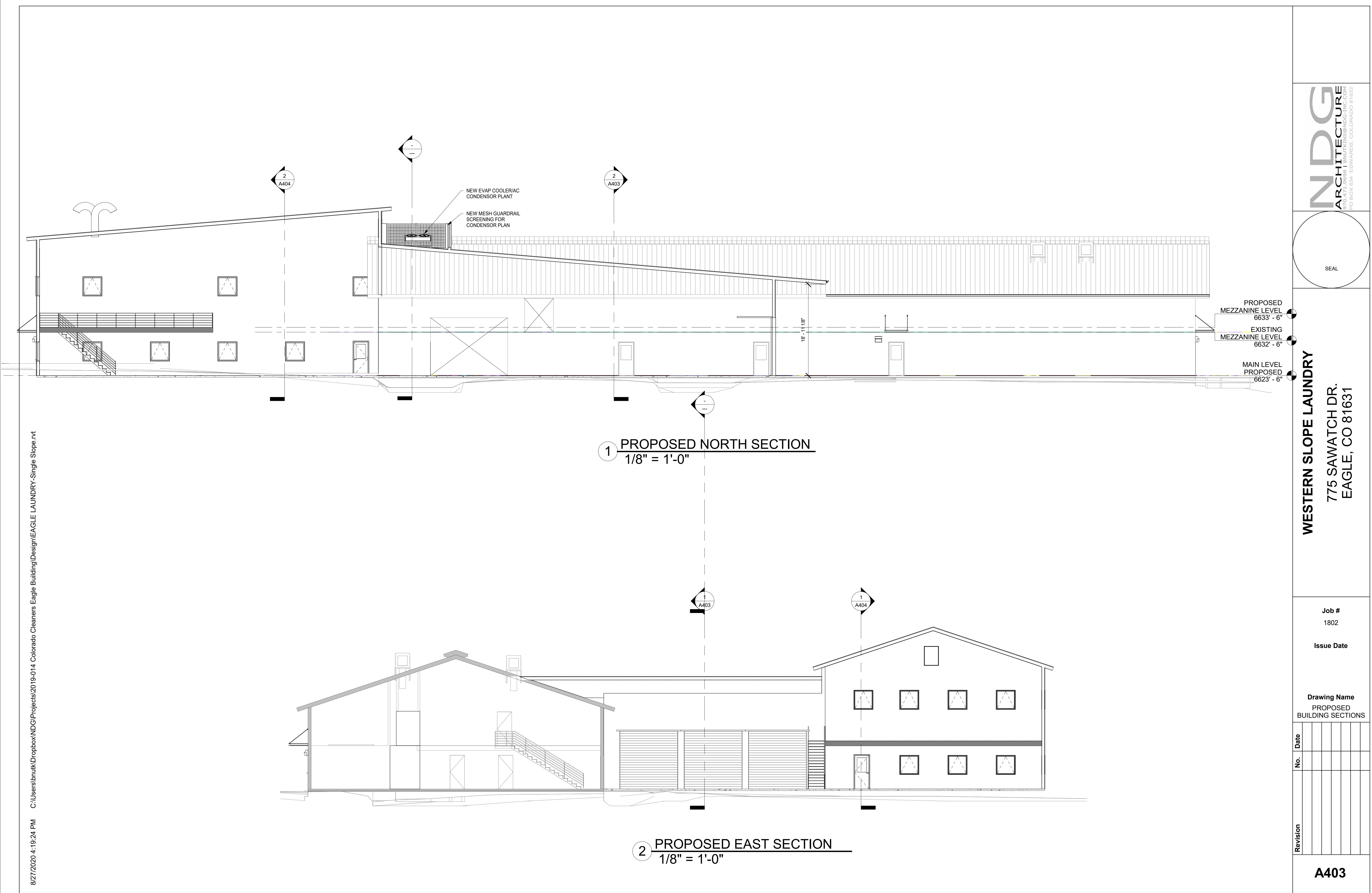
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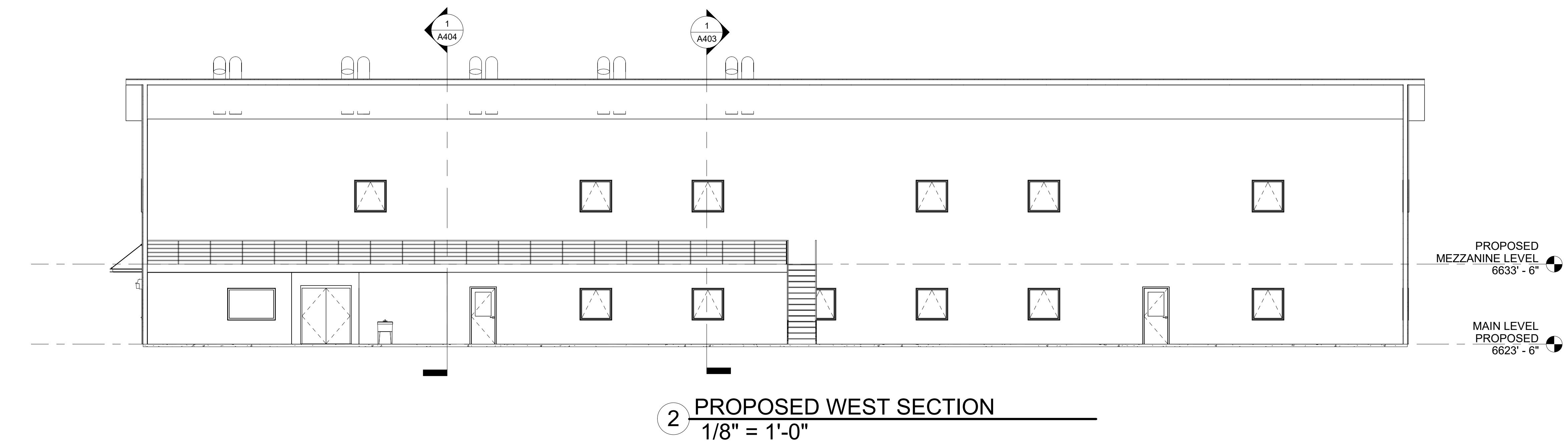
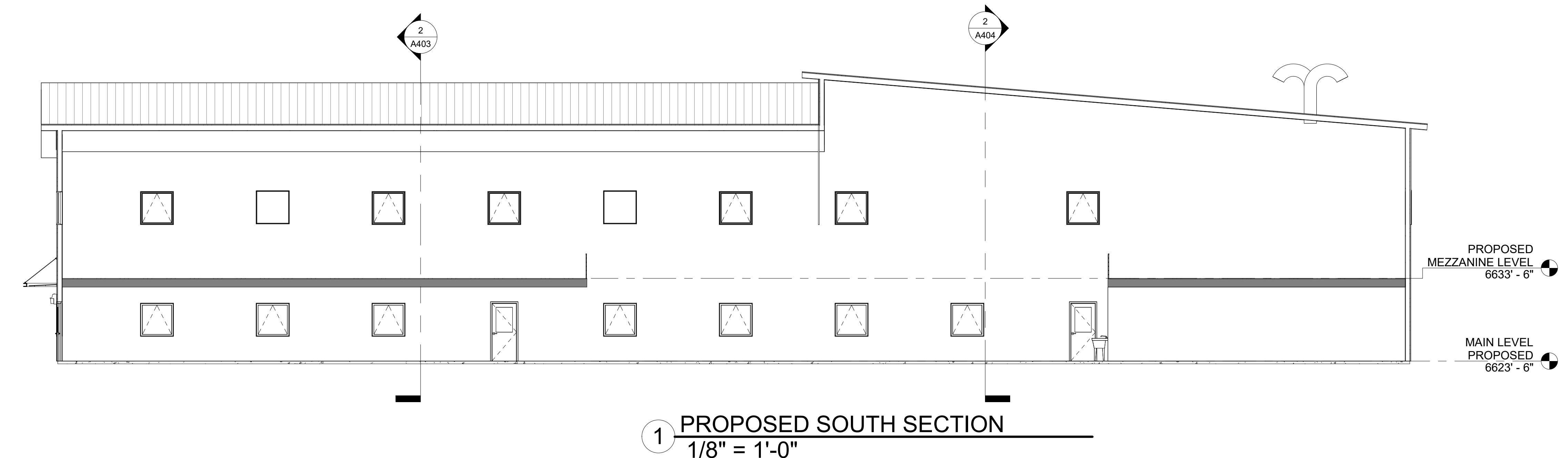
Drawing Name
EXISTING BUILDING
SECTIONS

Revision
No. Date

A402







A404

The logo for NDG Architecture. It features the letters 'NDG' in a large, bold, sans-serif font. To the right of 'NDG', the word 'ARCHITECTURE' is written vertically in a smaller, bold, sans-serif font. Below 'ARCHITECTURE', the phone number '970.471.0698' is listed, followed by a vertical line and the email address 'BNUCKINS@NDG-INC.COM'. At the bottom, the address 'PO BOX 634 EDWARDS, COLORADO 81632' is printed vertically.

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