

D:\DROPBOX\PROJECT FILES\22.011-435 EBY CREEK ROAD, EAGLE\PLANS\C1 COVER SHEET

EBY CREEK APARTMENTS

435 EBY CREEK ROAD

LOT 3, PERRY SUBDIVISION PHASE 2, SECTION 32, TOWNSHIP 4 SOUTH, RANGE 84 WEST OF
THE 6TH PRINCIPAL MERIDIAN, TOWN OF EAGLE, COUNTY OF EAGLE, STATE OF COLORADO

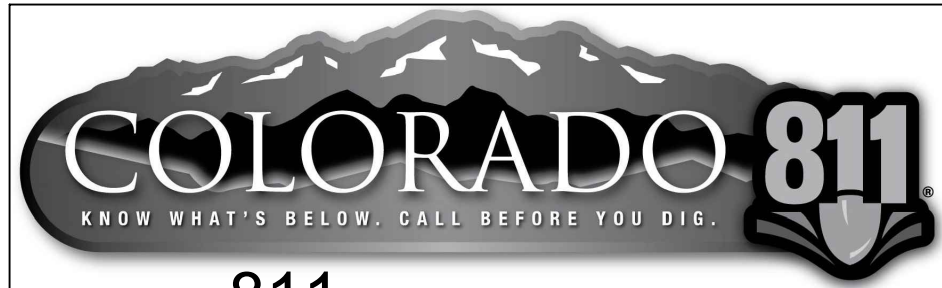
LEGEND

EXISTING		PROPOSED
---	PROPERTY LINE	---
---	RIGHT-OF-WAY LINE	---
---	SECTION LINE	---
---	EASEMENT	---
///	RETAINING WALL	///
==	CURB & GUTTER	==
	ASPHALT	
	CONCRETE/ SIDEWALK	
	HANDICAP RAMPS	
---	CONTOURS	---
---	UTILITY CROSSING	---
---	STORM SEWER	---
---	STORM MANHOLE	---
---	ROOF DRAIN	---
---	STORM INLET	---
<	FLARED END SECTION	
---	SANITARY SEWER	---
---	SANITARY MANHOLE	---
Q	CLEAN OUT	Q
---	WATER LINE	---
⊗	WATER VALVE	⊗
⊗	FIRE HYDRANT	⊗
⊗	WATER METER	⊗
---	IRRIGATION LINE	---
---	IRRIGATION CONTROL	---
---	OVERHEAD ELECTRIC	---
---	ELECTRIC LINE	---
⊙	LIGHT POLE	⊙
⊙	POWER POLE	⊙
---	ELECTRIC METER	---
---	TELEPHONE LINE	---
---	TELEPHONE PEDESTAL	---
---	CABLE TV	---
---	SIGN	---
---	DIRECTION OF FLOW	---
---	GRADING ARROW	---
---	GAS LINE	---
---	DRIVE	---
---	SPOT ELEVATIONS	---



VICINITY MAP

SCALE: 1"=100'



CALL 811 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE OR EXCAVATE FOR
MARKING OF UNDERGROUND MEMBER UTILITIES

ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS.
THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM
THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE
CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE,
MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES
PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

BASIS OF BEARING AND BENCHMARK:

BASIS OF BEARING: BEARINGS ARE BASED UPON AN ASSUMED BEARING OF N89°30'00"E
FOR THE NORTHERLY LIMITS OF THE SUBJECT PROPERTY.

BENCHMARK: ELEVATIONS ARE BASED UPON THE NATIONAL GEODETIC SURVEY (N.G.S.)
BENCHMARK STATION D-280.
ELEVATION = 6625.21 FEET (N.A.V.D. 88)

EXISTING TOPOGRAPHY SHOWN WAS TAKEN FROM THE DESIGN SURVEY COMPLETED BY
MERIDIAN SURVEYING AND DATED 11 OCTOBER 2017.

PROJECT CONTACTS

OWNER	JURISDICTION	ARCHITECT	CIVIL ENGINEER	LAND SURVEYOR
SON RAY, LLC P.O. BOX 4556 EAGLE, COLORADO 81631 970-328-7751	TOWN OF EAGLE 200 BROADWAY EAGLE, COLORADO 81631 970-445-0847	MARTIN MANLEY ARCHITECTS P.O. BOX 1587 EAGLE, COLORADO 81631 970-328-1299	YARNELL CONSULTING & CIVIL DESIGN P.O. BOX 3901 EAGLE, COLORADO 81631-3901 970-323-7008	MERIDIAN SURVEYING P.O. BOX 2225 GYPSUM, COLORADO 81637 970-524-0963
RYAN SMITH	DENNIS WIKE	JEFF MANLEY	JUSTIN YARNELL	ERON WATTS

SUBMITTALS / REVISIONS

1	SCHEMATIC DESIGN (NOT FOR CONSTRUCTION)	4/25/2022
2	DESIGN DEVELOPMENT (NOT FOR CONSTRUCTION)	5/19/2022
3	DEVELOPMENT PERMIT RESUBMITTAL (NO CONST.)	6/24/2022

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UTILITY CONTACTS

NATURAL GAS	ELECTRIC	FIBER OPTIC	WATER & SANITATION
BLACK HILLS ENERGY 96 COUNTY ROAD 160, GLENWOOD SPRINGS, CO 81601 970-928-0407	HOLY CROSS ENERGY P.O. BOX 2150 GLENWOOD SPRINGS, CO 81602 970-947-5439	CENTURY LINK P.O. BOX 0570 EAGLE, COLORADO 81631 970-328-8290	TOWN OF EAGLE 200 BROADWAY EAGLE, COLORADO 81631 970-445-0847
JASON COX	KEITH HERNANDEZ	JASON SHARPE	DENNIS WIKE

435 EBY CREEK APARTMENTS

435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
EAGLE, COLORADO

YARNELL CONSULTING &
CIVIL DESIGN, LLC

P.O. BOX 3901, EAGLE, COLORADO 81631
(970) 323-7008

THE DESIGNS SHOWN HEREIN INCLUDING
ALL TECHNICAL DRAWINGS, GRAPHIC
REPRESENTATION & MODELS THEREOF, ARE
PROPRIETARY & CAN NOT BE COPIED,
DUPLICATED, OR COMMERCIALY EXPLOITED
IN WHOLE OR IN PART WITHOUT THE SOLE
AND EXPRESS WRITTEN PERMISSION FROM
YARNELL CONSULTING & CIVIL DESIGN, LLC.

NO.	ISSUE / REVISION	NAME	DATE
1.	SCHEMATIC DESIGN (NO CONST.)	J. YARNELL	4/15/22
2.	DESIGN DEVELOPMENT (NO CONST.)	J. YARNELL	5/19/22
3.	DEVELOPMENT PERMIT RESUBMISSION	J. YARNELL	6/24/22
4.			
5.			

DESIGN BY: J. YARNELL	DATE: 6/24/2022
DRAWN BY: J. YARNELL	
REVIEWED BY: J. YARNELL	
PROJECT NO.: 22.011	

SHEET TITLE
COVER SHEET

SHEET NO.
C1

D:\DROPBOX\PROJECT FILES\22.011--435 EBY CREEK ROAD, EAGLE\PLANS\C1 COVER SHEET

GENERAL NOTES:

1.

ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAGLE "PUBLIC WORKS MANUAL." ITEMS NOT COVERED WITHIN SAID MANUAL SHALL BE IN ACCORDANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND M-STANDARDS.
2.

ALL STREETS, WATER UTILITY, STORM SEWER, AND SANITARY SEWER UTILITY CONSTRUCTION SHALL BE SUBJECT TO TOWN OF EAGLE INSPECTION.
3.

THE CONTRACTOR SHALL HAVE ONE [1] SIGNED COPY OF PLANS APPROVED BY THE TOWN OF EAGLE AND ONE [1] COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
4.

PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CIVIL ENGINEER--OF-RECORD TEST REPORTS, SHOP DRAWINGS, CUT SHEETS, AND ANY OTHER DOCUMENTATION NECESSARY TO CLEARLY INDICATE THE MATERIALS AND COMPONENTS SLATED FOR USE ON THE PROJECT.
5.

CONTRACTOR SHALL NOTIFY THE ENGINEER, OWNER, AND THE TOWN OF EAGLE INSPECTOR 48 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE TOWN OF EAGLE INSPECTOR 24 HOURS PRIOR TO START OF WORK.
6.

ALL RANGE POINTS, TIES, BENCHMARKS, OR OTHER SURVEY CONTROL POINTS, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION, MUST BE PRESERVED. ANYTHING DAMAGED OR DESTROYED MUST BE RESTORED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF COLORADO, AT NO COST TO THE OWNER.
7.

ALL ELEVATIONS ARE ON UNITED STATES GEOLOGICAL SURVEY (USGS) VERTICAL DATUM -- NOT ARCHITECTURAL SPOT ELEVATIONS ARE AROUND ELEVATION 6700. THEREFORE, SPOT ELEVATION 95.26 CORRESPONDS TO USGS ELEVATION 6695.26 WHILE SPOT ELEVATION 05.35 CORRESPONDS TO USGS ELEVATION 6705.35.
8.

THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING, BUT NOT LIMITED TO, SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK, TRENCH EXCAVATION AND SHORING, TRAFFIC CONTROL, AND SECURITY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
9.

THE TOWN/OWNER/ENGINEER CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
10.

ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION [OSHA] "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION." THESE REGULATIONS ARE DESCRIBED IN SUBPART P, PART 1926 OF THE CODE OF FEDERAL REGULATIONS. SHEETING AND SHORING SHALL BE UTILIZED WHERE NECESSARY TO PREVENT ANY EXCESSIVE WIDENING OR SLOUGHING OF THE TRENCH WHICH MAY BE DETRIMENTAL TO HUMAN SAFETY, TO THE PIPE BEING PLACED, OR TO ANY EXISTING SITE IMPROVEMENTS OR STRUCTURES. THE CONTRACTOR MAY BE REQUIRED TO USE AN APPROVED PILING INSTEAD OF SHEETING AND SHORING.
11.

CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR THE SCOPE OF WORK.
12.

AT LEAST FIVE [5] WORKING DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION, A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE TOWN OF EAGLE INSPECTOR. THE TRAFFIC CONTROL PLAN SHALL BE PREPARED BY A CERTIFIED TRAFFIC CONTROL SUPERVISOR AND SHALL BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD). NO WORK SHALL BEGIN UNTIL ALL TRAFFIC CONTROL DEVICES HAVE BEEN PLACED IN ACCORDANCE WITH THE PLAN. THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN THE TRAFFIC CONTROL DEVICES FOR THE ENTIRE DURATION OF THE PROJECT OR UNTIL THE ROADWAY HAS BEEN OPENED AND THE PERMANENT TRAFFIC CONTROL DEVICES HAVE BEEN INSTALLED.
13.

ALL TRENCH BACKFILL AND SUBGRADE PREPARATION SHALL BE TESTED TO ENSURE COMPLIANCE WITH TOWN OF EAGLE STANDARDS AND SHALL BE TESTED AT TOWN OF EAGLE--REQUIRED FREQUENCIES BY A TOWN OF EAGLE--APPROVED PRIVATE SOILS TESTING FIRM. TEST RESULTS SHALL BE SUBMITTED TO, REVIEWED, AND APPROVED BY, THE TOWN OF EAGLE ENGINEERING DEPARTMENT PRIOR TO INSTALLING BASE COURSE, ASPHALT OR CONCRETE ON PREPARED SUBGRADE. ALL BASE COURSE DENSITY SHALL ALSO BE TESTED BY THE PRIVATE SOILS FIRM AT TOWN OF EAGLE--REQUIRED FREQUENCIES TO ENSURE COMPLIANCE WITH TOWN OF EAGLE REQUIREMENTS. BASE COURSE TEST RESULTS SHALL ALSO BE APPROVED BY THE TOWN OF EAGLE ENGINEERING DEPARTMENT PRIOR TO INSTALLING PAVEMENT. ALL CONCRETE AND ASPHALT PLACED SHALL BE TESTED IN ACCORDANCE WITH TOWN OF EAGLE MINIMUM MATERIALS TESTING STANDARDS. TEST RESULTS SHALL BE REVIEWED AND APPROVED BY THE TOWN OF EAGLE ENGINEERING DEPARTMENT PRIOR TO INITIATION OF THE REQUIRED TWO--YEAR WARRANTY PERIOD.
14.

CONTRACTOR SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL HEALTH AND SAFETY RULES AND REGULATIONS.
15.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED. REPAIR OF DAMAGED UTILITIES SHALL BE AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO UNKNOWN UNDERGROUND UTILITIES.
16.

EXISTING FENCES, TREES, SIDEWALKS, CURB/GUTTER, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS.
17.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING REASONABLE ACCESS TO AND FROM ALL OF THE ADJACENT PROPERTIES THROUGHOUT THE COURSE OF THE WORK. THE CONTRACTOR SHALL BE REQUIRED TO MEET (INDIVIDUALLY OR COLLECTIVELY) WITH ALL ADJACENT PROPERTY OWNERS WHOSE DRIVEWAY ACCESS WILL BE AFFECTED BY THE WORK. AS CONSTRUCTION CONDITIONS CHANGE AND THE WORK PROGRESSES, THE CONTRACTOR SHALL BE REQUIRED TO PERIODICALLY UPDATE THOSE PROPERTY OWNERS SO THAT THEY ARE KEPT INFORMED ABOUT THEIR ACCESS.
18.

CONTRACTOR SHALL OBTAIN A STORMWATER CONSTRUCTION PERMIT FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION, PRIOR TO CLEARING, GRADING, OR EXCAVATING A SITE OF ONE [1] ACRE OR MORE. A COPY OF THE APPROVED PERMIT MUST BE SUBMITTED TO THE TOWN OF EAGLE ENGINEERING DEPARTMENT PRIOR TO THE START OF CLEARING, GRADING, OR EXCAVATING OF THE SITE. A COPY OF THE APPROVED PERMIT MUST ALSO BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
19.

CONTRACTOR SHALL OBTAIN A COLORADO STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) FOR ALL AREAS WHERE DEWATERING IS REQUIRED AND WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH, OR ANY WATERS OF THE UNITED STATES. A COPY OF THE APPROVED PERMIT MUST BE SUBMITTED TO THE TOWN OF EAGLE ENGINEERING DEPARTMENT PRIOR TO THE START OF ANY DEWATERING. A COPY OF THE APPROVED PERMIT MUST ALSO BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
20.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STORM RUNOFF AND ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED, AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. NO CONCRETE SHALL BE PLACED WHERE GROUNDWATER IS VISIBLE OR UNTIL THE GROUNDWATER TABLE HAS BEEN LOWERED BELOW THE PROPOSED IMPROVEMENTS. ANY UNSTABLE AREAS, AS A RESULT OF GROUNDWATER, ENCOUNTERED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE STABILIZED AS AGREED UPON BY THE CONTRACTOR, THE TOWN OF EAGLE INSPECTOR, AND THE GEOTECHNICAL ENGINEER AT THE TIME OF OCCURRENCE.
21.

THE CONTRACTOR IS RESPONSIBLE FOR FIELD LOCATING AND VERIFYING ELEVATIONS OF ALL EXISTING UTILITIES (STORM SEWER, SANITARY, WATER, NATURAL GAS, ELECTRIC, TELEPHONE, FIBER OPTICS, CABLE TELEVISION, ETC.) AND FINISHED GRADES AT THE POINTS OF CONNECTION SHOWN ON THE PLANS, AND AT ANY UTILITY CROSSINGS. IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN PRIOR TO INSTALLING ANY OF THE NEW IMPROVEMENTS.

22.

PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITIES TO COORDINATE SCHEDULES.
23.

CONTRACTOR SHALL NOTIFY ALL BUSINESSES/RESIDENTS IN WRITING 48 HOURS PRIOR TO ANY SHUT--OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER--HOURS CALLS. ALL SHUT--OFFS MUST BE APPROVED BY THE TOWN OF EAGLE WATER DEPARTMENT, AND TOWN OF EAGLE VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN OF EAGLE PERSONNEL, UNLESS WRITTEN PERMISSION IS GIVEN OTHERWISE.
24.

ALL PUBLIC IMPROVEMENT WORK, INCLUDING CORRECTION WORK, SHALL BE INSPECTED BY A TOWN OF EAGLE REPRESENTATIVE WHO SHALL HAVE THE AUTHORITY TO HALT CONSTRUCTION WHEN STANDARD CONSTRUCTION PRACTICES ARE NOT BEING ADHERED TO. THE TOWN OF EAGLE RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR BEING AWARE OF, NOTIFYING, COORDINATING, AND SCHEDULING ALL INSPECTIONS REQUIRED FOR FINAL APPROVALS AND PROJECT ACCEPTANCE.
25.

REFER TO LANDSCAPE PLANS PREPARED BY MARTIN MANLEY ARCHITECTS FOR FINAL LANDSCAPE AND SPECIALTY LANDSCAPE FEATURES.
26.

COMPACTION OF ALL TRENCHES MUST BE ATTAINED, AND COMPACTION TEST RESULTS SUBMITTED TO THE ENGINEER AND THE TOWN OF EAGLE PRIOR TO FINAL ACCEPTANCE.
27.

RECORD DRAWINGS SHOWING ALL CHANGES FROM THE APPROVED CONSTRUCTION DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER AND OWNER PRIOR TO INITIATION OF THE REQUIRED TWO--YEAR WARRANTY PERIOD. THE RECORD DRAWINGS WILL CONSIST OF A MARKED--UP SET OF "ISSUED FOR CONSTRUCTION" DRAWINGS VERIFYING THE FOLLOWING:
 - ALL LENGTHS, SIZES, AND MATERIALS OF INSTALLED PIPE, UTILITY STRUCTURES, AND ANY OTHER IMPROVEMENT.
 - HORIZONTAL LOCATIONS BY NORTHING AND EASTING COORDINATES OF ALL UTILITY STRUCTURES, BENDS, CLEANOUTS, VALVES, TAPS, WYES, STUBS, PLUGS, TEES, ETC.
 - INVERT ELEVATIONS OF STORM SEWER AND SANITARY SEWER STRUCTURES, INLETS, OUTLETS, CLEAN--OUTS, STUB ENDS, TOP OF PIPE ELEVATIONS OF EACH UTILITY CROSSING, ETC.
 - CONSTRUCTED SLOPE OF STORM AND SANITARY PIPES BETWEEN STRUCTURES.
 - TOP OF PIPE ELEVATION AT REGULAR INTERVALS AND/OR FITTINGS FOR WATER LINES.
 - ELEVATIONS AT FLOWLINE OF CURB/GUTTER AT DESIGN LOCATIONS AND GRADE BREAKS. ELEVATION OF INLET AND TRENCH DRAIN GRATES. TOP OF CURB AT CURB INLETS.
 - ANY OTHER VARIATIONS FROM THE CONSTRUCTION DOCUMENTS MUST BE CLEARLY NOTED AND DETAILED ON THE PLANS.
 - AS--BUILT FIELD NOTES, FROM WHICH THE AS--BUILT DRAWINGS ARE PREPARED, ARE TO BE PROVIDED AND STAMPED/SIGNED AND DATED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF COLORADO.
25.

THE CONTRACTOR SHALL WARRANT ALL WORK TO BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF TWO [2] YEARS FROM THE DATE OF ACCEPTANCE.
26.

DURING CONSTRUCTION AND UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, AS DETERMINED BY THE OWNER, HIS/HER REPRESENTATIVE, OR THE TOWN OF EAGLE INSPECTOR.
27.

CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT TITLED [-----], DATED [-----], AND PREPARED BY [-----] FOR PAVEMENT DESIGN AND RECOMMENDATIONS REGARDING EXCAVATION, COMPACTION, MATERIALS, EMBANKMENT, PAVEMENT SUBEXCAVATION, MOISTURE CONTROL, AND TOPSOIL REMOVAL AND REPLACEMENT. FINAL PAVEMENT DESIGN TO BE DETERMINED BY THE GEOTECHNICAL ENGINEER AFTER SUBGRADE IS COMPLETE. CONTRACTOR TO COORDINATE THIS WORK. THE CONSTRUCTION METHODS FOR EXCAVATION/EMBANKMENTS, COMPACTION, AND SUBGRADE PREPARATION SHALL BE IN STRICT CONFORMANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF DISCREPANCIES BETWEEN THE GEOTECHNICAL REPORT RECOMMENDATIONS AND REQUIREMENTS OF THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
28.

THE OWNER/DEVELOPER AND/OR THEIR ASSIGNS IS HEREBY NOTIFIED THAT IT IS TYPICAL AND LIKELY THAT SOME MOVEMENT OF THE SURFACE GRADES WILL OCCUR OVER TIME DUE TO VARIOUS FACTORS THAT ARE NOT IN CONTROL OF THE DESIGNERS. THUS, A ROUTINE AND DILIGENT MAINTENANCE PROGRAM IS REQUIRED TO MAINTAIN THE PROPER GRADING AND DRAINAGE THROUGHOUT THE PROJECT.
29.

THE PLANS HAVE BEEN PREPARED BY YARNELL CONSULTING & CIVIL DESIGN, LLC IN ACCORDANCE WITH AND IN RELIANCE UPON THE GEOTECHNICAL REPORT TITLED [-----], DATED [-----], AND PREPARED BY [-----]. YARNELL CONSULTING & CIVIL DESIGN, LLC HAS NO RESPONSIBILITY FOR THE FOUNDATION SYSTEMS USED WITHIN THIS DEVELOPMENT. YARNELL CONSULTING & CIVIL DESIGN, LLC SUGGESTS THAT ALL OWNERS, PRESENT AND FUTURE, BECOME AWARE OF THE RISK ASSOCIATED WITH IMPROPER MAINTENANCE OF SLOPES AND DRAINAGE AWAY FROM THE STRUCTURES.
30.

THE DESIGN PLANS SHOWN HEREON WERE DEVELOPED BASED UPON THE GEOTECHNICAL INVESTIGATIONS/ANALYSIS/ENGINEERING CRITERIA WITHIN THE GEOTECHNICAL REPORT TITLED [-----], DATED [-----], PREPARED BY [-----], SIGNED AND SEALED BY [-----] P.E. YARNELL CONSULTING & CIVIL DESIGN, LLC RELIED UPON THE ENGINEERING ANALYSIS AND CONCLUSIONS OF THIS REPORT IN THE PREPARATION OF THESE CIVIL ENGINEERING PLANS AND DOCUMENTS. NO INDEPENDENT INVESTIGATIONS AND/OR ANALYSIS WAS CONDUCTED BY YARNELL CONSULTING & CIVIL DESIGN, LLC. THESE PLANS WERE PROVIDED TO THE GEOTECHNICAL ENGINEER FOR REVIEW AND VERIFICATION THAT THESE PLANS DEVELOPED BY YARNELL CONSULTING & CIVIL DESIGN, LLC PROPERLY INTERPRETED AND APPLIED THE CRITERIA AND RECOMMENDATIONS ESTABLISHED BY THEIR GEOTECHNICAL REPORT FOR THIS PROJECT.

ABBREVIATIONS:

APPROX	APPROXIMATE
ARCH	ARCHITECT
ASSM	ASSEMBLY
BLDG	BUILDING
BM	BENCHMARK
BOC	BACK OF CURB
BOW	BACK OF WALK
CIP	CAST IRON PIPE
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC	CONCRETE
CONT	CONTOUR
COR	CORNER
DEMO	DEMOLITION
DIA OR Ø	DIAMETER
DIM	DIMENSION
DIP	DUCTILE IRON PIPE
E	ELECTRICAL LINE
EL	ELEVATION
ELEC	ELECTRICAL
ENG	ENGINEER
ESMT	EASEMENT
EXIST	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FFE	FINISHED FLOOR ELEVATION
FGW	FINISHED GRADE AT WALL
FHY	FIRE HYDRANT
FL	FLOW LINE
FT	FOOT
GB	GRADE BREAK
GR	GRATE (AREA OR VALLEY INLETS)
GV	GATE VALVE
HERCP	HORIZONTAL ELLIPTICAL REINFORCED CONCRETE PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HORZ	HORIZONTAL
HP	HIGH POINT
INV.	INVERT
LF	LINEAL FEET
LP	LOW POINT
MAX	MAXIMUM
MECH	MECHANICAL
MH	MANHOLE
MIN	MINIMUM
N.I.C.	NOT IN CONTRACT
NTS	NOT TO SCALE
OHE	OVERHEAD ELECTRICAL
PC	POINT OF HORIZONTAL TANGENCY
PCC	POINT OF COMPOUND CURVE
PERF	PERFORATED
PERIM	PERIMETER
PERP	PERPENDICULAR
PI	POINT OF HORIZONTAL INTERSECTION
PIV	PRESSURE INDICATOR VALVE
PL	PROPERTY LINE
PLBG	PLUMBING
POC	POINT ON CURVE
POT	POINT OF TANGENT
PRC	POINT OF REVERSE CURVE
PRKG	PARKING
PROP	PROPOSED
PRV	PRESSURE REDUCING VALVE
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVMT	PAVEMENT
PVT	POINT OF VERTICAL TANGENCY
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
ROW	RIGHT OF WAY
SSWR	SANITARY SEWER
SEC	SECTION
SF	SQUARE FOOT
STA	STATION
STRM	STORM SEWER
STRUC	STRUCTURAL
SW	SIDEWALK
SY	SQUARE YARD
TELE	TELEPHONE
TB	THRUST BLOCK
TEMP	TEMPORARY
TOC	TOP OF CURB
TOW ₁	TOP OF WALL ₁
UD	UNDER DRAIN
UG	UNDERGROUND
VERT	VERTICAL
VC	VERTICAL CURVE
W	WATER LINE

NOTE: TOW₁ SHALL BE TOP OF WATER ON UTILITY SHEETS ONLY AND TOP OF WALL ON ALL OTHER SHEETS.

435 EBY CREEK APARTMENTS

435 EBY CREEK ROAD

LOT 3, PERRY SUBDIVISION PHASE 2

EAGLE, COLORADO

YARNELL CONSULTING & CIVIL DESIGN, LLC

P.O. BOX 3901, EAGLE, COLORADO 81631

(970) 323-7008

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NO.	ISSUE / REVISION	NAME	DATE
1.	SCHEMATIC DESIGN (NO CONST.)	J. YARNELL	4/15/22
2.	DESIGN DEVELOPMENT (NO CONST.)	J. YARNELL	5/19/22
3.	DEVELOPMENT PERMIT RESUBMISSION	J. YARNELL	6/24/22
4.			
5.			

DESIGN BY: J. YARNELL

DRAWN BY: J. YARNELL

REVIEWED BY: J. YARNELL

PROJECT NO.: 22.011

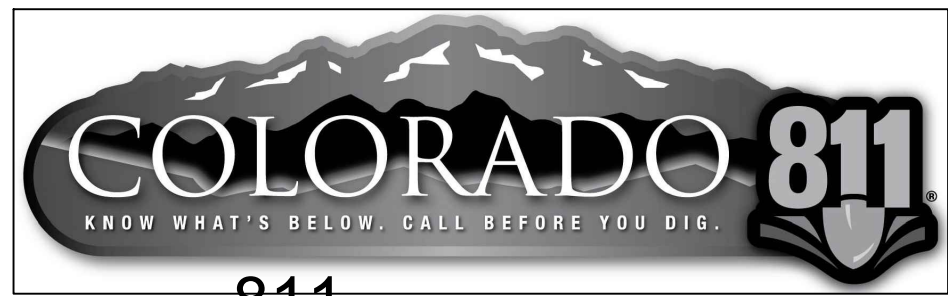
DATE: 6/24/2022

SHEET TITLE

GENERAL NOTES & ABBREVIATIONS

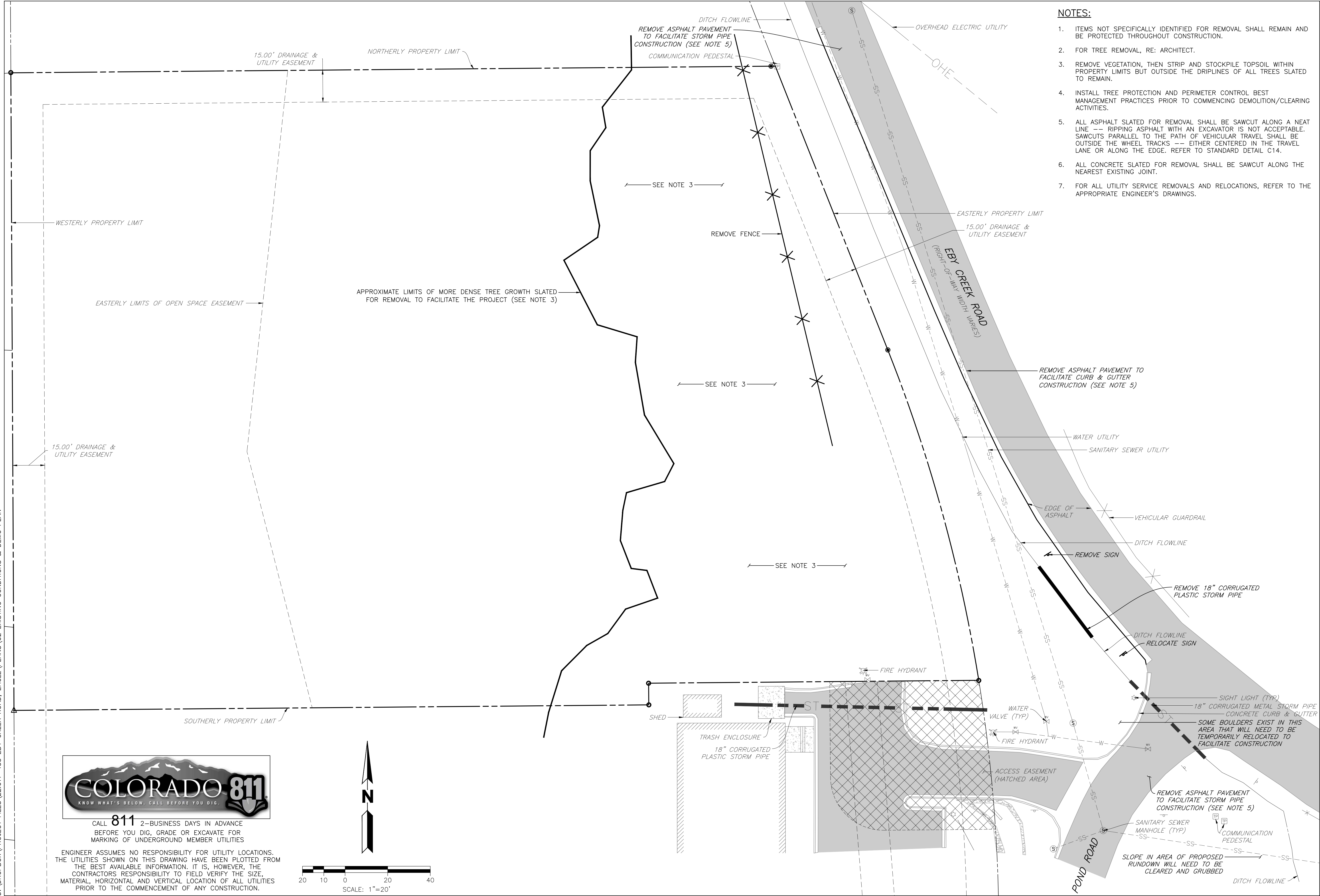
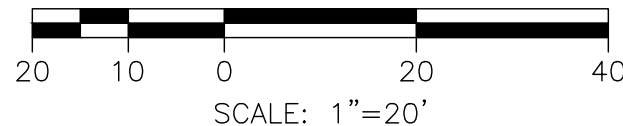
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D:\DROPBOX\PROJECT FILES\22.011-435 EBY CREEK ROAD, EAGLE\PLANS\C2 EXISTING CONDITIONS & DEMO PLAN



CALL **811** 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE OR EXCAVATE FOR
MARKING OF UNDERGROUND MEMBER UTILITIES

ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS.
THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM
THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE
CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE,
MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES
PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.



NOTES:

- ITEMS NOT SPECIFICALLY IDENTIFIED FOR REMOVAL SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- FOR TREE REMOVAL, RE: ARCHITECT.
- REMOVE VEGETATION, THEN STRIP AND STOCKPILE TOPSOIL WITHIN PROPERTY LIMITS BUT OUTSIDE THE DRIPLINES OF ALL TREES SLATED TO REMAIN.
- INSTALL TREE PROTECTION AND PERIMETER CONTROL BEST MANAGEMENT PRACTICES PRIOR TO COMMENCING DEMOLITION/CLEARING ACTIVITIES.
- ALL ASPHALT SLATED FOR REMOVAL SHALL BE SAWCUT ALONG A NEAT LINE --- RIPPING ASPHALT WITH AN EXCAVATOR IS NOT ACCEPTABLE. SAWCUTS PARALLEL TO THE PATH OF VEHICULAR TRAVEL SHALL BE OUTSIDE THE WHEEL TRACKS --- EITHER CENTERED IN THE TRAVEL LANE OR ALONG THE EDGE. REFER TO STANDARD DETAIL C14.
- ALL CONCRETE SLATED FOR REMOVAL SHALL BE SAWCUT ALONG THE NEAREST EXISTING JOINT.
- FOR ALL UTILITY SERVICE REMOVALS AND RELOCATIONS, REFER TO THE APPROPRIATE ENGINEER'S DRAWINGS.

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1.	SCHEMATIC DESIGN (NO CONST.)	J. YARNELL	4/15/22
2.	DESIGN DEVELOPMENT (NO CONST.)	J. YARNELL	5/19/22
3.	DEVELOPMENT PERMIT RESUBMISSION	J. YARNELL	6/24/22
4.			
5.			

DESIGN BY: J. YARNELL	PROJECT NO: 22.011	DATE: 6/24/2022
DRAWN BY: J. YARNELL		
REVIEWED BY: J. YARNELL		

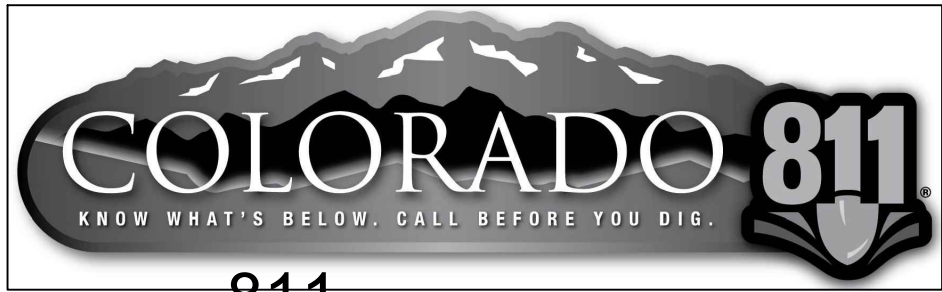
SHEET TITLE
**EXISTING
CONDITIONS &
DEMO PLAN**

SHEET NO.
C2

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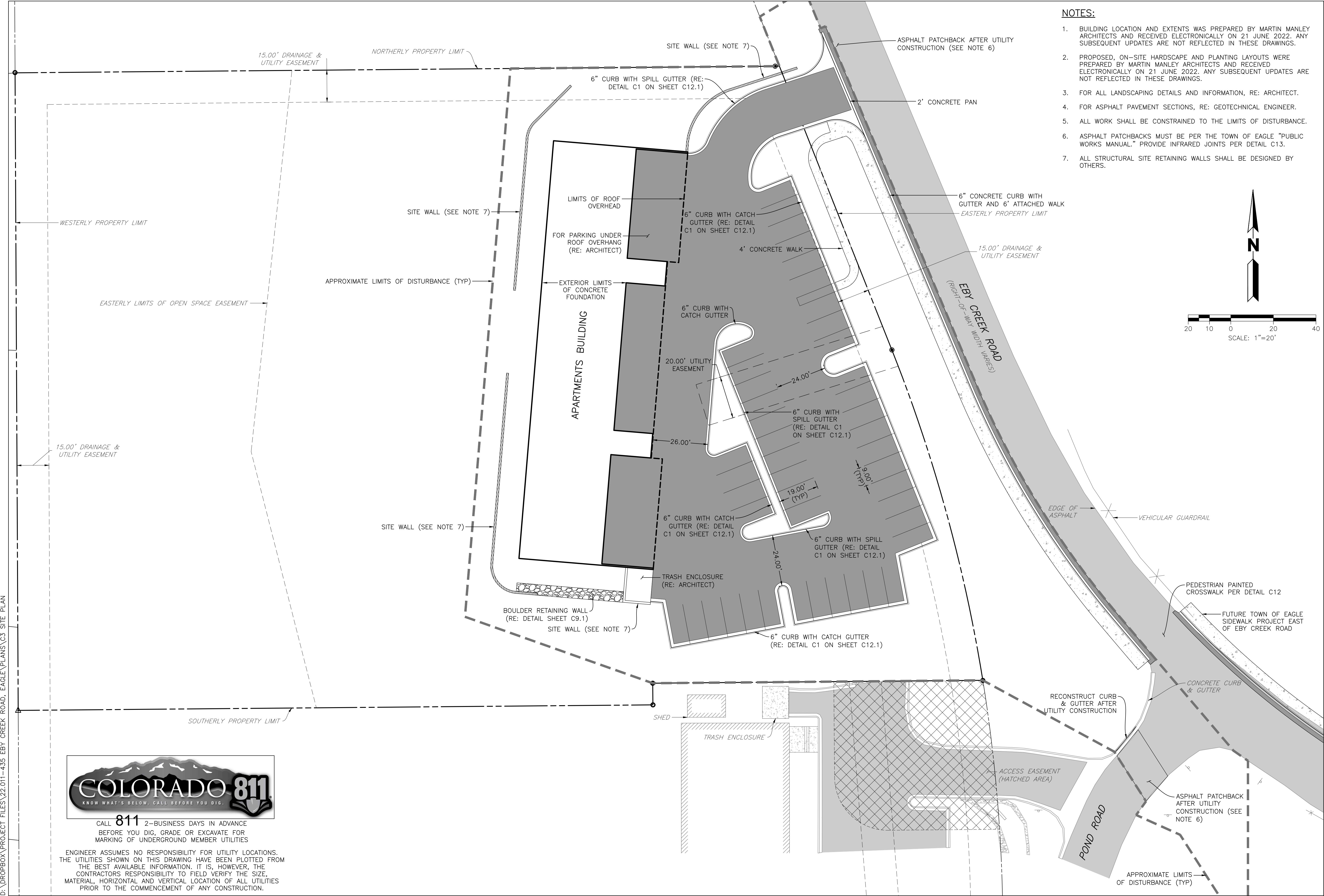
435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
EAGLE, COLORADO

D:\DROPBOX\PROJECT FILES\22.011-435 EBY CREEK ROAD, EAGLE\PLANS\C3 SITE PLAN



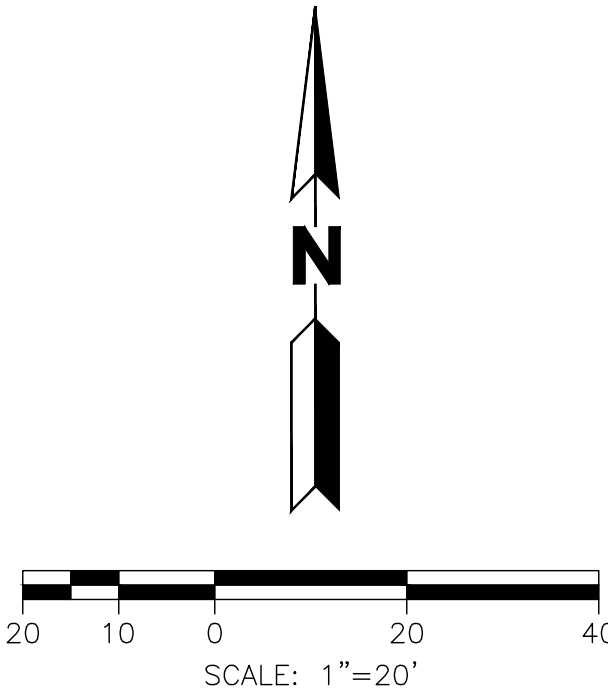
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NOTES:

- BUILDING LOCATION AND EXTENTS WAS PREPARED BY MARTIN MANLEY ARCHITECTS AND RECEIVED ELECTRONICALLY ON 21 JUNE 2022. ANY SUBSEQUENT UPDATES ARE NOT REFLECTED IN THESE DRAWINGS.
- PROPOSED, ON-SITE HARDSCAPE AND PLANTING LAYOUTS WERE PREPARED BY MARTIN MANLEY ARCHITECTS AND RECEIVED ELECTRONICALLY ON 21 JUNE 2022. ANY SUBSEQUENT UPDATES ARE NOT REFLECTED IN THESE DRAWINGS.
- FOR ALL LANDSCAPING DETAILS AND INFORMATION, RE: ARCHITECT.
- FOR ASPHALT PAVEMENT SECTIONS, RE: GEOTECHNICAL ENGINEER.
- ALL WORK SHALL BE CONSTRAINED TO THE LIMITS OF DISTURBANCE.
- ASPHALT PATCHBACKS MUST BE PER THE TOWN OF EAGLE "PUBLIC WORKS MANUAL." PROVIDE INFRARED JOINTS PER DETAIL C13.
- ALL STRUCTURAL SITE RETAINING WALLS SHALL BE DESIGNED BY OTHERS.



435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
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DRAWN BY: J. YARNELL	
REVIEWED BY: J. YARNELL	
PROJECT NO.: 22.011	

SHEET TITLE
SITE PLAN

SHEET NO.
C3

D:\DROBOX\PROJECT FILES\22.011-435 EBY CREEK ROAD, EAGLE\PLANS\C4 EROSION CONTROL PLAN



FOR EROSION CONTROL NOTES, RE: SHEET C4.1

435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
EAGLE, COLORADO

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	DATE	JULY			
	NO.	ISSUE / REVISION	SCHEMATIC DESIGN (NO CONST.)	DESIGN DEVELOPMENT (NO CONST.)	DEVELOPMENT PERMIT RESUBMISSION
	DESIGN BY: J. YARNELL	DRAWN BY: J. YARNELL	REVIEWED BY: J. YARNELL	PROJECT NO.: 22.011	DATE: 6/24/2022
	5.				

SHEET TITLE

EROSION CONTROL PLAN

SHEET NO.
C4.0

D:\DROPBOX\PROJECT FILES\22.011--435 EBY CREEK ROAD, EAGLE\PLANS\C4 EROSION CONTROL PLAN

EROSION CONTROL NOTES:

1.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, AND IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION TO PREVENT DAMAGING FLOWS ON THE SITE AND IN THE WATERSHED BELOW THE SITE. CONTROL SYSTEMS SHALL BE INSTALLED PRIOR TO STRIPPING OF NATIVE VEGETATIVE COVER AND AS GRADING PROGRESSES. CONDITIONS IN THE FIELD MAY WARRANT EROSION CONTROL MEASURES IN ADDITION TO WHAT IS SHOWN ON THESE PLANS AND WITHIN THE NARRATIVE (IF APPLICABLE). THE APPROACH MAY BE MODIFIED WITH APPROPRIATE APPROVALS AS FIELD CONDITIONS WARRANT.
2.

NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
3.

TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICAL ON THE SITE FOR USE ON AREAS TO BE REVEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSIVE ELEMENTS.
4.

AT ALL TIMES, THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN FUGITIVE DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE CONTRACTOR SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.
5.

PERMANENT OR TEMPORARY SOIL-STABILIZATION MEASURES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 30 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. UNLESS SPECIFIED OTHERWISE, TEMPORARY VEGETATION SHALL BE INSTALLED ON ALL DISTURBED AREAS WHERE PERMANENT SURFACE IMPROVEMENTS ARE NOT SCHEDULED FOR INSTALLATION WITHIN THREE MONTHS. TEMPORARY VEGETATION SHALL BE A VIGOROUS, DROUGHT-TOLERANT, NATIVE SPECIES MIX. PROJECT SCHEDULING SHOULD TAKE ADVANTAGE OF SPRING OR FALL PLANTING SEASONS FOR NATURAL GERMINATION, BUT SEEDED AREAS SHALL BE IRRIGATED, IF CONDITIONS MERIT. REFER TO THE LANDSCAPE PLAN FOR FINAL LANDSCAPING.
6.

TEMPORARY FENCES SHALL BE INSTALLED ALONG ALL BOUNDARIES OF THE CONSTRUCTION LIMITS OR PROPERTY LINES TO PREVENT GRADING ON PROPERTY NOT OWNED BY THE OWNER/DEVELOPER. IN ADDITION, THE TOWN OF EAGLE INSPECTOR MAY REQUIRE ADDITIONAL TEMPORARY FENCES IF FIELD CONDITIONS WARRANT.
7.

THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM LEAVING THE SITE DURING ALL DEMOLITION, EXCAVATION, TRENCHING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, ROADWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
8.

THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN INADVERTENTLY DISCHARGED TO, OR ACCUMULATED IN, THE FLOWLINES AND PUBLIC RIGHT-OF-WAY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT.
9.

THE GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC ROADWAYS.
10.

APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL CONTROL MEASURES WEEKLY AND AFTER PRECIPITATION EVENTS WHICH GENERATE RUNOFF. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IN A TIMELY MANNER. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A CONTROL MEASURE BEFORE THE SEDIMENT LEVEL REACHES ONE-HALF THE HEIGHT OF THE CONTROL MEASURE OR, AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE CONTROL MEASURE.
11.

WATER USED IN THE CLEANING OF CONCRETE TRUCK DELIVERY CHUTES SHALL BE DISCHARGED INTO A PREDEFINED, BERMED CONTAINMENT AREA ON THE JOB SITE. THE REQUIRED CONTAINMENT AREA IS TO BE BERMED SO THAT WASH WATER IS TOTALLY CONTAINED. WASH WATER DISCHARGED INTO THE CONTAINMENT AREA SHALL NOT BE ALLOWED TO INFILTRATE BUT MAY EVAPORATE. DRIED CEMENT WASTE SHALL BE REMOVED FROM THE CONTAINMENT AREA AND PROPERLY DISPOSED OF. SHOULD A PREDEFINED, BERMED CONTAINMENT AREA NOT BE AVAILABLE DUE TO THE PROJECT SIZE, OR LACK OF AN AREA WITH A SUITABLE GROUND SURFACE FOR ESTABLISHING A CONTAINMENT AREA, PROPER DISPOSAL OF READY-MIX WASH-OUT AND RINSE-OFF WATER AT THE JOB SITE SHALL CONFORM TO THE APPROVED TECHNIQUES AND PRACTICES IDENTIFIED IN THE COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT'S TRAINING VIDEO ENTITLED "BUILDING FOR A CLEANER ENVIRONMENT, READY MIX WASHOUT TRAINING", AND ITS ACCOMPANYING MANUAL ENTITLED, "READY MIX WASHOUT GUIDEBOOK, VEHICLE AND EQUIPMENT WASHOUT AT CONSTRUCTION SITES." THE DIRECT OR INDIRECT DISCHARGE OF WATER CONTAINING WASTE (CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED. INFORMATION ABOUT, OR COPIES OF THE VIDEO AND TRAINING MANUAL ARE AVAILABLE FROM THE WATER QUALITY CONTROL DIVISION, COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT, 4300 CHERRY CREEK DRIVE SOUTH, DENVER, COLORADO 80222-1530, 303-692-3555.
12.

THE CONTRACTOR SHALL PROTECT THE WATERSHED AND/OR ALL STORM SEWER FACILITIES ADJACENT TO ANY LOCATION WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING, OR ABRASIVE WATER JET CUTTING ARE TO TAKE PLACE. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE PRODUCTS GENERATED BY SAID CUTTING OPERATIONS ON A DAILY BASIS. THE DISCHARGE OF ANY WATER CONTAMINATED BY WASTE PRODUCTS FROM CUTTING OPERATIONS TO THE WATERSHED AND/OR STORM SEWER SYSTEM IS PROHIBITED.
13.

PAVED SURFACES WHICH ARE ADJACENT TO CONSTRUCTION SITES SHALL BE SWEEPED IN A TIMELY MANNER WHEN SEDIMENT AND OTHER MATERIALS ARE TRACKED OR DISCHARGED ON TO THEM. EITHER SWEEPING BY HAND OR USE OF STREET SWEEPERS IS ACCEPTABLE. STREET SWEEPERS USING WATER WHILE SWEEPING IS PREFERRED IN ORDER TO MINIMIZE DUST. FLUSHING OFF PAVED SURFACES WITH WATER IS PROHIBITED.
14.

SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON-SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICAL.
15.

STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TACKING, OR WIND.
16.

RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
17.

ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED CONTROL AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
18.

AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
19.

CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
20.

POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPERCHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
21.

GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
22.

THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
23.

THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
24.

THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
25.

EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
26.

ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
27.

SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON-SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICAL, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
28.

APPROPRIATE CONTROL MEASURES FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON-SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.
29.

ALL PROPOSED EROSION CONTROL BLANKETS SHALL HAVE A MINIMUM LIFESPAN OF 36 MONTHS AND BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED DOCUMENTATION.

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435 EBY CREEK APARTMENTS

435 EBY CREEK ROAD

LOT 3, PERRY SUBDIVISION PHASE 2
EAGLE, COLORADO

SHEET TITLE
EROSION
CONTROL NOTES

SHEET NO.
C4.1

D:\DROPBOX\PROJECT FILES\22.011-435 EBY CREEK ROAD, EAGLE\PLANS\C5.0 OVERALL GRADING PLAN

FOR GRADING NOTES, RE: SHEET C5.3

435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
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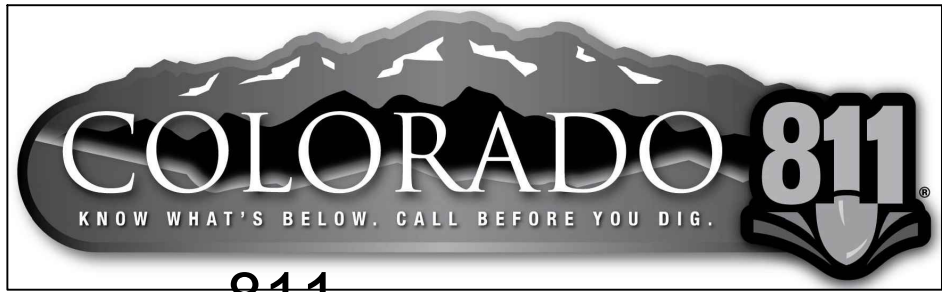
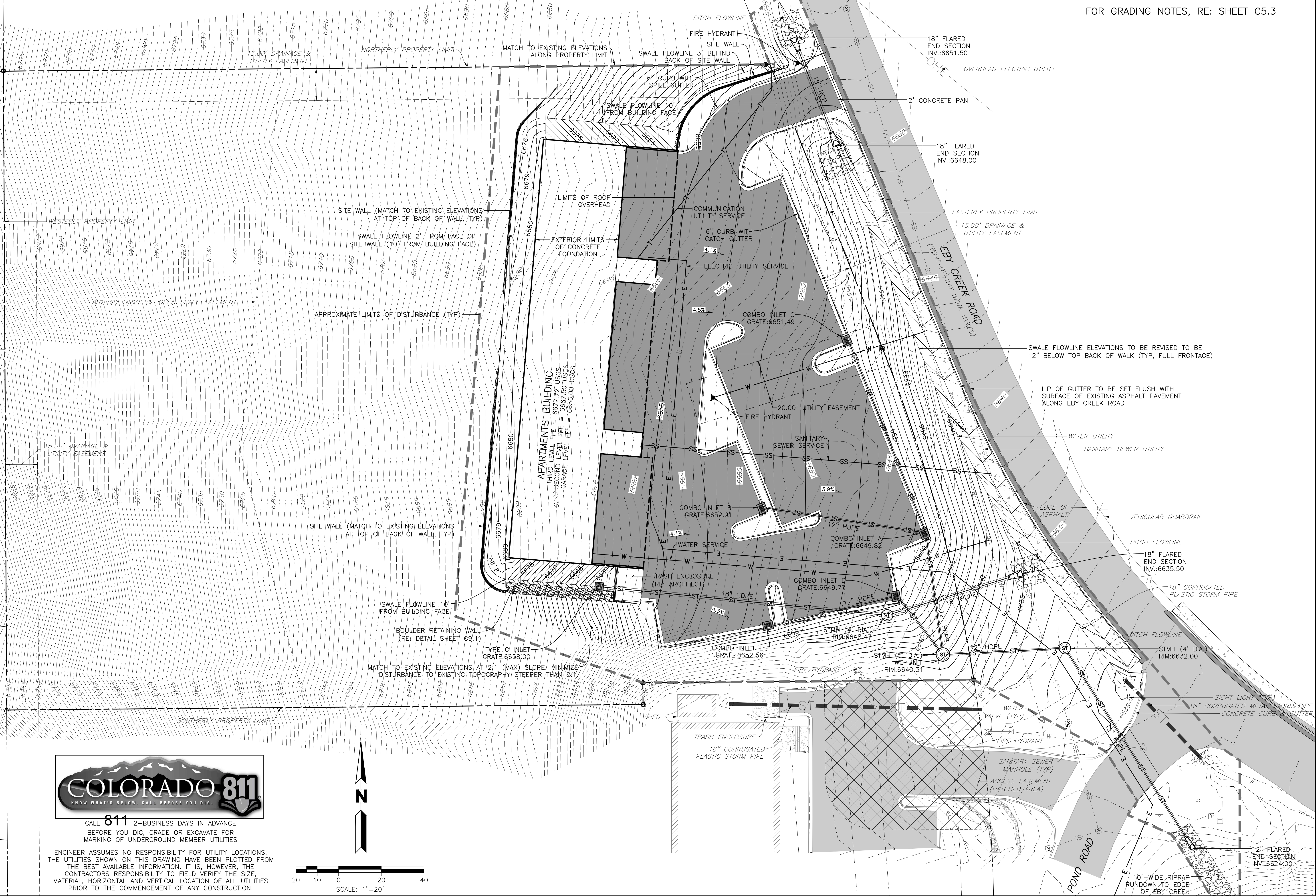
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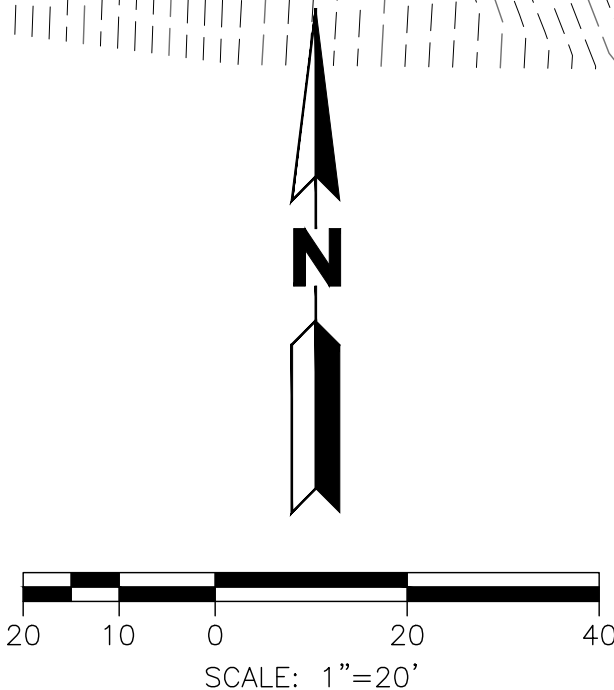
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OVERALL GRADING PLAN

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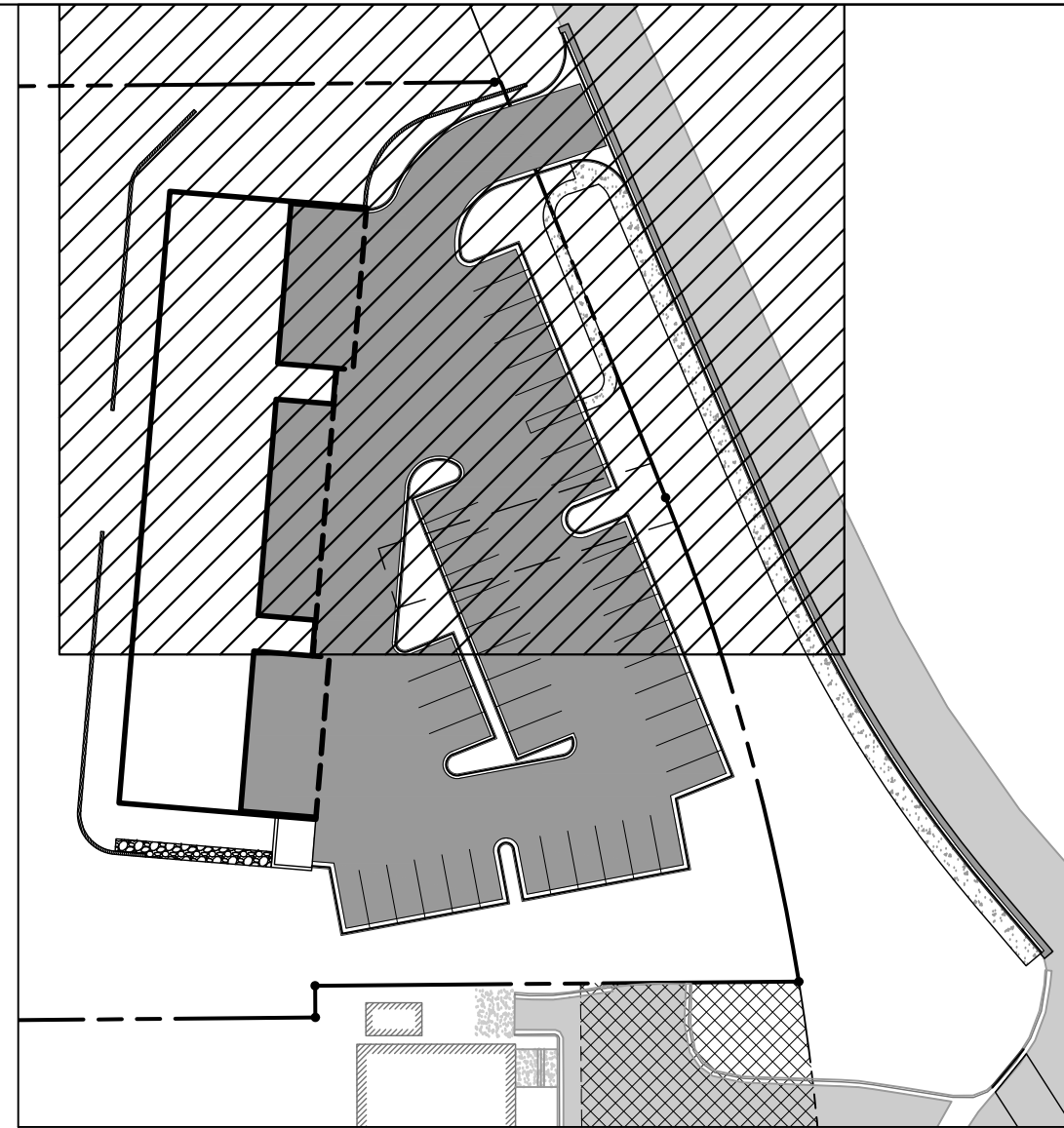


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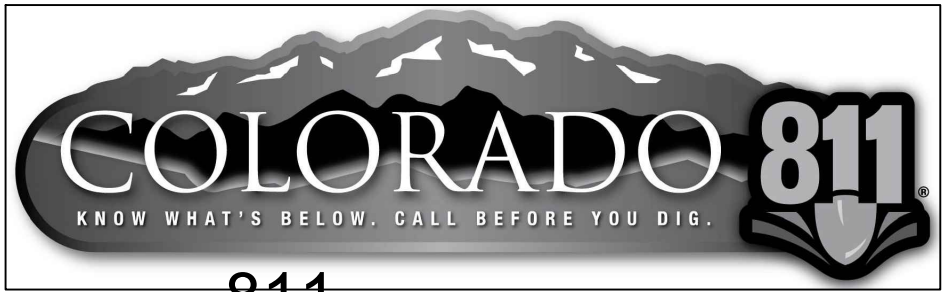
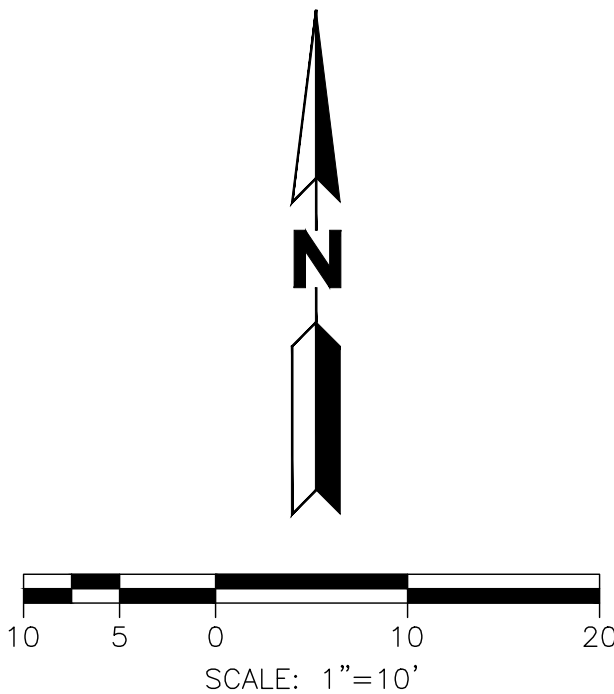
D:\DROPOX\PROJECT FILES\22.011-435 EBY CREEK ROAD, EAGLE\PLANS\C5.1 DETAILED GRADING PLAN



KEYMAP

SCALE: 1"=60'

FOR GRADING NOTES, RE: SHEET C5.3



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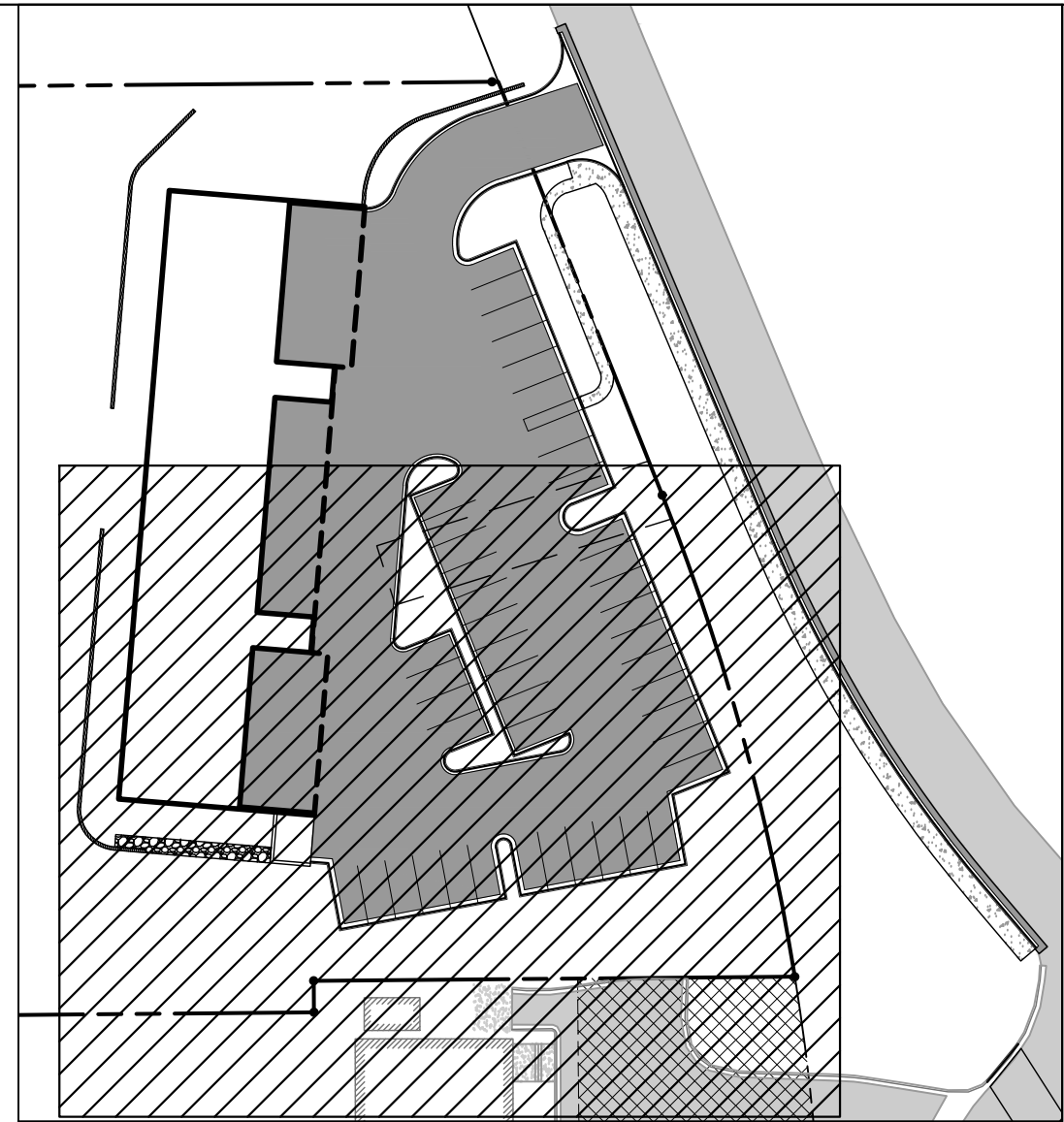
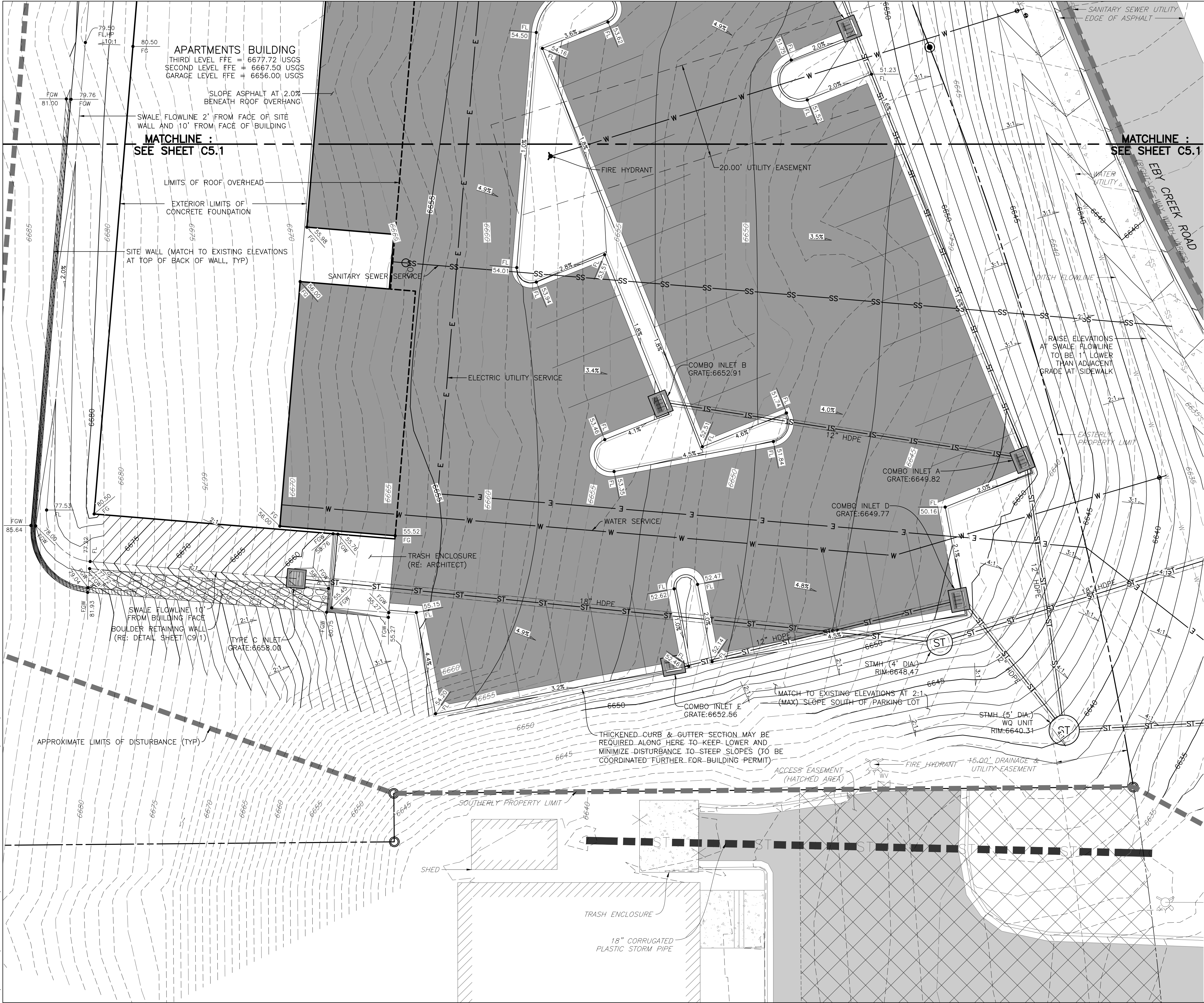
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NO.	ISSUE / REVISION	NAME	DATE
1.	SCHEMATIC DESIGN (NO CONST.)	JULY	4/15/22
2.	DESIGN DEVELOPMENT (NO CONST.)	JULY	5/19/22
3.	DEVELOPMENT PERMIT RESUBMISSION	JULY	6/24/22
4.			
5.			

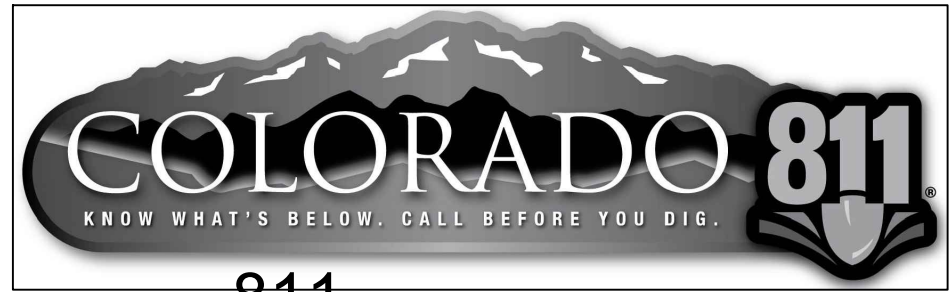
SHEET TITLE
DETAILED
GRADING PLAN

SHEET NO.
C5.1

D:\DROPOX\PROJECT FILES\22.011-435 EBY CREEK ROAD, EAGLE\PLANS\C5.1 DETAILED GRADING PLAN



KEYMAP
SCALE: 1"=60'
FOR GRADING NOTES, RE: SHEET C5.1



CALL 811 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE OR EXCAVATE FOR
MARKING OF UNDERGROUND MEMBER UTILITIES

ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS.
THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM
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PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
EAGLE, COLORADO

**YARNELL CONSULTING &
CIVIL DESIGN, LLC**
P.O. BOX 3901, EAGLE, COLORADO 81631
(970) 323-7008

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3.	DEVELOPMENT PERMIT RESUBMISSION	JULY	6/24/22
4.		JULY	
5.		JULY	

DESIGN BY: J. YARNELL
DRAWN BY: J. YARNELL
REVIEWED BY: J. YARNELL
PROJECT NO.: 22.011
DATE: 6/24/2022

SHEET TITLE
**DETAILED
GRADING PLAN**

SHEET NO.
C5.2

GRADING NOTES:

1.

ALL SITE GRADING, EXCAVATION, EMBANKMENT, AND COMPACTION SHALL CONFORM TO THE RECOMMENDATIONS OF THE LATEST GEOTECHNICAL INVESTIGATION FOR THIS PROPERTY AND SHALL FURTHER BE IN CONFORMANCE WITH THE TOWN OF EAGLE "PUBLIC WORKS MANUAL."
2.

THE GRADING DESIGN SHOWN HEREON HAS BEEN PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF FHA AND HUD CRITERIA AND TO THE GREATEST EXTENT POSSIBLE, IN ACCORDANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS FOR THIS PROJECT. VARIOUS CONFLICTING DESIGN CRITERIA MAKE TOTAL COMPLIANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS DIFFICULT [ADA, SITE PLAN LAYOUT, ETC.]. THUS, THESE PLANS HAVE BEEN PROVIDED TO THE GEOTECHNICAL ENGINEER FOR REVIEW AND COMMENT RELATIVE TO COMPLIANCE WITH THEIR RECOMMENDATIONS. IF THE GEOTECHNICAL ENGINEER DETERMINES THE DESIGN MAY COMPROMISE THE ACCEPTABLE PERFORMANCE OF THE STRUCTURES AND/OR PAVEMENTS, UPON RECEIPT OF THE WRITTEN COMMENTS FROM THE GEOTECHNICAL ENGINEER, COMMENTS WILL BE DISCUSSED AND RESOLVED WITH THE OWNER AND THE GEOTECHNICAL ENGINEER, AND WILL BE ADDRESSED IN A MANNER AS DIRECTED BY THE OWNER.
3.

IF THE OWNER ELECTS TO UTILIZE FOUNDATION SYSTEMS AND/OR PAVEMENT DESIGNS THAT REQUIRE SPECIAL CONSIDERATION FOR CONTROL OF SUBGRADE MOISTURE, SPECIAL PRECAUTIONS AND EXTRAORDINARY DESIGN PARAMETERS SHALL BE THE RESPONSIBILITY OF THE GEOTECHNICAL ENGINEER IN CONCERT WITH THE FOUNDATION/PAVEMENT DESIGN. IT IS ACKNOWLEDGED THAT VARIOUS FOUNDATION SYSTEMS REQUIRE DIFFERENT LEVELS OF SUBGRADE PREPARATION, DRAINAGE DESIGNS, AND/OR SUBSURFACE DRAINAGE CRITERIA THAT ARE BEYOND THE PURVIEW AND RESPONSIBILITY OF YARNELL CONSULTING & CIVIL DESIGN, LLC, AND THE GRADING PLANS SHOWN HEREON. THE INCORPORATION AND EXECUTION OF THESE SPECIAL PRECAUTIONS SHALL OCCUR IN CLOSE COORDINATION WITH THE GEOTECHNICAL ENGINEER'S DESIGN AND CONSTRUCTION OBSERVATIONS.
4.

GRADING SHOWN HEREON IS DESIGNED TO ADDRESS PROPER DRAINAGE CONSIDERATIONS FOR THE PROTECTION OF THE STRUCTURES AND IMPROVEMENTS WITHIN THE PROJECT. THE COORDINATION OF THIS DESIGN AND COMPLIANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATION WITH THE LANDSCAPE ARCHITECT'S DESIGN, IS THE RESPONSIBILITY OF THE OWNER AND/OR DEVELOPER. YARNELL CONSULTING & CIVIL DESIGN, LLC HIGHLY RECOMMENDS THAT THE LANDSCAPE IMPROVEMENTS BE REVIEWED AND APPROVED FOR COMPLIANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
5.

EXISTING ELEVATIONS SHOWN ON THIS DRAWING HAVE BEEN DEPICTED FROM BEST AVAILABLE INFORMATION AND ARE SHOWN TO THE EXTENT KNOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING GRADE CONDITIONS AT THE LIMITS OF CONSTRUCTION AND AT LOCATIONS THAT INTERFACE WITH EXISTING OR PROPOSED BUILDINGS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT CONTRADICT THE ENGINEER'S INTENT FOR DRAINAGE PATTERNS, MAXIMUM AND MINIMUM SLOPES, AND PROPOSED ELEVATIONS AS SHOWN ON THE PLAN. THE ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.
6.

PROPOSED CONTOURS AND SPOT ELEVATIONS AS SHOWN HEREIN ARE DEFINED AS FINISHED ELEVATION AFTER PAVING, LANDSCAPING, ETC. CONTRACTOR SHALL COORDINATE WITH GEOTECH FOR PAVEMENT THICKNESS AND LANDSCAPE FOR THICKNESS OF TOPSOIL, SOD AND LANDSCAPE MATERIALS.

ALL SPOTS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. FG = FINISHED GRADE, FF = FINISH FLOOR, TOF = TOP OF FOUNDATION, HP = HIGH POINT, LP = LOW POINT, TOW = TOP OF WALL [FINISHED GRADE AT BACK OF WALL], BOW = BOTTOM OF WALL [FINISHED GRADE AT FACE OF WALL], GB = GRADE BREAK, FL = FLOWLINE, TOC = TOP OF CURB.
7.

UNLESS SPECIFICALLY NOTED OTHERWISE, ALL WALKWAYS SHALL BE CONSTRUCTED WITH AN ABSOLUTE MAXIMUM CROSS SLOPE OF 1.8% AND RUNNING SLOPE OF 4.9%.
8.

POSITIVE DRAINAGE MUST BE PROVIDED FROM ALL STRUCTURES. UNLESS SPECIFICALLY NOTED OTHERWISE, ENSURE 2.0% ON HARDSCAPE AND 10:1 [H:V] FOR 10 FEET ON SOFTSCAPE.
9.

ALL ISLANDS ARE TO BE GRADED SUCH THAT THERE IS A POSITIVE DRAINAGE TO ADJACENT CURB AND GUTTER.
10.

TEMPORARY CUT/FILL SLOPES SHALL NOT EXCEED A STEEPNESS OF 1:1 (H:V). PERMANENT SLOPES SHALL NOT EXCEED 3:1 (H:V) [UNLESS NOTED OTHERWISE] IN AREAS TO BE SEEDED OR SODDED.
11.

CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED MANHOLE RIMS, VALVE BOXES, ETC. TO MATCH FINAL GRADE.
12.

YARNELL CONSULTING & CIVIL DESIGN, LLC IS PROVIDING LINE AND GRADE FOR THE RETAINING WALLS SHOWN HEREON. THE WALL LAYOUT/GRADING SHOWN IS PROVIDED TO THE WALL DESIGNER/CONTRACTOR AS A COURTESY. THE WALL DESIGNER SHALL TAKE INTO CONSIDERATION ALL JURISDICTIONAL REQUIREMENTS, GEOTECHNICAL INFORMATION AND REQUIREMENTS, AND GRADING/DRAINAGE PATTERNS IN THE DESIGN OF THE WALLS. THE RETAINING WALL DESIGN NEEDS TO ACCOMMODATE THE EFFECTS OF UNCONTROLLED RUNOFF FROM UP-GRAIDENT OF THE WALLS, INCLUDING HYDROSTATIC PRESSURE AND EROSION.

435 EBY CREEK APARTMENTS

435 EBY CREEK ROAD

LOT 3, PERRY SUBDIVISION PHASE 2

EAGLE, COLORADO

YARNELL CONSULTING & CIVIL DESIGN, LLC

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(970) 323-7008

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REVIEWED BY: J. YARNELL	2.	DESIGN DEVELOPMENT (NO CONST.)	5/19/22	JYJ
PROJECT NO.: 22.011	3.	DEVELOPMENT PERMIT RESUBMISSION	6/24/22	JYJ
DATE: 6/24/2022	4.			JYJ
	5.			JYJ

SHEET TITLE

GRADING NOTES

SHEET NO.

C5.3

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FOR UTILITY NOTES, RE: SHEET C6.4

435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
EAGLE, COLORADO

YARNELL CONSULTING & CIVIL DESIGN, LLC
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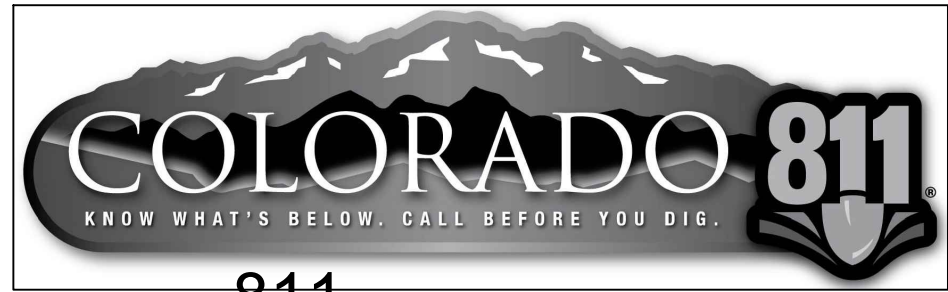
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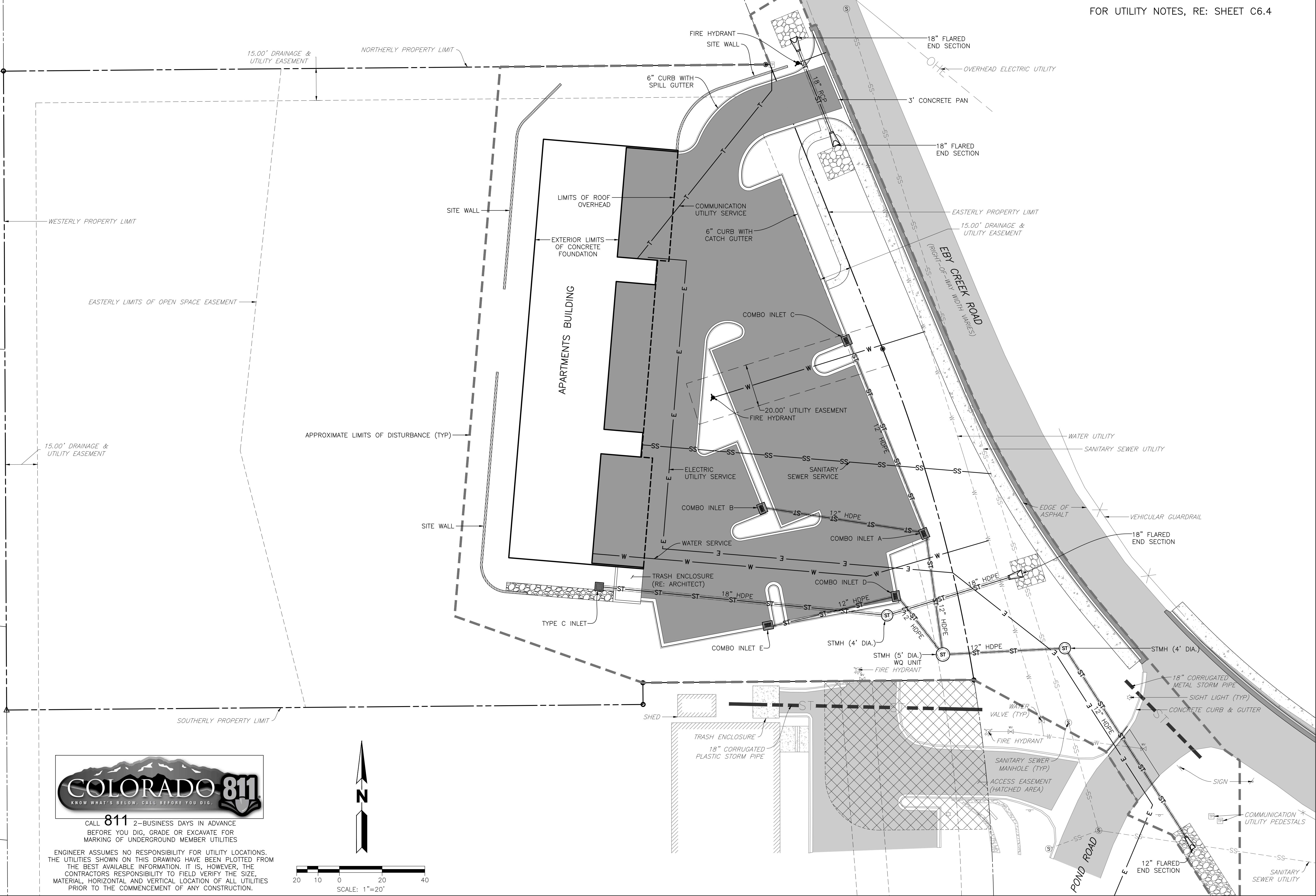
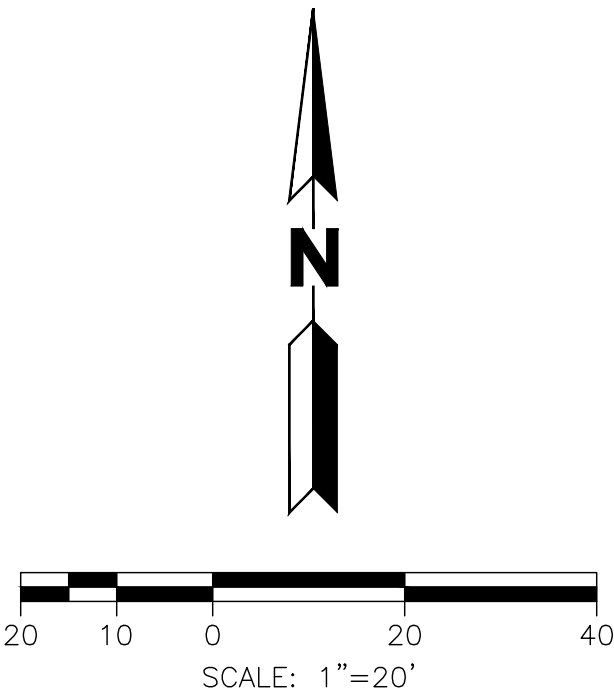
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OVERALL UTILITY PLAN

SHEET NO.
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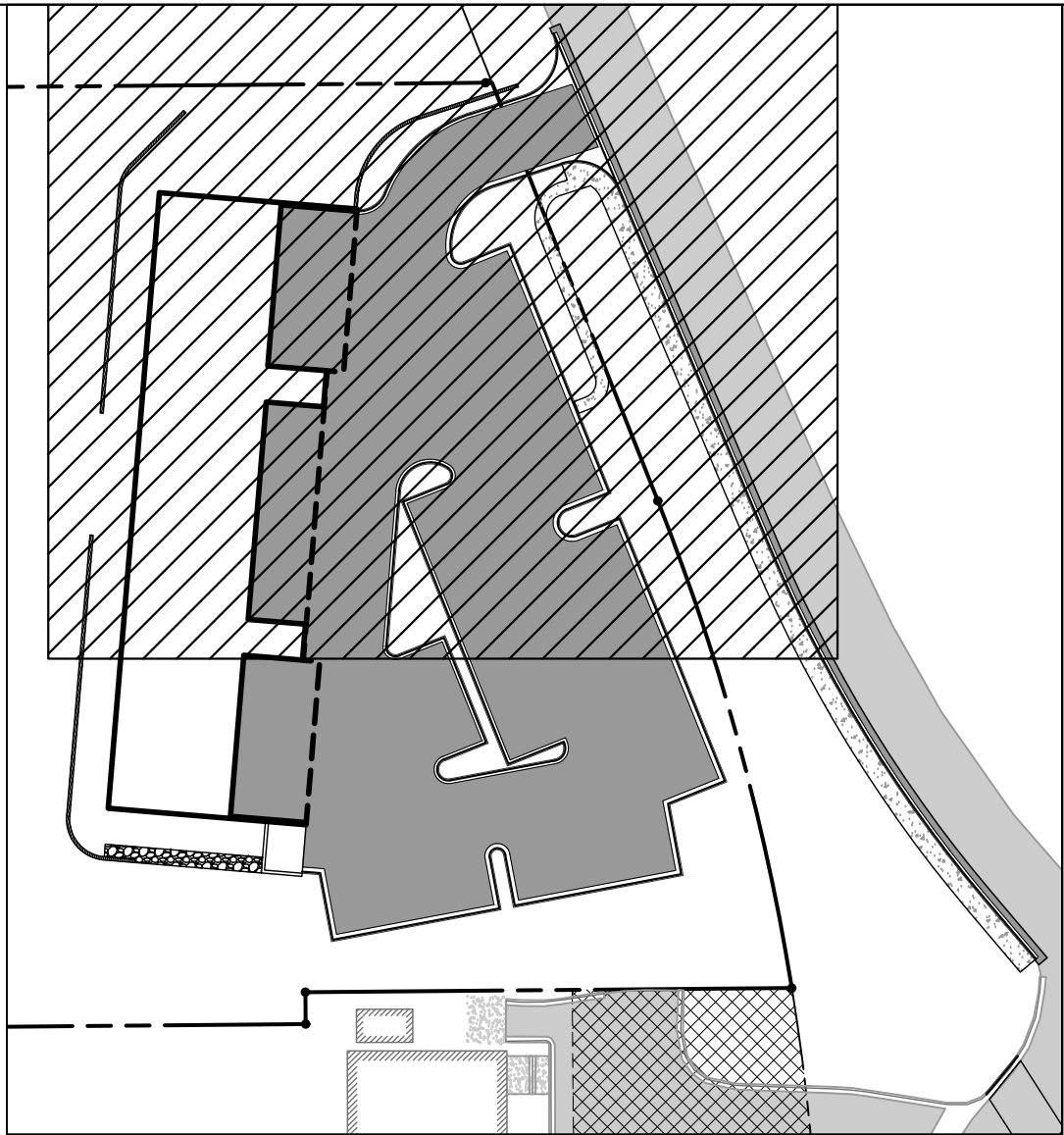


CALL **811** 2-BUSINESS DAYS IN ADVANCE
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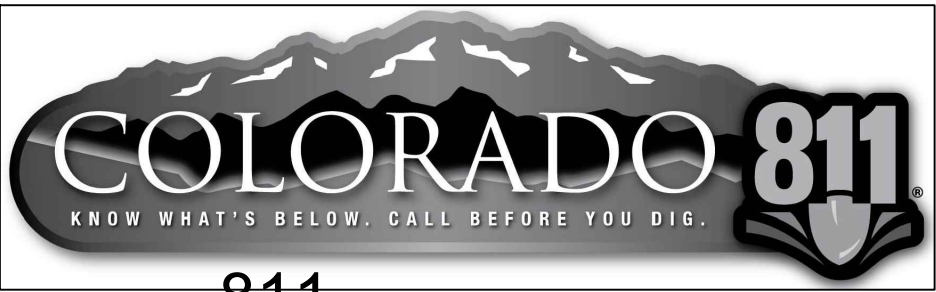
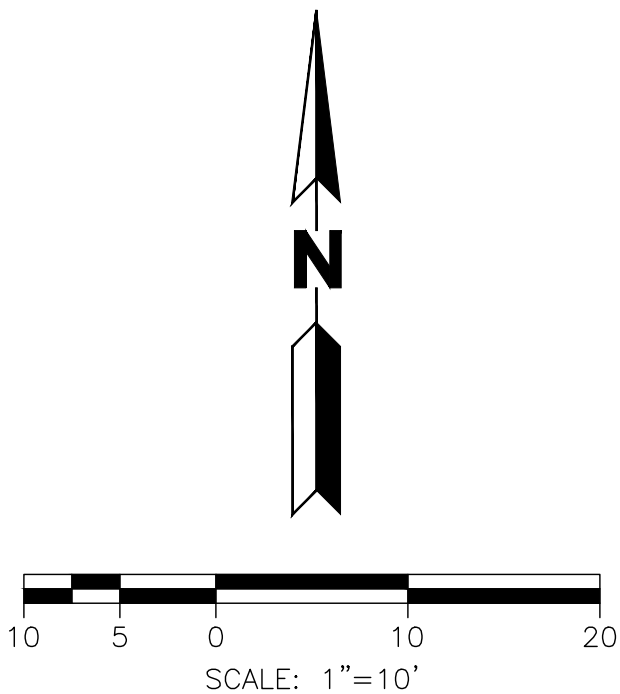
D:\DROPOX\PROJECT FILES\22.011-435 EBY CREEK ROAD, EAGLE\PLANS\C6.1 DETAILED UTILITY PLAN



KEYMAP

SCALE: 1"=60'

FOR UTILITY NOTES & CROSSINGS,
RE: SHEET C6.4



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435 EBY CREEK APARTMENTS

435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
EAGLE, COLORADO

YARNELL CONSULTING &
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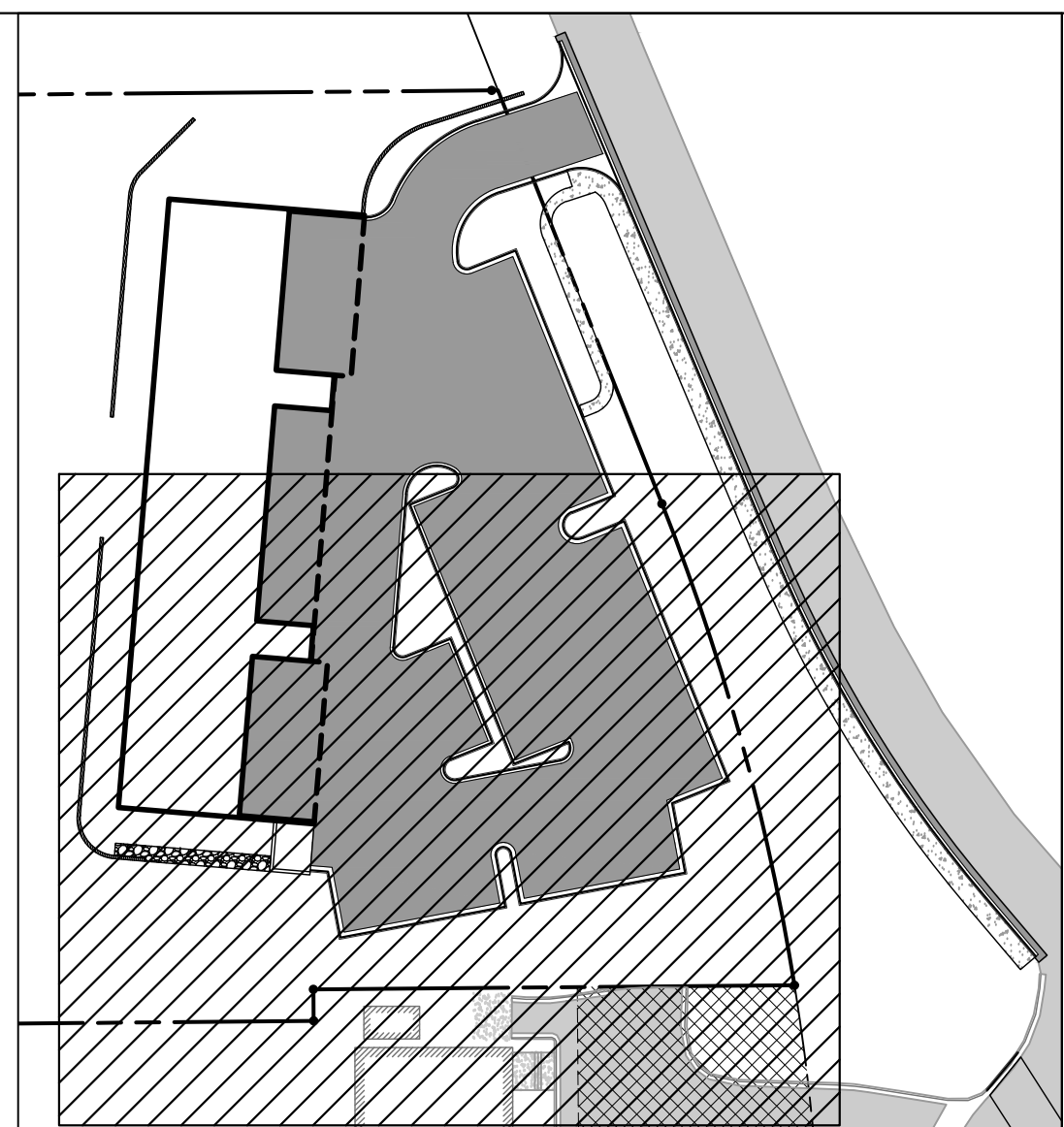
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3.	DEVELOPMENT PERMIT RESUBMISSION	J. YARNELL	6/24/22
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DESIGN BY: J. YARNELL	DATE: 6/24/2022
DRAWN BY: J. YARNELL	
REVIEWED BY: J. YARNELL	
PROJECT NO.: 22.011	

SHEET TITLE
DETAILED
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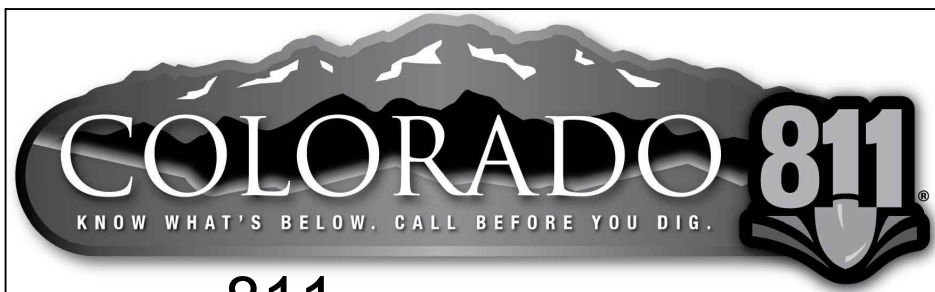
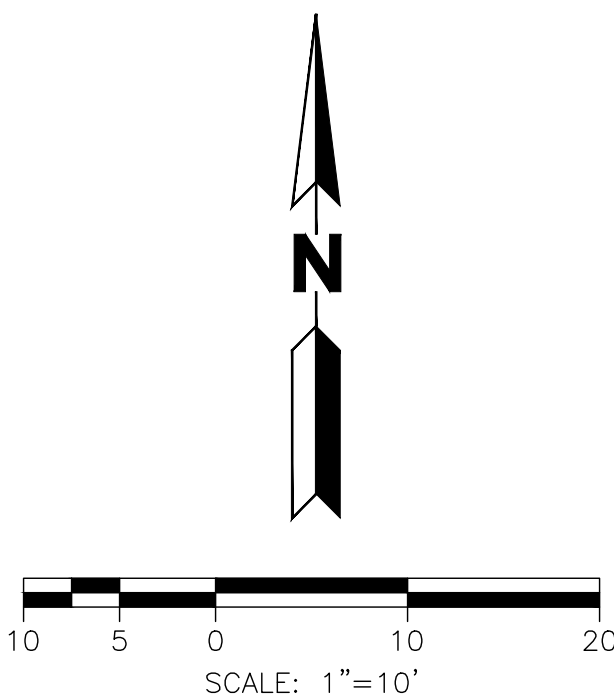
SHEET NO.
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KEYMAP

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FOR UTILITY NOTES & CROSSINGS,
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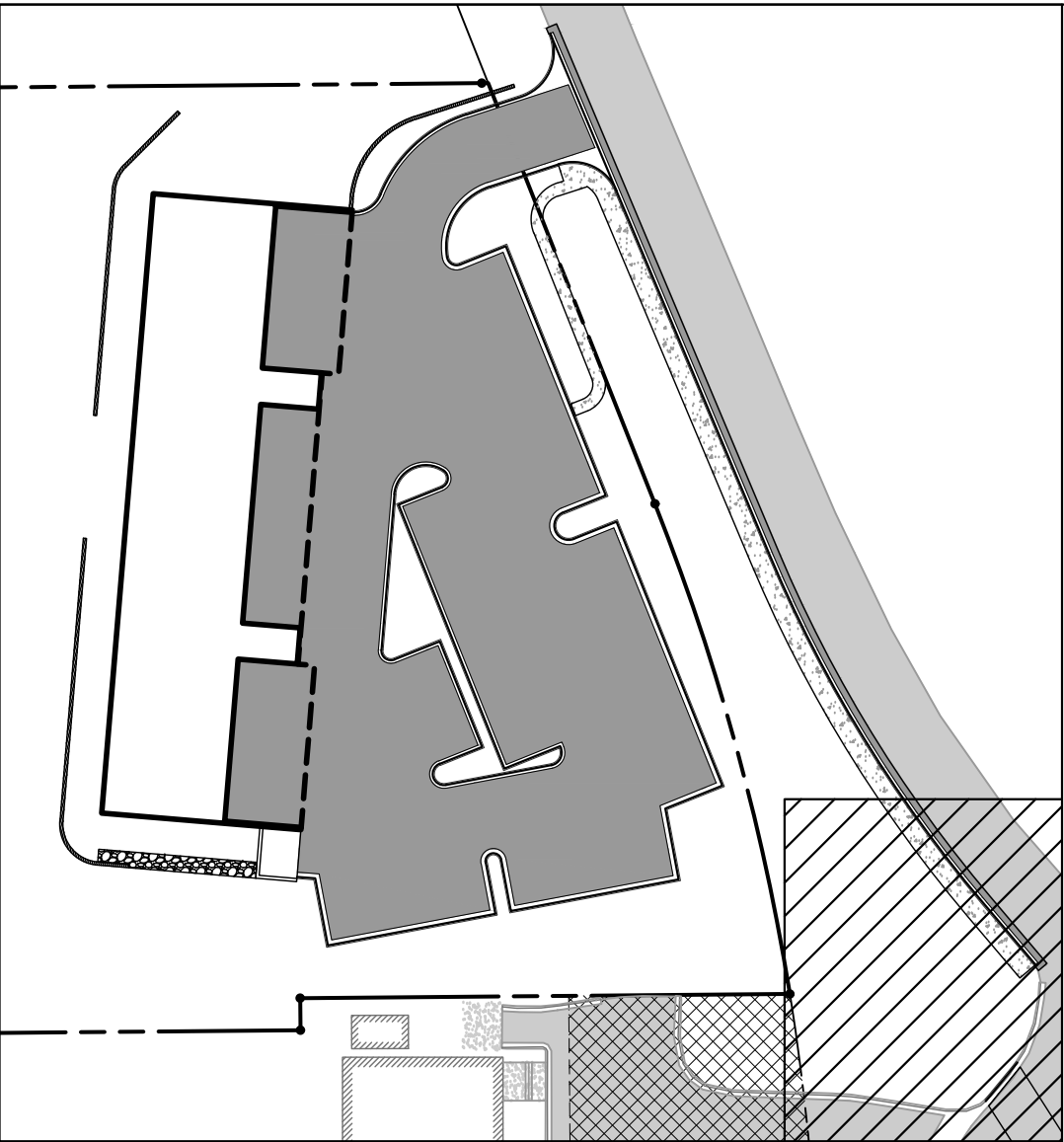
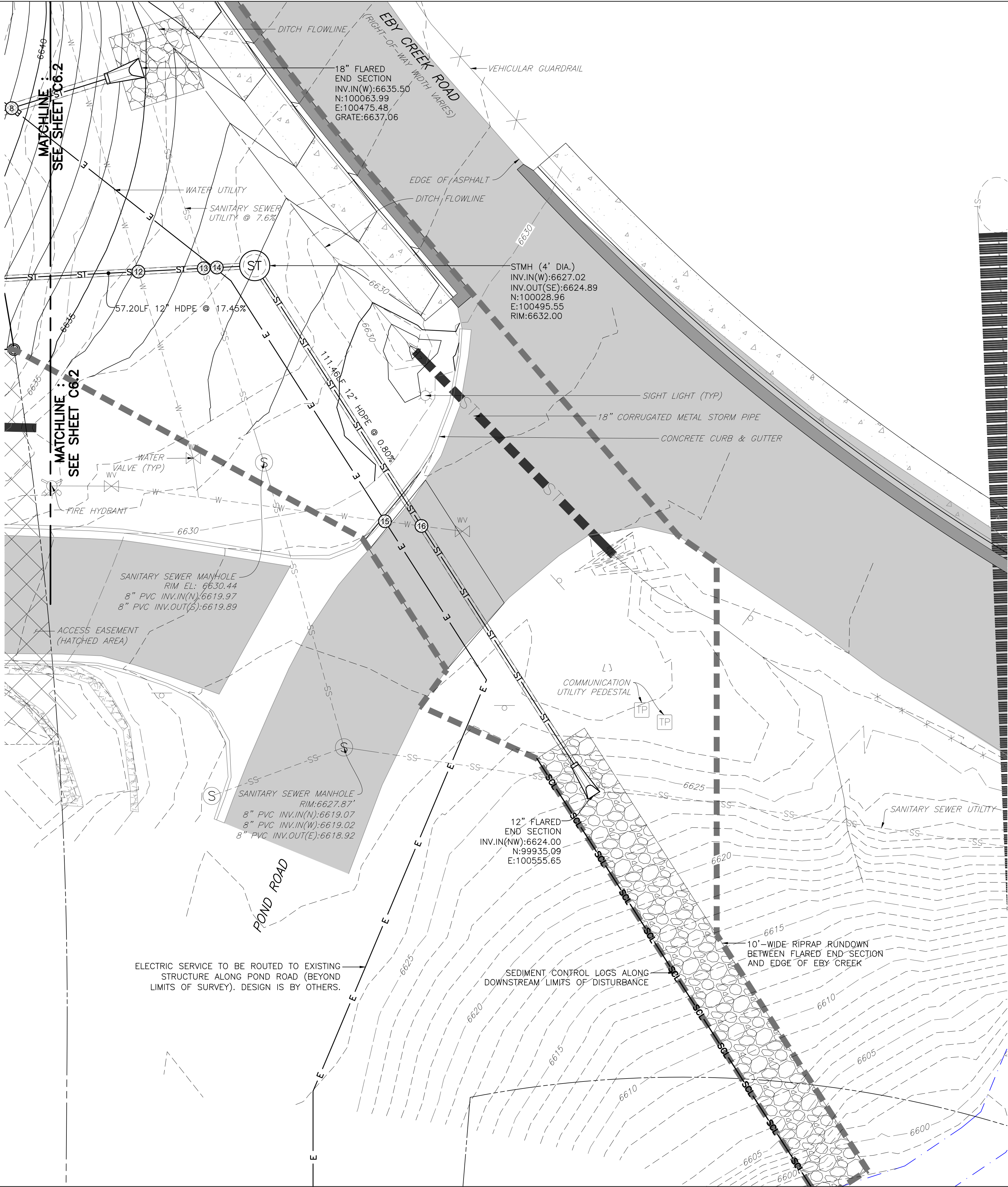
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SHEET TITLE
DETAILED
UTILITY PLAN

SHEET NO.
C6.2

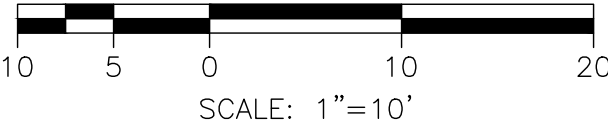
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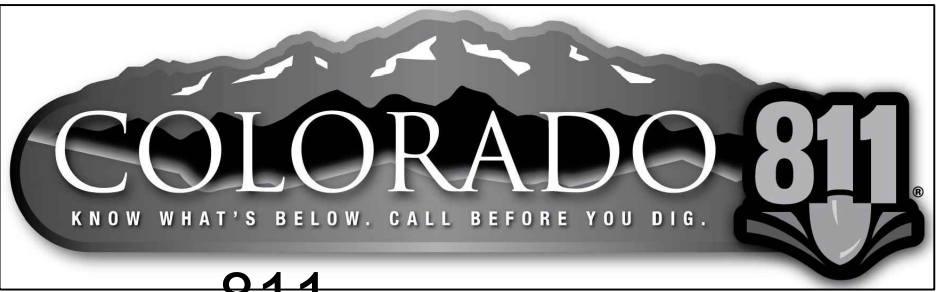
KEYMAP

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FOR UTILITY NOTES & CROSSINGS,
RE: SHEET C6.4:



SCALE: 1"=10'



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DESIGN BY: J. YARNELL	DATE: 6/24/2022
DRAWN BY: J. YARNELL	
REVIEWED BY: J. YARNELL	
PROJECT NO.: 22.011	

SHEET TITLE
DETAILED
UTILITY PLAN

SHEET NO.
C6.3

435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
EAGLE, COLORADO

YARNELL CONSULTING &
CIVIL DESIGN, LLC
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UTILITY LOCATION NOTES:

- THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO [UNCC] AT 1-800-922-1087, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL FIELD VERIFY SIZE, AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER, UTILITY PROVIDER(S), AND TOWN OF EAGLE INSPECTOR OF ANY DISCREPANCIES.
- YARNELL CONSULTING & CIVIL DESIGN, LLC (YCCD) ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION, [HORIZONTAL AND VERTICAL] OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION AND NOTIFY THE ENGINEER, UTILITY PROVIDER(S), AND TOWN OF EAGLE INSPECTOR OF ANY DISCREPANCIES.
- IN ACCORDANCE WITH NEW REGULATIONS, ALL UTILITIES CONSTRUCTED AFTER JANUARY 01, 2019 SHALL BE EQUIPPED WITH 10-GAUGE (MINIMUM) TRACER WIRE TAPED TO THE TOP OF THE PIPE.

DRY UTILITY GENERAL NOTES:

- ALL BENDS SHALL BE SWEEPING.
- FOR FINISHED GRADE AT PAD/PEDESTAL LOCATIONS, RE: DETAILED GRADING PLANS. RAISE PAD ELEVATION TO MEET JURISDICTIONAL STANDARD.

ELECTRIC NOTES:

- ELECTRIC DESIGN IS BY OTHERS. INTENT OF UTILITY PLAN(S) IS TO SHOW CONDUIT ROUTING AND EQUIPMENT PLACEMENT ON THE SITE FOR COORDINATION PURPOSES.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH HOLY CROSS ENERGY CONSTRUCTION STANDARDS (LATEST EDITION).
- ALL ELECTRIC CONDUITS SHALL BE 4" PVC.
- MAINTAIN REQUIRED SEPARATION BETWEEN JUNCTION BOXES, TRANSFORMERS, AND FIBER OPTIC PEDESTALS.

FIBER OPTIC (F.O.) / TELEPHONE NOTES:

- FIBER OPTIC DESIGN IS BY OTHERS. INTENT OF UTILITY PLANS IS TO SHOW CONDUIT ROUTING AND EQUIPMENT PLACEMENT ON THE SITE FOR COORDINATION PURPOSES.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CENTURYLINK CONSTRUCTION STANDARDS (LATEST EDITION).

CABLE TELEVISION NOTES:

- CABLE TELEVISION DESIGN IS BY OTHERS. INTENT OF UTILITY PLANS IS TO SHOW CONDUIT ROUTING AND EQUIPMENT PLACEMENT ON THE SITE FOR COORDINATION PURPOSES.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH COMCAST CONSTRUCTION STANDARDS (LATEST EDITION).

NATURAL GAS NOTES:

- NATURAL GAS DESIGN IS BY OTHERS. INTENT OF UTILITY PLANS IS TO SHOW PIPE ROUTING ON THE SITE FOR COORDINATION PURPOSES.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH BLACK HILLS ENERGY CONSTRUCTION STANDARDS (LATEST EDITION).

SANITARY SEWER NOTES:

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAGLE "PUBLIC WORKS MANUAL." ALL SANITARY SEWER CONSTRUCTION SHALL BE INSPECTED BY A TOWN OF EAGLE INSPECTOR.
- ALL SANITARY SEWER LINES SHALL BE SDR 35 POLYVINYL CHLORIDE [PVC] PIPE IN ACCORDANCE WITH ASTM D-3034.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SEWER POINTS OF CONNECTION PRIOR TO CONSTRUCTION OF ANY PROPOSED SEWER.
- FOR ALL PIPE INSTALLATIONS, THE DEPTH OF COVER OVER THE PIPE MEASURED FROM OFFICIAL FINISHED/FINAL GRADE TO THE TOP OF THE PIPE SHALL BE A MINIMUM OF 4.5 FEET AND SHALL BE KNOWN AS THE COVER OVER THE PIPE.
- MAINTAIN A MINIMUM OF TEN [10] FEET HORIZONTAL SEPARATION BETWEEN THE OUTSIDE OF ALL SANITARY SEWER AND WATER MAINS AND SERVICES. REFER TO DETAIL B1.
- DISTANCES FOR SANITARY SEWER ARE THE HORIZONTAL DISTANCES BETWEEN THE CENTER OF STRUCTURES. THEREFORE, DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.
- RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE, SUCH THAT THERE IS NO MORE THAN 18 INCHES FROM FINISHED GRADE TO THE TOP OF THE CONE SECTION. THE RIM SHALL BE LEFT 1/8-INCH TO 1/4-INCH BELOW FINISHED ASPHALT.
- CONTRACTOR TO COORDINATE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITY SERVICE CONNECTIONS TO BUILDING WITH MECHANICAL/PLUMBING PLANS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- ALL SANITARY SEWERS SHALL BE BED PER THE TOWN OF EAGLE'S STANDARD TRENCHING AND BACKFILL DETAIL.
- BACKFILL IN PUBLIC RIGHT-OF-WAY MUST MEET THE REQUIREMENTS OF THE TOWN OF EAGLE. CONTRACTOR MUST OBTAIN A STREET CUT PERMIT AND NOTIFY THE TOWN OF EAGLE INSPECTOR 48-HOURS PRIOR TO START OF JOB.
- NO BACKFILL MATERIAL SHALL BE PLACED ABOVE THE SPRINGLINE OF THE PIPE UNTIL A TOWN OF EAGLE REPRESENTATIVE HAS AUTHORIZED BACKFILLING. IT SHALL BE THE DUTY OF THE CONTRACTOR TO NOTIFY THE TOWN OF EAGLE REPRESENTATIVE 48 HOURS IN ADVANCE OF PROPOSED BACKFILL OPERATIONS SO A TOWN OF EAGLE REPRESENTATIVE MAY INSPECT THE PIPE AND THE BEDDING PRIOR TO BACKFILLING.
- ALL SANITARY SEWER PIPES SHALL BE INSTALLED WITH INSULATED NO. 12 TYPE UF TAPED ON TOP OF PIPE AS A TRACER WIRE. TRACER WIRE IS TO BE LOOPED UP TO EACH STRUCTURE (MANHOLES AND/OR CLEANOUTS, AS APPLICABLE). A CATHODIC PROTECTION BOX IS TO BE SET ON THE RIGHT HAND SIDE OF EACH STRUCTURE. THE BOX SHALL HAVE A CAST IRON LOCKING LID WITH A THREE AND ONE-HALF INCH [3-1/2" DIAMETER, EIGHTEEN INCH [18"] LONG PVC BODY. THE CAP WILL NEED A TWO-WIRE CONNECTION POST AS A MINIMUM.
- CONTRACTOR SHALL IMMEDIATELY REMOVE DEBRIS DEPOSITED INTO PUBLIC MANHOLES AND OTHER PUBLIC STRUCTURES TO ELIMINATE THE POSSIBILITY OF PROPERTY DAMAGE DUE TO THE DEBRIS CAUSING BACKUP INTO PRIVATE PROPERTIES. IF IT IS DETERMINED THAT DEBRIS CAUSED A BACKUP, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES.
- NO TREES SHALL BE PLANTED WITHIN ANY SEWER EASEMENT OR WITHIN TEN [10] FEET OF ANY PUBLIC MANHOLES, OR PIPES.
- UNLESS NOTED OTHERWISE ON PLANS, INSTALL SIX INCH (6") SERVICE LINES AT 0.0104 FT/FT MINIMUM, 0.0600 FT/FT MAXIMUM SLOPE.

STORM SEWER NOTES:

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAGLE "PUBLIC WORKS MANUAL." ALL STORM SEWER CONSTRUCTION SHALL BE INSPECTED BY A TOWN OF EAGLE INSPECTOR.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING STORM SEWER POINTS OF CONNECTION PRIOR TO CONSTRUCTION OF ANY PROPOSED STORM SEWER.
- ALL STORM SEWER LINES 12 INCHES IN SIZE AND GREATER SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE) IN ACCORDANCE WITH ASTM F-405, EXCEPT FOR THE DRIVEWAY CULVERT WHICH MUST BE TYPE V REINFORCED CONCRETE PIPE.
- ALL STORM SEWER LINES LESS THAN 12 INCHES IN SIZE SHALL BE SDR-35 POLYVINYL CHLORIDE [PVC] PIPE IN ACCORDANCE WITH ASTM D-3034.
- ALL STORM SEWER PIPE JOINTS SHALL BE BELL AND SPIGOT TYPE, INSTALLED WITH AN APPROVED RUBBER GASKET O-RING OR PROFILE TYPE GASKET SO AS TO BE WATER-TIGHT.
- DISTANCES FOR STORM SEWER PIPE ARE THE HORIZONTAL DISTANCES BETWEEN CENTER OF STRUCTURES. THEREFORE, DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.
- WHERE APPLICABLE, DISTANCES FOR STORM SEWER PIPE INCLUDE THE LENGTH OF THE FLARED END SECTION.
- ALL STORM SEWER PIPES SHALL BE INSTALLED WITH INSULATED NO. 12 TYPE UF TAPED ON TOP OF PIPE AS A TRACER WIRE. TRACER WIRE IS TO BE LOOPED UP TO EACH STRUCTURE (INLETS, OUTLETS, MANHOLES AND/OR CLEANOUTS, AS APPLICABLE). A CATHODIC PROTECTION BOX IS TO BE SET ON THE RIGHT HAND SIDE OF EACH STRUCTURE. THE BOX SHALL HAVE A CAST IRON LOCKING LID WITH A THREE AND ONE-HALF INCH [3-1/2" DIAMETER, EIGHTEEN INCH [18"] LONG PVC BODY. THE CAP WILL NEED A TWO-WIRE CONNECTION POST AS A MINIMUM.
- MANHOLES, BARRELS, CONES, AND COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) INLETS SHALL BE CONSTRUCTED OF PRECAST CONCRETE. CAST-IN-PLACE STRUCTURES SHALL NOT BE ALLOWED.
- PRECAST MANHOLES AND RISERS SHALL BE MANUFACTURED IN CONFORMITY WITH ASTM DESIGNATION C-478. REFER TO DETAIL A5. ALL CONES SHALL BE ECCENTRIC, EXCEPT FOR MANHOLE DEPTHS SIX [6] FEET OR LESS WHEN A FLAT TOP SECTION SHALL BE USED.
- ALL STORM SEWERS SHALL BE BED PER THE TOWN OF EAGLE'S STANDARD TRENCHING AND BACKFILL DETAILS A1 AND A2.
- THE FLEXIBLE PLASTIC JOINT SEALING COMPOUND WITHIN PRECAST STRUCTURES SHALL BE "RAMNEK" RUBBERNECK OR APPROVED EQUAL.
- CONTRACTOR SHALL IMMEDIATELY REMOVE DEBRIS DEPOSITED INTO PUBLIC MANHOLES AND OTHER PUBLIC STRUCTURES TO ELIMINATE THE POSSIBILITY OF PROPERTY DAMAGE DUE TO THE DEBRIS CAUSING BACKUP INTO PRIVATE PROPERTIES. IF IT IS DETERMINED THAT DEBRIS CAUSED A BACKUP, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES.
- BACKFILL IN PUBLIC RIGHT-OF-WAY MUST MEET THE REQUIREMENTS OF THE TOWN OF EAGLE. CONTRACTOR MUST OBTAIN A STREET CUT PERMIT AND NOTIFY THE TOWN OF EAGLE INSPECTOR 48-HOURS PRIOR TO START OF JOB.
- NO TREES SHALL BE PLANTED WITHIN ANY UTILITY EASEMENT OR WITHIN TEN [10] FEET OF ANY PUBLIC MANHOLES, PIPES OR INLETS.
- RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE, SUCH THAT THERE IS NO MORE THAN EIGHTEEN [18] INCHES FROM FINISHED GRADE TO THE TOP OF THE CONE SECTION. THE RIM SHALL BE LEFT 1/8-INCH TO 1/4-INCH BELOW FINISHED ASPHALT.
- MANHOLE COVERS SHALL BE ALIGNED TO PROVIDE A MINIMUM OF THREE [3] FEET CLEARANCE BETWEEN THE MANHOLE RING AND THE LIP OF GUTTER.
- COORDINATES FOR AREA INLETS ARE AT CENTER OF INLET. COORDINATES FOR FLARED END SECTIONS ARE AT CENTER OF FLARED END.
- SLOPE OF INLET FLOW LINE OR GRATE TO MATCH STREET GRADE UNLESS INLET IS AT A SUMP LOCATION.
- CONTRACTOR TO COORDINATE HORIZONTAL AND VERTICAL LOCATIONS OF ROOF DRAIN SERVICES AND DOWNSPOUTS WITH PLUMBING AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

WATER NOTES:

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAGLE "PUBLIC WORKS MANUAL." ALL WATER UTILITY CONSTRUCTION SHALL BE INSPECTED BY A TOWN OF EAGLE INSPECTOR.
- ALL FIRE HYDRANT LATERALS AND WATER SERVICES FOUR [4] INCHES IN SIZE AND GREATER SHALL BE DUCTILE IRON, MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C151, CLASS 52, WITH BITUMINOUS OUTSIDE COATING (ONE MIL THICK) AND CEMENT MORTAR LINING PER AWWA C104. PIPE JOINTS SHALL BE PUSH-ON TYPE UTILIZING RUBBER RING GASKET IN ACCORDANCE WITH AWWA C111. PIPE SHALL BE SUPPLIED WITH COPPER BONDING STRAPS AND MECHANICAL ATTACHMENT. A #4 CONDUCTOR AND CADWELDS (CHARGE SIZE CA 45) OR THE MANUFACTURERS' SUPPLIED STRAP SHALL BE USED TO BOND EACH JOINT AND FITTING.
- ALL WATER PIPE JOINT FITTINGS SHALL BE MADE FROM ASTM A536, 65-45-12 DUCTILE IRON AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL BE AT A PRESSURE RATING OF 350 PSI AND SHALL BE WRAPPED WITH EIGHT MILLIMETER MINIMUM THICKNESS POLYETHYLENE MATERIAL IN ACCORDANCE WITH AWWA STANDARD C105. TWIST-OFF NUTS, SIZED THE SAME AS THE TEE-HEAD BOLTS, SHALL BE USED TO ENSURE PROPER ACTUATING OF RESTRAINING DEVICES. REFER TO DETAIL B11.
- ALL WATER PIPES SHALL BE INSTALLED WITH INSULATED NO. 12 TYPE UF TAPED ON TOP OF PIPE AS A TRACER WIRE. TRACER WIRE IS TO BE LOOPED UP TO EACH HYDRANT. A CATHODIC PROTECTION BOX IS TO BE SET ON THE RIGHT HAND SIDE OF EACH HYDRANT. THE BOX SHALL HAVE A CAST IRON LOCKING LID WITH A THREE AND ONE-HALF INCH [3-1/2" DIAMETER, EIGHTEEN INCH [18"] LONG PVC BODY. THE CAP WILL NEED A TWO-WIRE CONNECTION POST AS A MINIMUM.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST ALL WATER VALVE BOXES TO THE REQUIRED FINAL GRADE. IN ADDITION, VALVE EXTENSIONS SHALL BE INSTALLED SUCH THAT A VALVE KEY SIX [6] FEET IN LENGTH CAN OPERATE THE VALVE.
- NO PIPE SHALL BE BACKFILLED UNTIL IT HAS BEEN INSPECTED BY A TOWN OF EAGLE INSPECTOR.
- THE MANUFACTURER SHALL FURNISH A CERTIFIED STATEMENT THAT ALL OF THE SPECIFIED TESTS AND INSPECTIONS HAVE BEEN MADE AND THE RESULTS THEREOF COMPLY WITH THE REQUIREMENT OF THE APPLICABLE STANDARDS HEREIN SPECIFIED. A COPY OF THE CERTIFICATION WILL BE SENT TO THE TOWN OF EAGLE INSPECTOR UPON REQUEST.
- DISTANCES FOR WATER ARE THE HORIZONTAL DISTANCE BETWEEN CENTER OF FITTING TO CENTER OF VALVE, METER, ETC. THEREFORE, DISTANCES SHOWN ON THE PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND FITTING DIMENSIONS.
- MAINTAIN A MINIMUM OF TEN [10] FEET HORIZONTAL SEPARATION BETWEEN THE OUTSIDE OF ALL SANITARY SEWER AND WATER MAINS AND SERVICES. REFER TO DETAIL B1.
- FOR ALL PIPE INSTALLATIONS, THE DEPTH OF COVER OVER THE PIPE MEASURED FROM OFFICIAL FINISHED/FINAL GRADE TO THE TOP OF THE PIPE SHALL BE A MINIMUM OF 6.0 AND MAXIMUM OF 9.0 FEET AND SHALL BE KNOWN AS THE COVER OVER THE PIPE.
- FIRE HYDRANTS SHALL CONFORM TO THE TOWN OF EAGLE MATERIALS AND SPECIFICATIONS. FIRE HYDRANT ASSEMBLIES SHALL INCLUDE ALL PIPE, FITTINGS, VALVES, THRUST BLOCKS, RESTRAINTS, AND MATERIALS NECESSARY TO INSTALL THE HYDRANT. REFER TO DETAIL B2.
- INSTALL THRUST BLOCKS AT ALL BENDS, STUBS AND TEES IN WATER LINES. ALL BLOW-OFFS, VALVES AND BENDS SHALL BE RODDED OR MECHANICALLY-RESTRAINED PER TOWN OF EAGLE DETAILS AS NOTED OR IF SOIL CONDITIONS ARE UNSTABLE OR AS DIRECTED BY THE TOWN OF EAGLE INSPECTOR.
- WHEN IT IS NECESSARY TO LOWER OR RAISE WATER LINES AT STORM DRAINS AND OTHER UTILITY CROSSINGS, A MINIMUM CLEARANCE OF 18 INCHES SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF PIPES. REFER TO DETAIL B1.
- PRIOR TO INSTALLATION OF WATER MAINS, ROAD CONSTRUCTION MUST HAVE PROGRESSED TO AT LEAST THE "SUB-GRADE" STATE.
- BEFORE ANY TAPS ARE MADE FROM MAINS, APPLICATION[S] FOR THE TAPS MUST BE RECEIVED AND APPROVED BY THE TOWN OF EAGLE WATER DEPARTMENT.
- INDIVIDUAL SERVICE LINE PRESSURE REGULATING VALVES ARE REQUIRED.
- THE WATER QUALITY CONTROL DIVISION OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT [CDPHE] REQUIRES ALL WATER LINE CONTRACTORS TO POSSESS A CURRENT DISCHARGE PERMIT FOR DISCHARGES OF CHLORINATED AND PROCESS WATERS ASSOCIATED WITH THE INSTALLATION OF NEW MAINS OR CONDUITS. CONTACT CDPHE WATER QUALITY CONTROL DIVISION AT 303-692-3539 FOR INFORMATION ON OBTAINING THE REQUIRED PERMIT.
- CONTRACTOR TO COORDINATE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITY SERVICE CONNECTIONS TO BUILDING WITH MECHANICAL/PLUMBING PLANS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- THE WATER SERVICE SIZE HAS BEEN PROVIDED BY THE PROJECT'S LIFE SAFETY ENGINEER BASED UPON THE DEMANDS OF THE FIRE SUPPRESSION SYSTEM IN CONJUNCTION WITH THE AVAILABLE PRESSURE AND VOLUME FROM THE PUBLIC SYSTEM AT THE CONNECTION POINT.

UTILITY CROSSINGS (RE: SHEETS C6.1 – C6.3)				
NUMBER	BOTTOM OF UPPER UTILITY	TOP OF LOWER UTILITY	INSULATION?	ENCASEMENT?
1	STORM : 6647.4	WATER : 6645.5	YES	YES
2	ELECTRIC : 6650.7	SANITARY SEWER : 6649.2	NO	NO
3	STORM : 6644.7	SANITARY SEWER : 6635.8	NO	NO
4	SANITARY SEWER : 6631.4	WATER : 6630.5±	YES	YES
5	ELECTRIC : 6645.2	WATER : 6644.0	NO	NO
6	WATER : 6642.5	STORM : 6641.3	YES	YES
7	ELECTRIC : 6643.5	STORM : 6640.0	NO	NO
8	ELECTRIC : 6636.8	STORM : 6633.2	NO	NO
9	18" STORM : 6645.3	12" STORM : 6645.0	NO	NO
10	18" STORM : 6642.8	12" STORM : 6641.8	NO	NO
11	18" STORM : 6640.9	12" STORM : 6640.0	NO	NO
12	STORM : 6630.5	WATER : 6628.0±	YES	YES
13	STORM : 6628.4	SANITARY : 6623.5±	NO	NO
14	STORM : 6628.3	ELECTRIC : 6628.0	NO	NO
15	ELECTRIC : 6624.2	WATER : 6622.5	NO	NO
16	STORM : 6624.2	WATER : 6622.5	YES	YES

435 EBY CREEK APARTMENTS

435 EBY CREEK ROAD

LOT 3, PERRY SUBDIVISION PHASE 2

EAGLE, COLORADO

YARNELL CONSULTING & CIVIL DESIGN, LLC

P.O. BOX 3901, EAGLE, COLORADO 81631

(970) 323-7008

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4.			JULY
5.			JULY

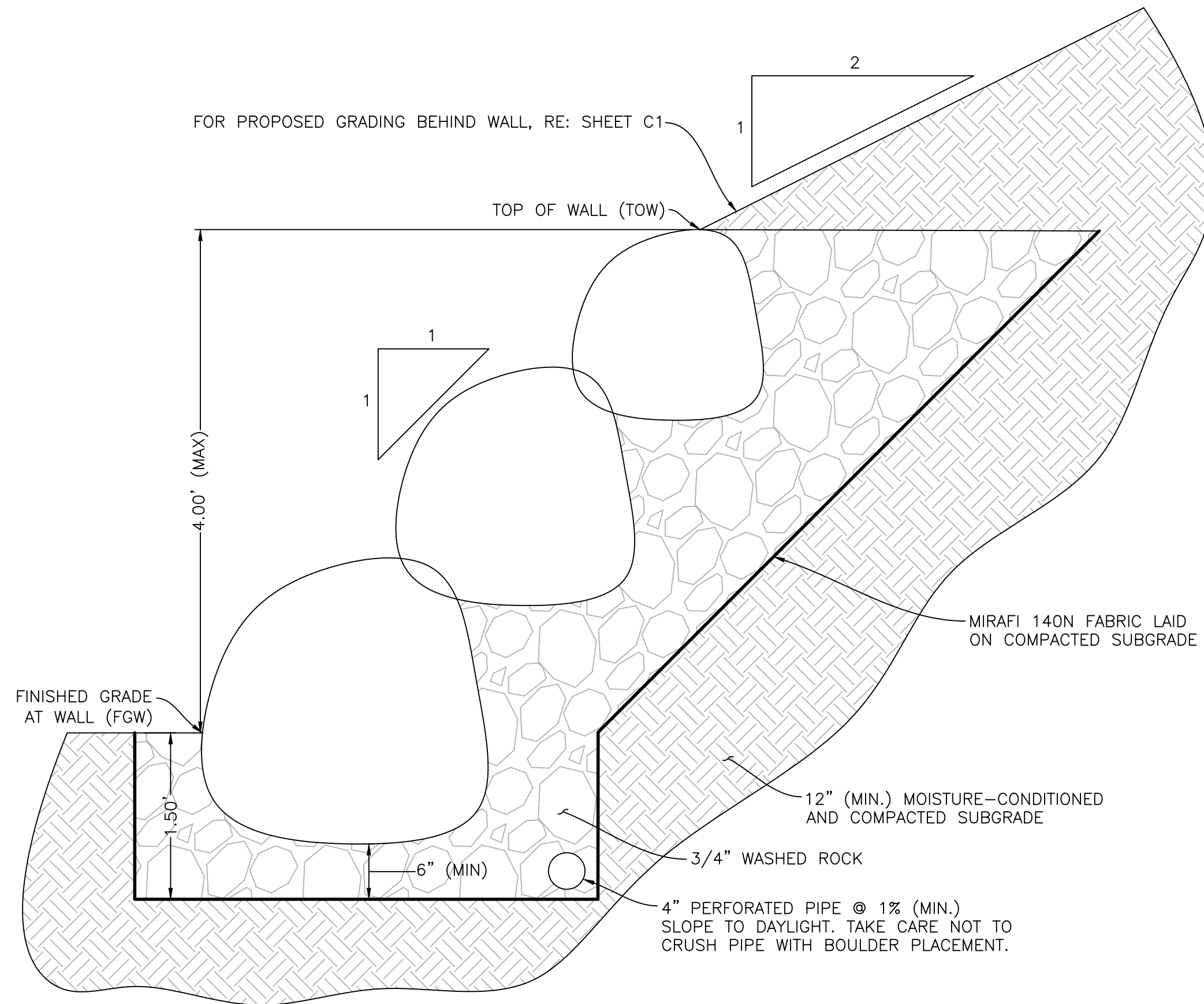
DESIGN BY: J. YARNELL
DRAWN BY: J. YARNELL
REVIEWED BY: J. YARNELL
PROJECT NO.: 22.011
DATE: 6/24/2022

SHEET TITLE

UTILITY NOTES

SHEET NO.

C6.4



NOTES:

1. PLACE LARGER BOULDERS AT BOTTOM OF WALL AND TRANSITION TO SMALLEST BOULDERS AT TOP OF WALL. IN NO CASE SHALL A LARGER BOULDER BE PLACED ATOP A SMALLER ONE.
2. NO BOULDERS USED IN THE CONSTRUCTION OF A WALL SHALL BE SMALLER THAN 12 INCHES IN DIAMETER.
3. A 1:1 SLOPE IS THE STEEPEST THAT A WALL MAY BE CONSTRUCTED USING ROUND BOULDERS.

BOULDER RETAINING WALL DETAIL

N.T.S.

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DETAILS

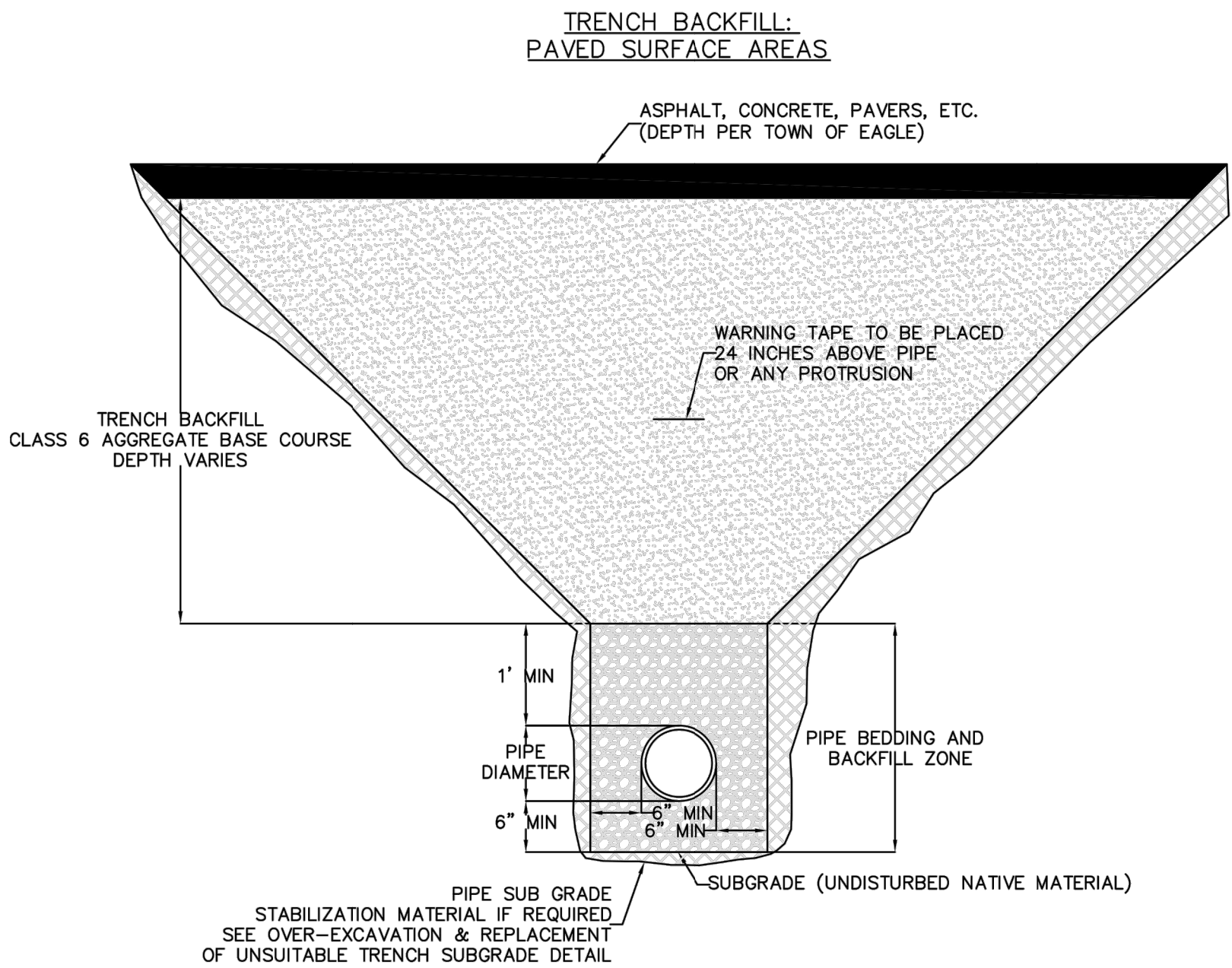
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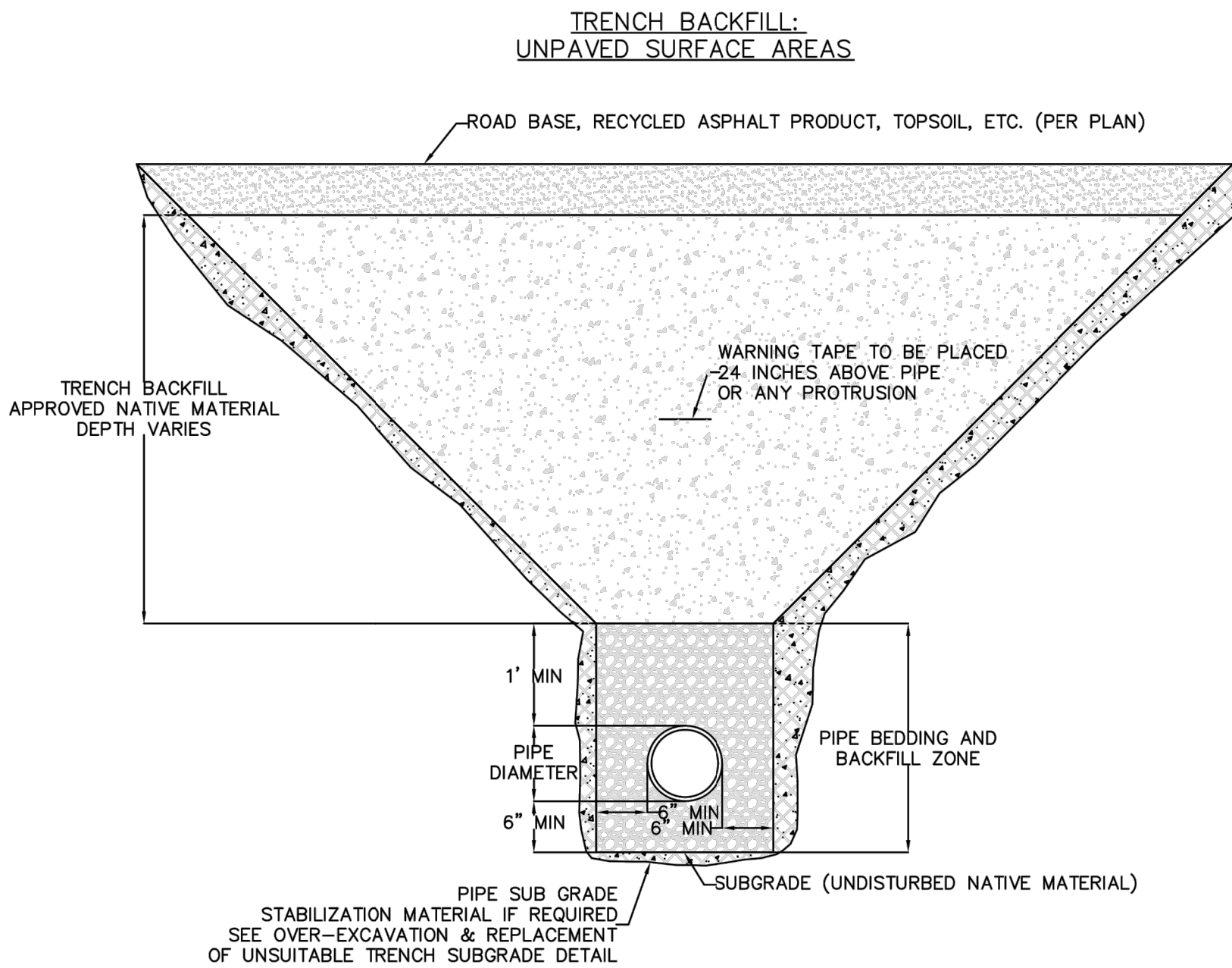
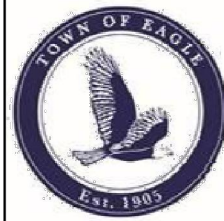
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435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
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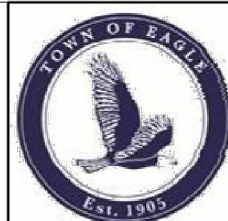
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Project: Public Works Manual
Drawn: JB
Checked: Date: 1/8/2018
Sheet: DETAIL-BACKFILL.DWG

A1

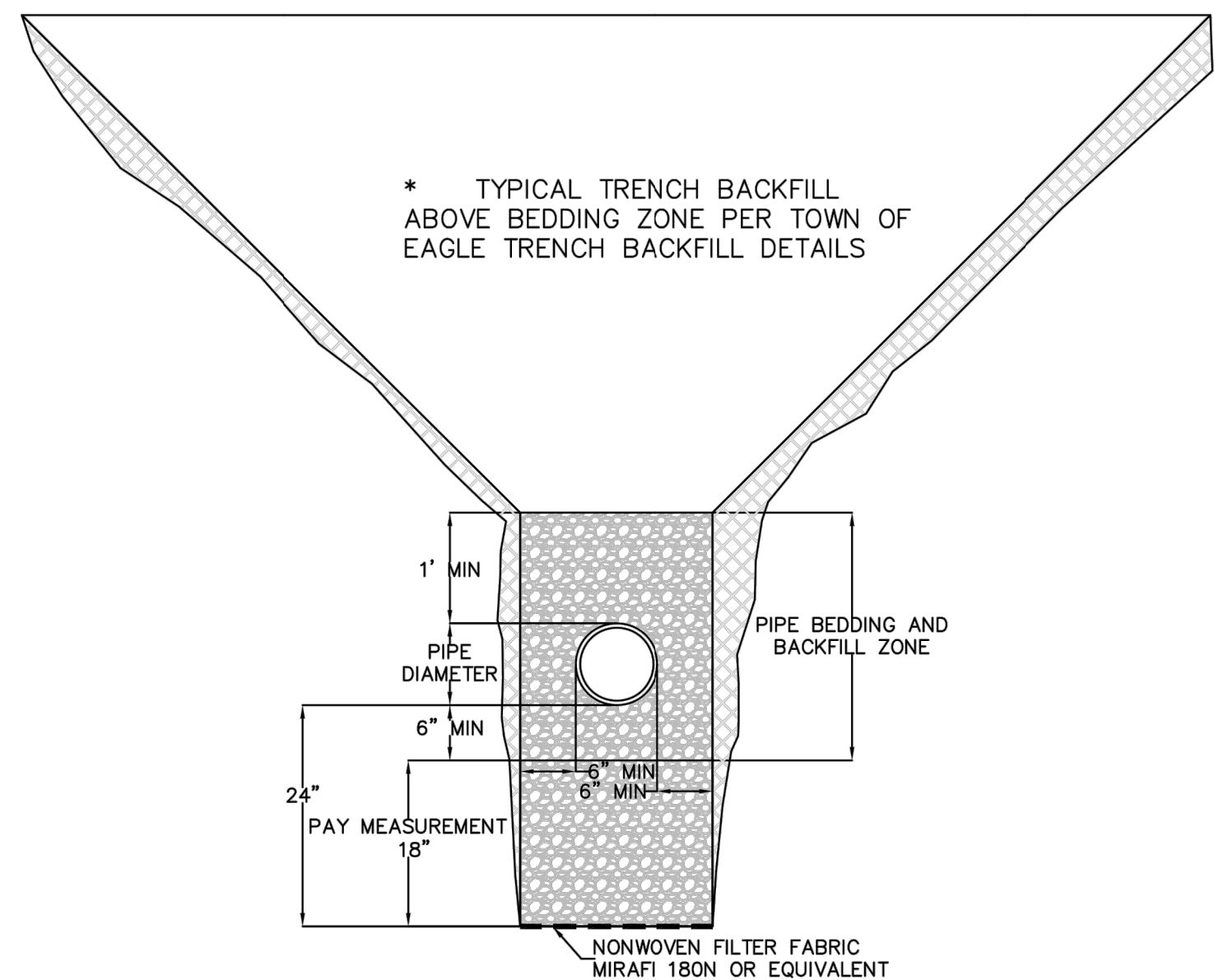


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A2



OVER-EXCAVATION & REPLACEMENT OF UNSUITABLE TRENCH SUBGRADE



* NOTE: MAXIMUM PAY WIDTH SHALL BE 4- FEET. MAXIMUM PAY DEPTH WILL BE 1.5- FEET.

Title: DETAIL -- TRENCH BACKFILL
Project: Public Works Manual
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A3



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PROJECT NO.: 22.011	

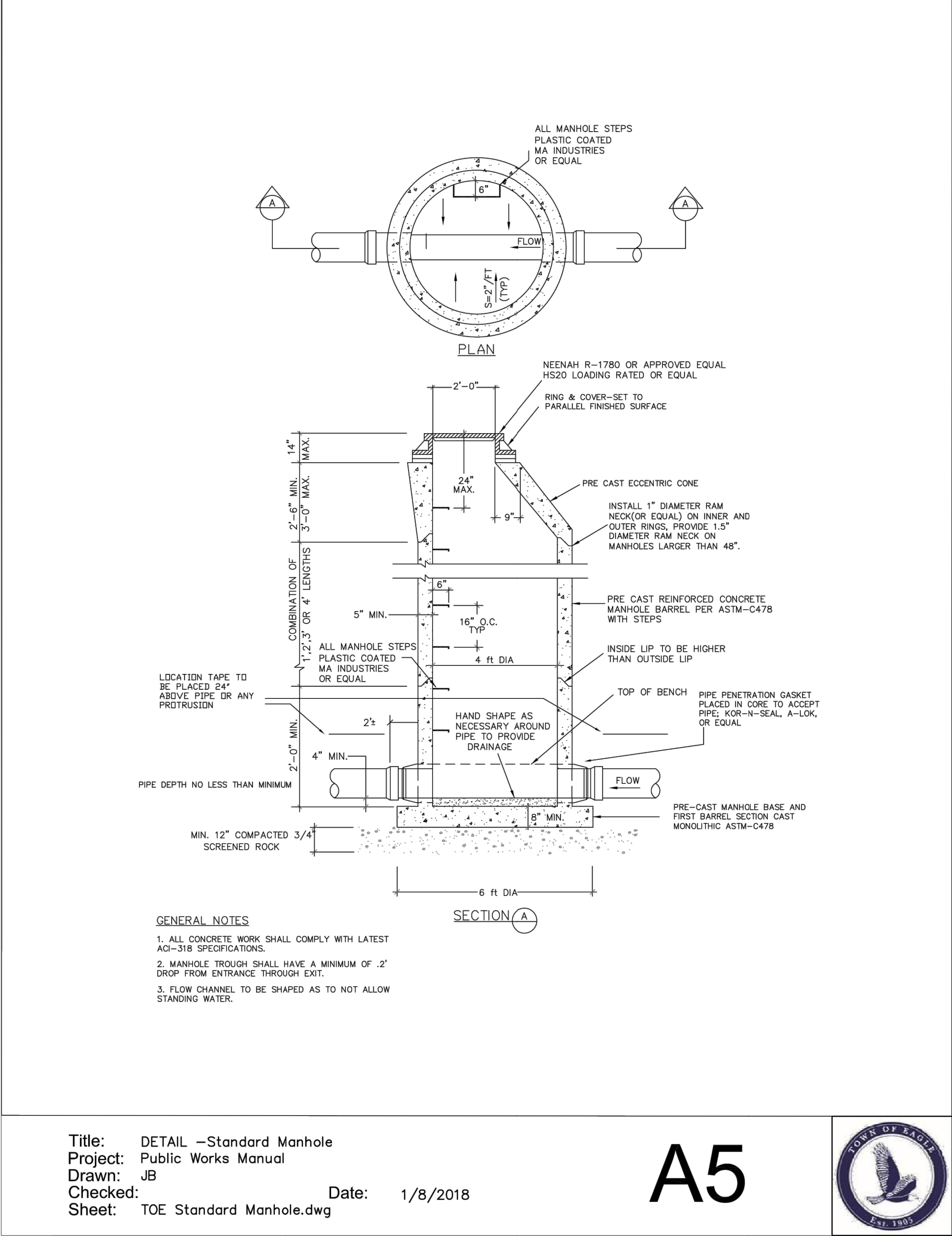
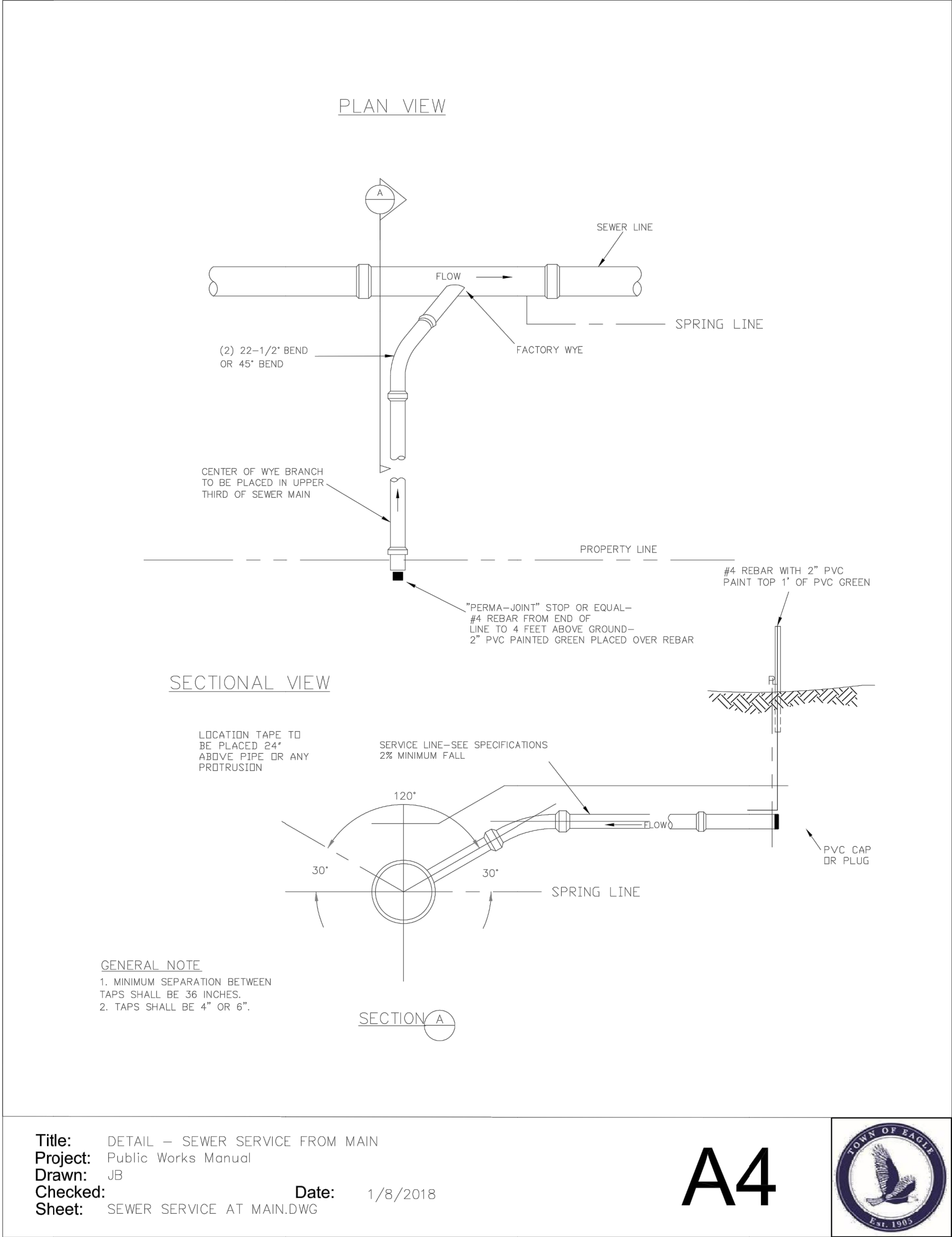
SHEET TITLE
TYPICAL SEWER
DETAILS

SHEET NO.
C10.1

435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
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5.		JY	

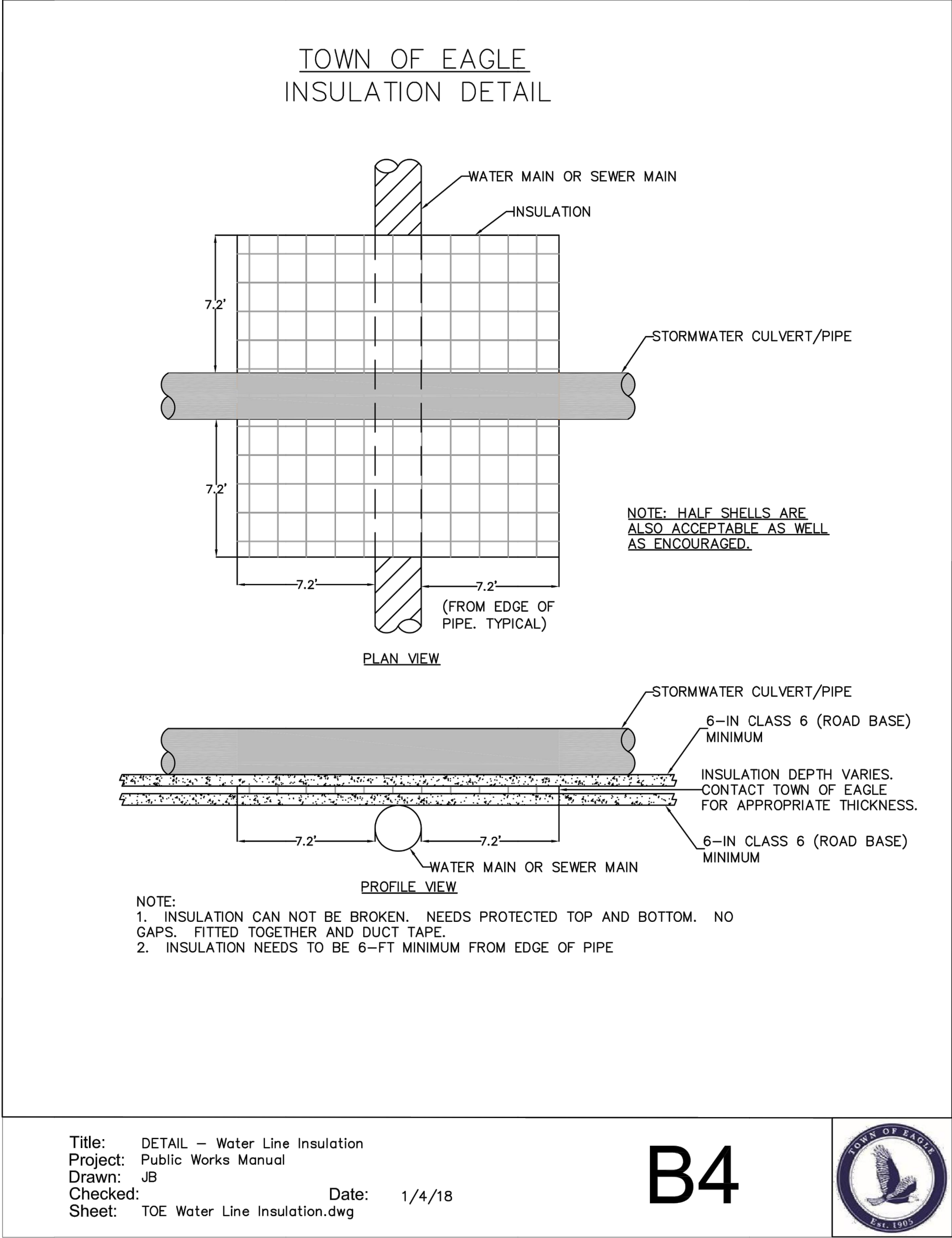
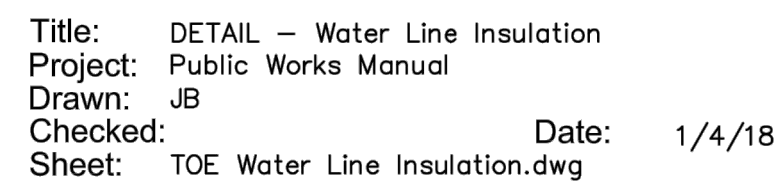
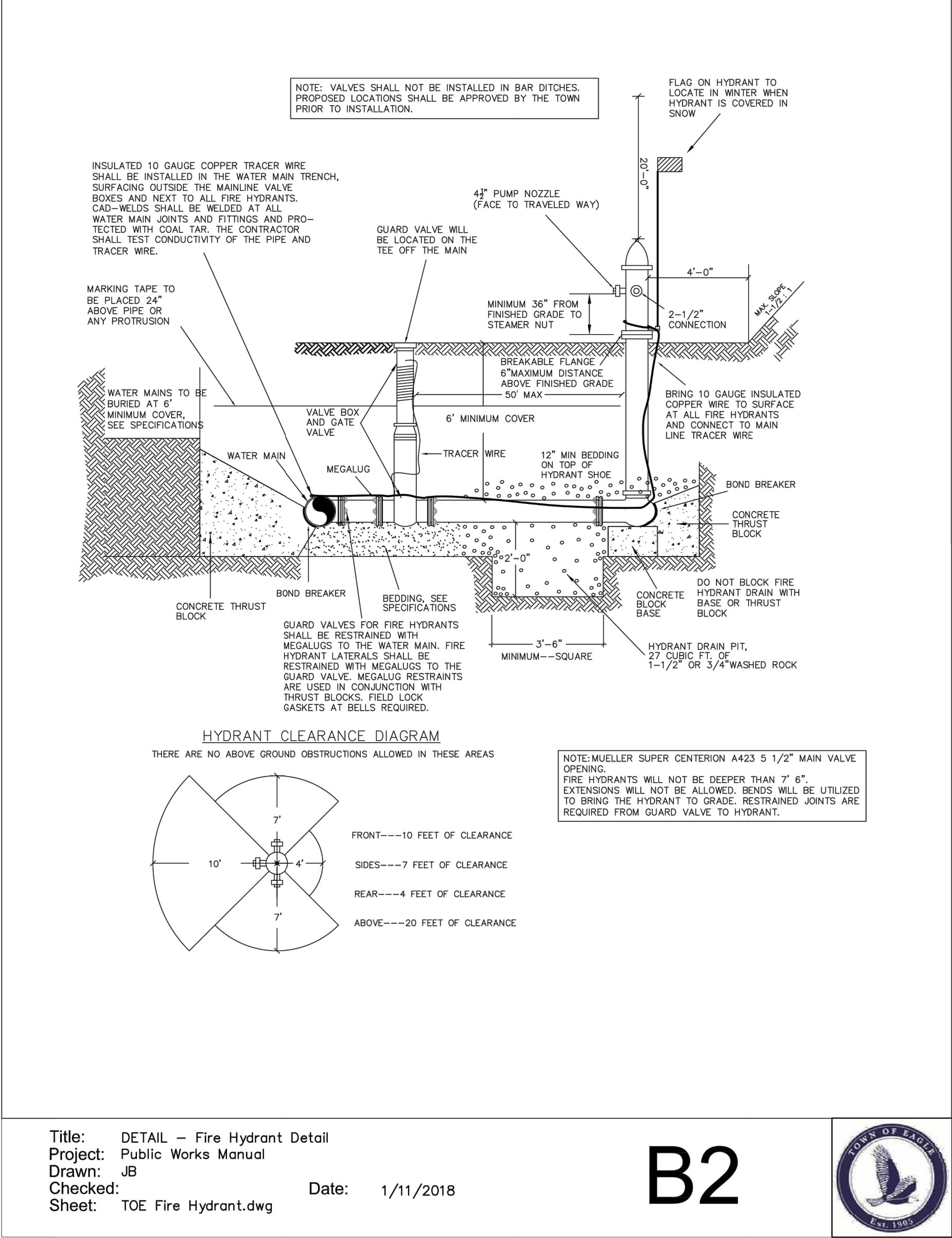
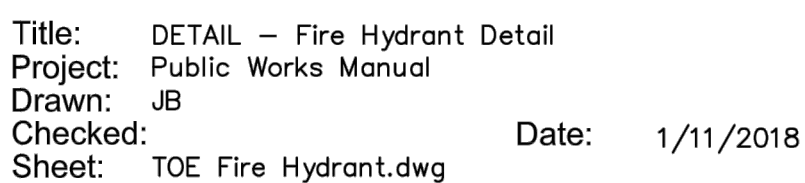
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REVIEWED BY: J. YARNELL	
PROJECT NO: 22.011	

SHEET TITLE
TYPICAL SEWER
DETAILS

SHEET NO.
C10.2

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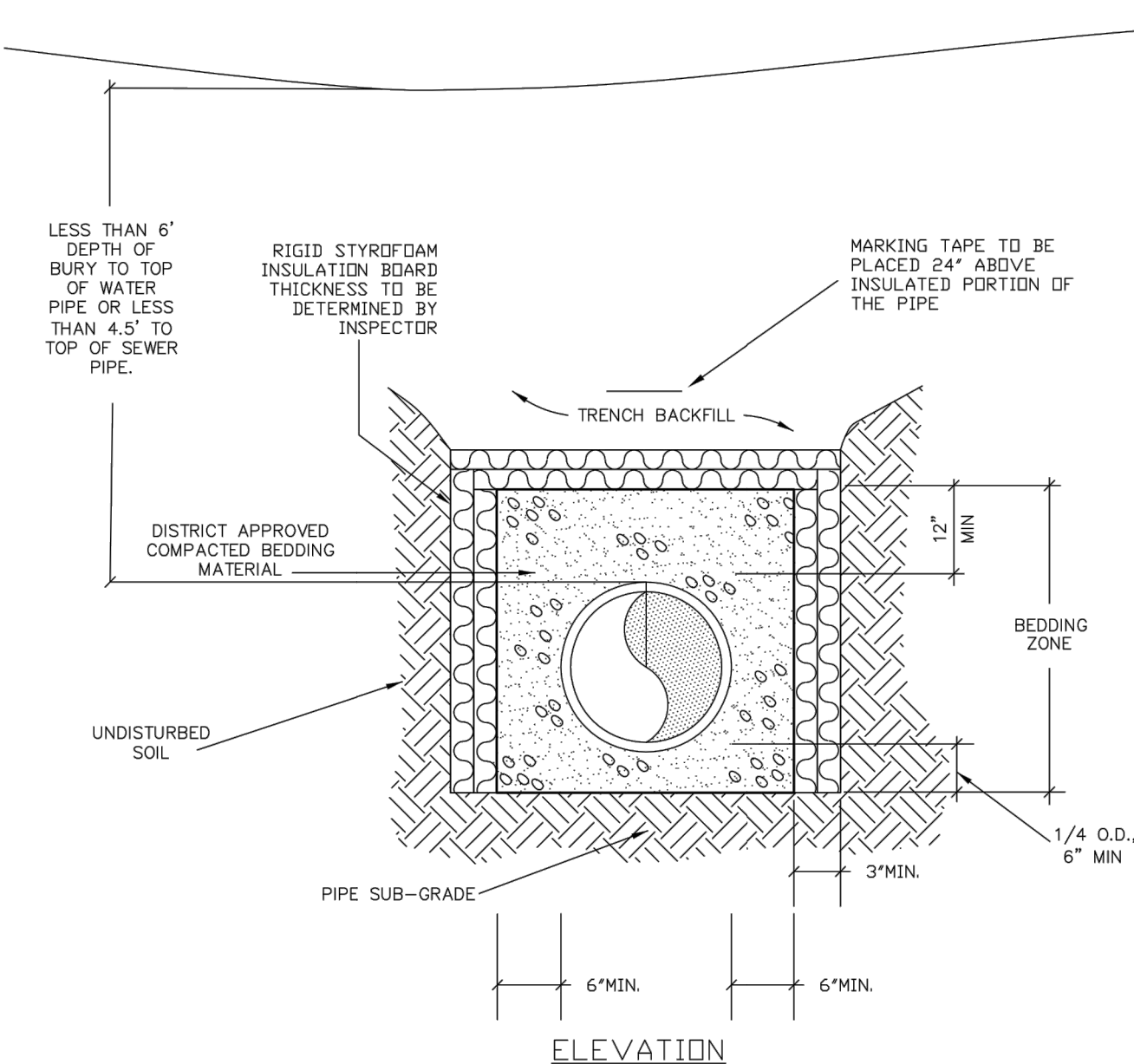
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SHEET TITLE
TYPICAL WATER
DETAILS

SHEET NO.
C11.1

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LESS THAN 6' DEPTH OF BURY TO TOP OF WATER PIPE OR LESS THAN 4.5' TO TOP OF SEWER PIPE.

RIGID STYROFOAM INSULATION BOARD THICKNESS TO BE DETERMINED BY INSPECTOR

MARKING TAPE TO BE PLACED 24" ABOVE INSULATED PORTION OF THE PIPE

TRENCH BACKFILL

DISTRICT APPROVED COMPACTED BEDDING MATERIAL

UNDISTURBED SOIL

12" MIN

BEDDING ZONE

1/4" O.D., 6" MIN

3" MIN

6" MIN

6" MIN

ELEVATION

GENERAL NOTES

- CONDITION OF LESS THAN MINIMUM BURY DEPTH ALLOWED ONLY WITH WRITTEN APPROVAL FROM THE TOWN PRIOR TO CONSTRUCTION. INSULATION SHALL BE INSTALLED ON ALL PIPE THAT DOES NOT MEET MINIMUM BURY REQUIREMENTS.
- SEE SEWER AND WATER PIPE BEDDING DETAIL FOR BACKFILL MATERIAL AND COMPACTION SPECS.
- INSULATION SHALL BE INSTALLED ON ALL PIPE THAT IS WITHIN THE MINIMUM BURY OF ANY DRAINAGE CULVERT. THIS APPLIES TO THE BOTTOM OF THE PIPE IF IT CROSSES OVER TOP OF THE CULVERT.

Title: DETAIL – Water Line Insulation Alternate


Project: Public Works Manual

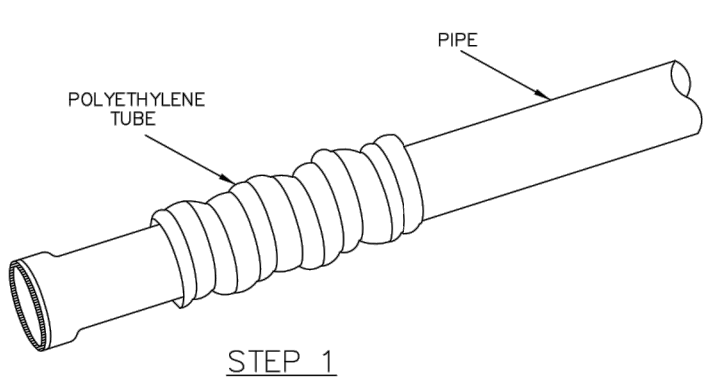
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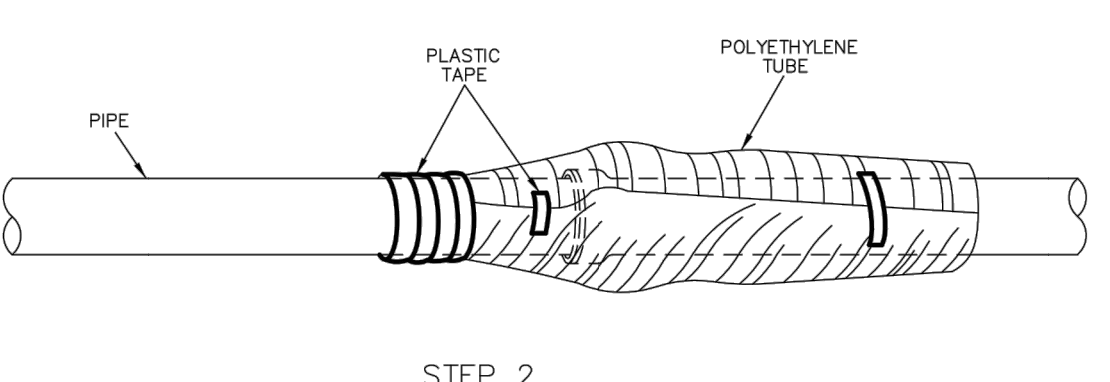
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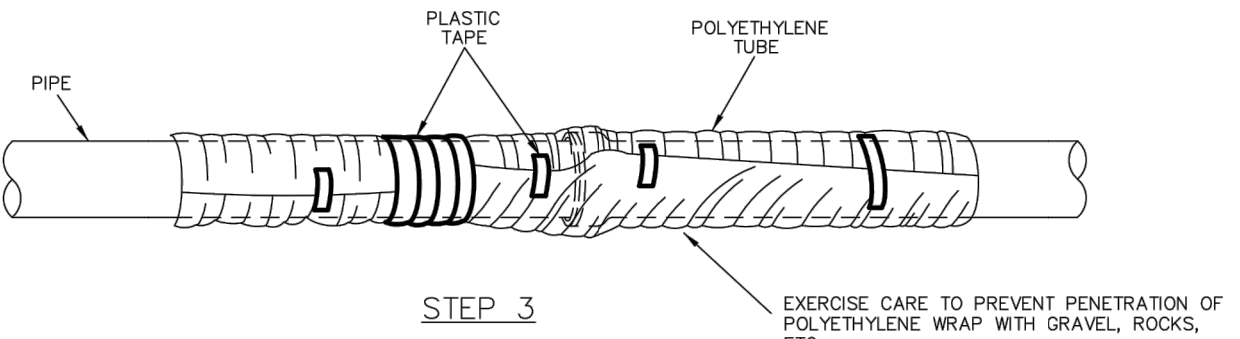




STEP 1



STEP 2



STEP 3

EXERCISE CARE TO PREVENT PENETRATION OF POLYETHYLENE WRAP WITH GRAVEL, ROCKS, ETC.

FIELD INSTALLATION – POLYETHYLENE WRAP

WHERE SPECIFICALLY REQUIRED FOR SOIL APPLICATIONS

STEP 1 – PLACE TUBE OF POLYETHYLENE MATERIAL ON PIPE PRIOR TO LOWERING IT INTO PLACE.

STEP 2 – PULL THE TUBE OVER THE LENGTH OF THE PIPE, TAPE TUBE TO PIPE AT JOINT. FOLD MATERIAL AROUND THE ADJACENT SPIGOT END AND WRAP WITH TAPE TO HOLD THE PLASTIC TUBE IN PLACE.

STEP 3 – OVERLAP FIRST TUBE WITH ADJACENT TUBE AND SECURE WITH PLASTIC ADHESIVE TAPE. THE POLYETHYLENE TUBE MATERIAL COVERING THE PIPE SHALL BE LOOSE. EXCESS MATERIAL SHALL BE NEATLY DRAWN UP AROUND THE PIPE BARREL, FOLDED ON TOP OF PIPE AND TAPED IN PLACE.

Title: DETAIL – Poly Wrap


Project: Public Works Manual

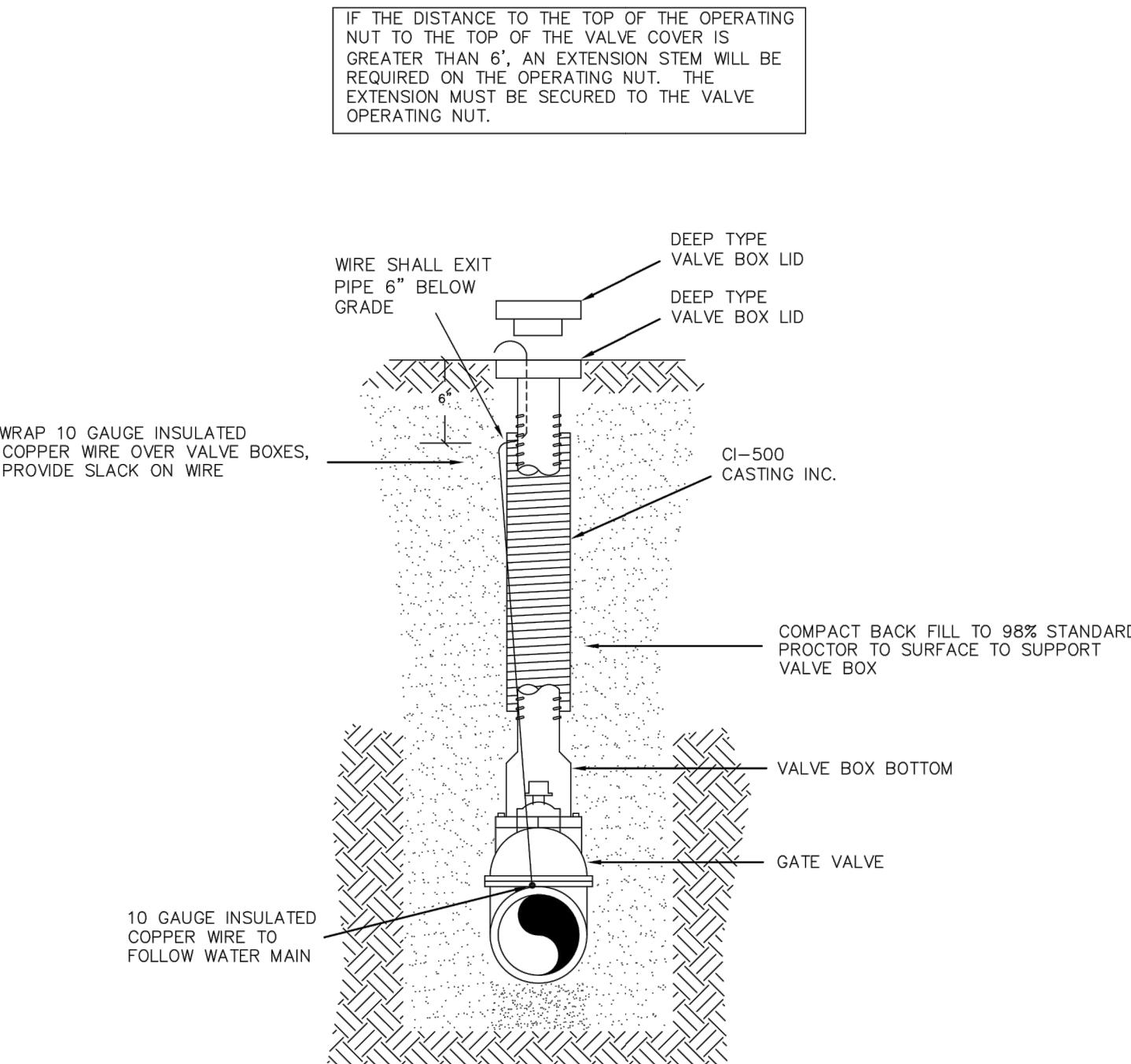
Drawn: JB

Checked: _____

Sheet: TOE Standards Drawing

B11





IF THE DISTANCE TO THE TOP OF THE OPERATING NUT TO THE TOP OF THE VALVE COVER IS GREATER THAN 6", AN EXTENSION STEM WILL BE REQUIRED ON THE OPERATING NUT. THE EXTENSION MUST BE SECURED TO THE VALVE OPERATING NUT.

WIRE SHALL EXIT PIPE 6" BELOW GRADE

DEEP TYPE VALVE BOX LID

DEEP TYPE VALVE BOX LID

CI-500 CASTING INC.

COMPACT BACK FILL TO 98% STANDARD PROCTOR TO SURFACE TO SUPPORT VALVE BOX

VALVE BOX BOTTOM

GATE VALVE

10 GAUGE INSULATED COPPER WIRE TO FOLLOW WATER MAIN

WRAP 10 GAUGE INSULATED COPPER WIRE OVER VALVE BOXES, PROVIDE SLACK ON WIRE

GENERAL NOTE

- VALVE BOX IS TO BE INSTALLED PLUMB, LEVEL, AND CENTERED ON 2" NUT

Title: DETAIL – Valve Box


Project: Public Works Manual

Drawn: JB

Checked: _____

Sheet: TOE Valve Box.dwg

B14



435 EBY CREEK APARTMENTS

435 EBY CREEK ROAD

LOT 3, PERRY SUBDIVISION PHASE 2

EAGLE, COLORADO

YARNELL CONSULTING & CIVIL DESIGN, LLC

P.O. BOX 3901, EAGLE, COLORADO 81631

(970) 323-7008

DESIGN BY:	J. YARNELL	NO.	1.	ISSUE / REVISION	SCHEMATIC DESIGN (NO. CONST.)	DATE	4/15/22	NAME	JY
DRAWN BY:	J. YARNELL	2.	DESIGN DEVELOPMENT (NO. CONST.)	5/19/22	JY				
REVIEWED BY:	J. YARNELL	3.	DEVELOPMENT PERMIT RESUBMISSION	6/24/22	JY				
PROJECT NO.:	22.011	4.			JY				
DATE:	6/24/2022	5.			JY				

SHEET TITLE

TYPICAL WATER DETAILS

SHEET NO.

C11.2

D:\DROPBOX\PROJECT FILES\22.011-435 EBY CREEK ROAD, EAGLE\PLANS\CI1 TYPICAL WATER DETAILS

USE BOND BREAKER 4 MIL POLYETHYLENE PLASTIC EVERYWHERE CONCRETE CONTACTS PIPES, FITTINGS, BOLTS, & NUTS. ALL NUTS SHALL BE ON THE SIDE OPPOSITE THE THRUST BLOCK SO AS TO BE ACCESSIBLE FROM THE TAPPED SIDE OF THE MAIN.

CONCRETE THRUST BLOCK

UNDISTURBED EARTH

WATER TEE

MEGALUGS

8-INCH DIP WATER MAIN WITH POLYWRAP

CADWELD FROM EXISTING PIPE SHOULD TRACER NOT BE PRESENT

MUELLER A-2360 OR US PIPE METRO SEAL 250 RS GATE VALVE UP TO AND INCLUDING 12"


SOLID SLEEVE WITH WEDDING BAND AS NECESSARY

10 GAUGE INSULATED COPPER WIRE SHALL BE INSTALLED WITH ALL PIPES

MJ FOSTER ADAPTOR IS PREFERABLE OR ALLOW ENOUGH DISTANCE TO WORK ON MEGALUGS

Title: DETAIL - Cut in Tee
Project: Public Works Manual
Drawn: JB
Checked: TOE Cut In Tee.dwg
Date: 1/8/2018

B17



USE BOND BREAKER 4 MIL POLYETHYLENE PLASTIC EVERYWHERE CONCRETE CONTACTS PIPES, FITTINGS, BOLTS, & NUTS. ALL NUTS SHALL BE ON THE SIDE OPPOSITE THE THRUST BLOCK SO AS TO BE ACCESSIBLE FROM THE TAPPED SIDE OF THE MAIN.

CONCRETE THRUST BLOCK

UNDISTURBED EARTH

TAPPING SLEEVE

TAPPING GATE VALVE

EDGE OF TRENCH

10 GAUGE INSULATED COPPER WIRE SHALL BE INSTALLED WITH ALL PIPES

MEGALUG

EDGE OF TRENCH

PLAN

CONCRETE THRUST BLOCK

GRADE

MARKING TAPE TO BE PLACED 24" ABOVE TOP OF PIPE OR HIGHEST PROTRUSION

VALVE BOX AND GATE VALVE

10 GAUGE INSULATED COPPER WIRE SHALL BE INSTALLED WITH ALL PIPE

MUELLER A-2361-16 TAPPING VALVE

TAPPING SLEEVE

UNDISTURBED EARTH

MEGALUG

12"

UNIFORM CONCRETE BLOCKS (NO WOOD BLOCKING SHALL BE USED)

IN WET AND/OR UNSTABLE GROUND, THE TRENCH BOTTOM WILL BE BROUGHT TO GRADE WITH TOWN APPROVED BEDDING TO SUPPORT THRUST BLOCK.


BOND BREAKER 4 MIL POLYETHYLENE PLASTIC EVERYWHERE CONCRETE CONTACTS PIPES, FITTINGS, BOLTS, & NUTS. ALL NUTS SHALL BE ON THE SIDE OPPOSITE THE THRUST BLOCK SO AS TO BE ACCESSIBLE FROM THE TAPPED SIDE OF THE MAIN.

ELEVATION

GENERAL NOTE
1. NO TAPPING SLEEVES WILL BE ALLOWED WHERE PRESSURES MAY EXCEED 150psi WORKING PRESSURE UNLESS WRITTEN PERMISSION IS GIVEN BY THE TOWN.
2. ROMAC SST II STAINLESS STEEL TAPPING SLEEVE OR APPROVED EQUAL.

Title: DETAIL - Tapping Sleeve
Project: Public Works Manual
Drawn: JB
Checked: TOE Tapping Sleeve.dwg
Date: 1/12/2018

B18



USE BOND BREAKER 4 MIL POLYETHYLENE PLASTIC EVERYWHERE CONCRETE CONTACTS PIPES, FITTINGS, BOLTS, & NUTS. ALL NUTS SHALL BE ON THE SIDE OPPOSITE THE THRUST BLOCK SO AS TO BE ACCESSIBLE FROM THE TAPPED SIDE OF THE MAIN.

CONCRETE THRUST BLOCK

UNDISTURBED EARTH

DIP WATER MAIN

WATER TEE

MEGALUGS

MJ FOSTER ADAPTOR IS PREFERABLE OR ALLOW ENOUGH DISTANCE TO WORK ON MEGALUGS

4 OR 6-INCH DIP WATER SERVICE WITH POLYWRAP

10 GAUGE INSULATED COPPER WIRE SHALL BE INSTALLED WITH ALL PIPES

GATE VALVE WITH VALVE BOX AND LID LABELED "WATER"

SEE TEMPORARY BLOW OFF DETAIL

PROPERTY LINE OR EDGE OF EASEMENT

PLAN

CONCRETE THRUST BLOCK

GRADE

MARKING TAPE TO BE PLACED 24" ABOVE TOP OF PIPE OR HIGHEST PROTRUSION

VALVE BOX AND GATE VALVE ASSEMBLY PER DETAIL

10 GAUGE INSULATED COPPER WIRE SHALL BE INSTALLED WITH ALL PIPE

GATE VALVE

DIP WATER MAIN

UNDISTURBED EARTH

MEGALUG

12"

UNIFORM CONCRETE BLOCKS (NO WOOD BLOCKING SHALL BE USED)

SEE TEMPORARY BLOW OFF DETAIL


IN WET AND/OR UNSTABLE GROUND, THE TRENCH BOTTOM WILL BE BROUGHT TO GRADE WITH TOWN APPROVED BEDDING TO SUPPORT THRUST BLOCK.

BOND BREAKER 4 MIL POLYETHYLENE PLASTIC EVERYWHERE CONCRETE CONTACTS PIPES, FITTINGS, BOLTS, & NUTS. ALL NUTS SHALL BE ON THE SIDE OPPOSITE THE THRUST BLOCK SO AS TO BE ACCESSIBLE FROM THE TAPPED SIDE OF THE MAIN.

ELEVATION

Title: DETAIL - Tee Detail 4" or 6" Service
Project: Public Works Manual
Drawn: JB
Checked: TOE 4" 6" Tee Detail.dwg
Date: 1/12/2018

B19



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3.	DEVELOPMENT PERMIT RESUBMISSION	J. YARNELL	6/24/22
4.			
5.			

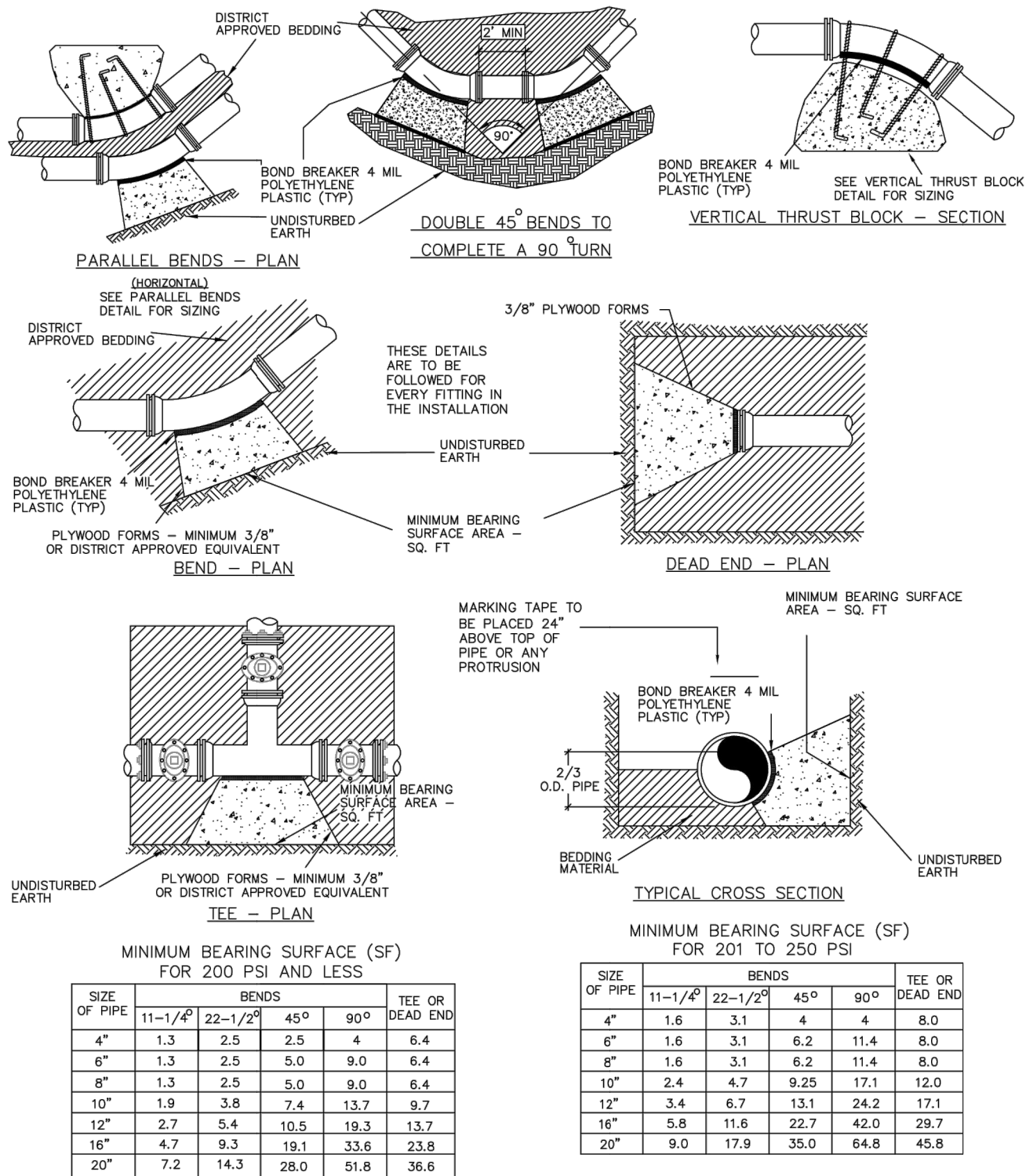
DESIGN BY: J. YARNELL	DATE: 6/24/2022
DRAWN BY: J. YARNELL	
REVIEWED BY: J. YARNELL	
PROJECT NO.: 22.011	

SHEET TITLE
TYPICAL WATER DETAILS

SHEET NO.
C11.3

435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
EAGLE, COLORADO

YARNELL CONSULTING & CIVIL DESIGN, LLC
P.O. BOX 3901 EAGLE, COLORADO 81631
(970) 323-7008

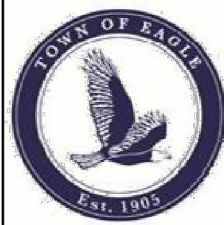


GENERAL NOTES

- MEGALUG RESTRAINTS SHALL BE USED IN CONJUNCTION WITH THRUSTBLOCKS.
- MINIMUM AREA REQUIRED WILL BE THAT OF AN 8 INCH MAIN
- ALL THRUST BLOCKS SHALL BE FORMED. THE MINIMUM THICKNESS FORM MATERIAL SHALL BE 3/8" PLYWOOD OR DISTRICT APPROVED EQUIVALENT.
- BEARING AREA BASED ON SOIL BEARING PRESSURE OF 2000 LB/SF.

Title: DETAIL - General Thrust Blocks
Project: Public Works Manual
Drawn: JB
Checked: TOE General Thrust Blocks.dwg
Date: 1/12/2018

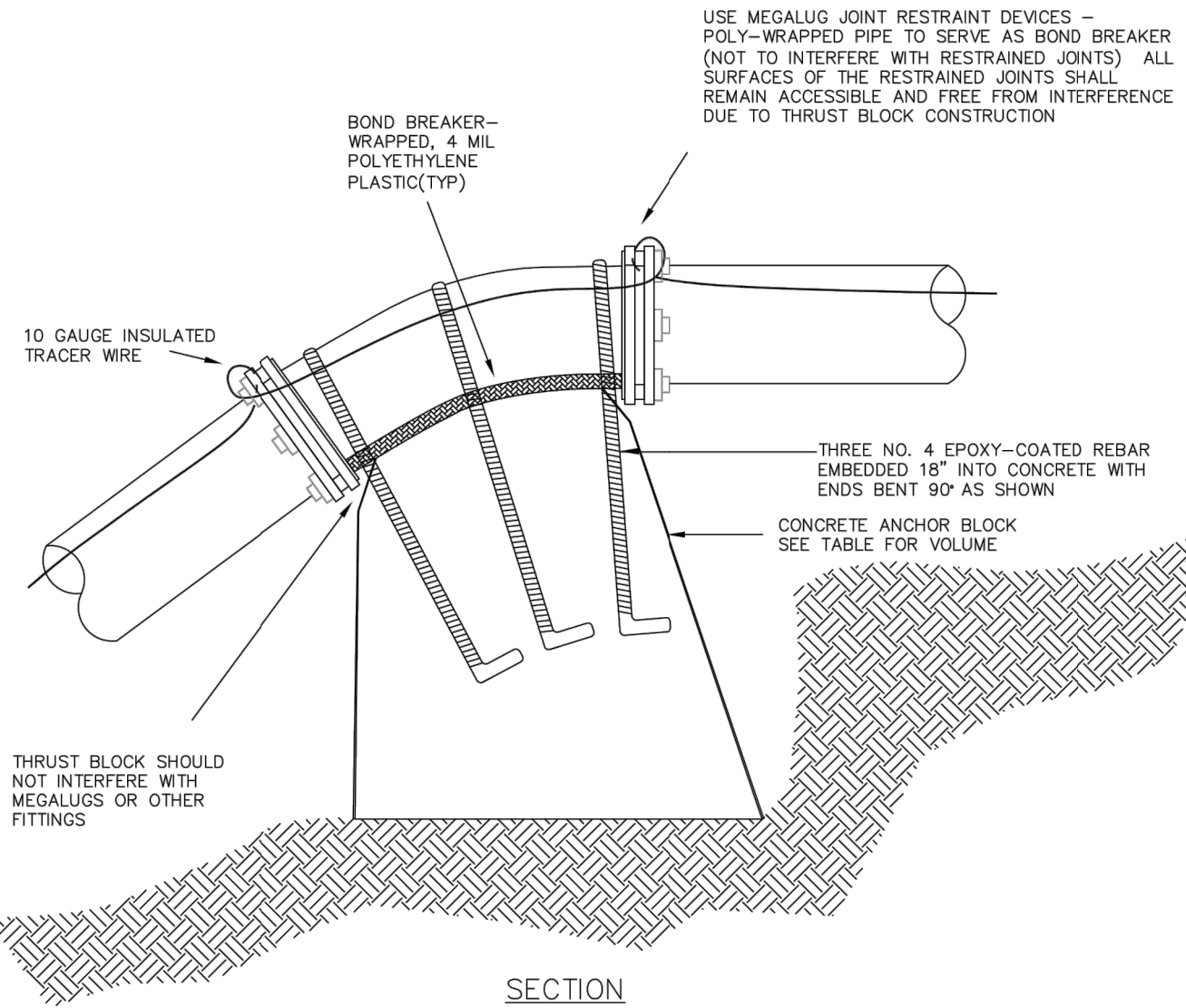
B21



SIZE OF PIPE	BENDS			
	11-1/4"	22-1/2"	45°	90°
4"	0.2	0.4	1.3	N/A
6"	0.2	0.5	1.8	N/A
8"	0.2	0.5	1.8	N/A
10"	0.2	0.8	2.7	N/A
12"	0.3	1.0	3.8	N/A

NA = NOT ALLOWED

NOTE: PIPE LARGER THAN 12" TO BE SPECIFICALLY DESIGNED BY ENGINEER. FORMS SHALL BE 3/8" PLYWOOD



Title: DETAIL - Vertical Thrust Block
Project: Public Works Manual
Drawn: JB
Checked: TOE Vertical Thrust Block.dwg
Date: 1/12/2018

B22



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4.			
5.			

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DRAWN BY: J. YARNELL
REVIEWED BY: J. YARNELL
PROJECT NO.: 22.011
DATE: 6/24/2022

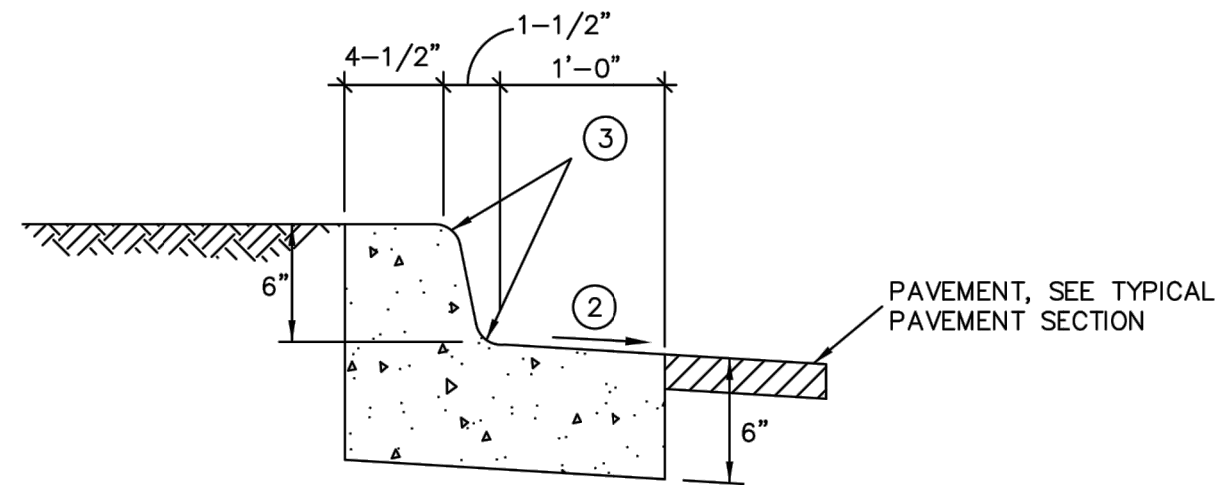
SHEET TITLE
TYPICAL WATER
DETAILS

SHEET NO.
C11.4

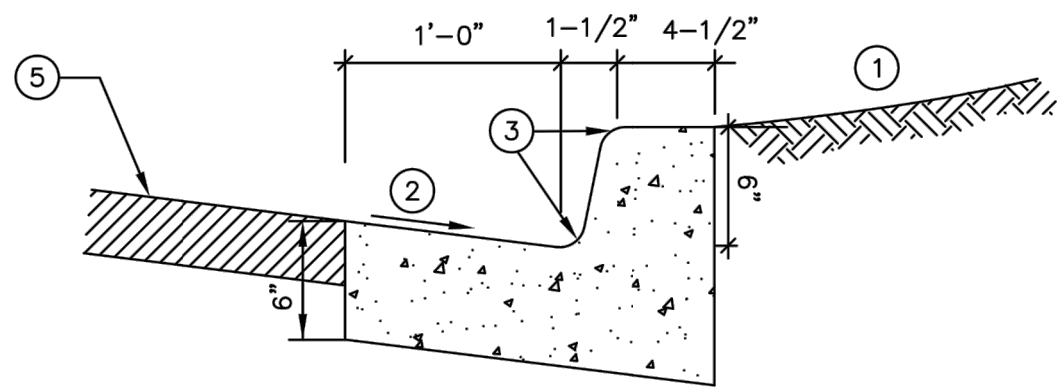
435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
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SPILL CURB



CATCH CURB

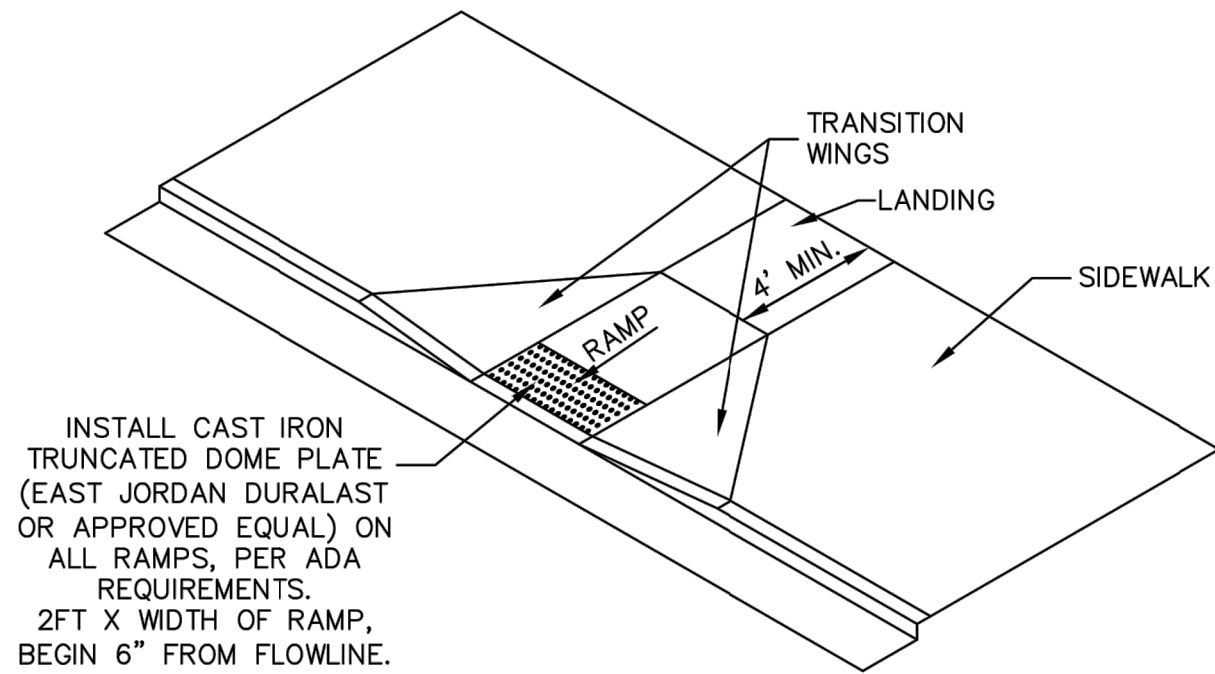
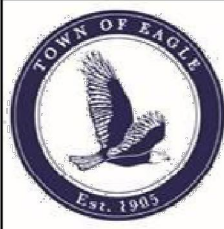
NOTES:

1. BACKFILL, SEE DETAIL OF CUT/FILL SLOPE
2. SLOPE AT 1" PER FOOT
3. 1-1/2" RADIUS TYPICAL
4. SLOPE TO MATCH ADJACENT PAVEMENT
5. PAVEMENT, SEE TYPICAL PAVEMENT SECTION
6. PROVIDE CONTRACTION JOINTS 12' O.C. MAXIMUM
7. PROVIDE EXPANSION JOINTS 100' O.C. MAXIMUM

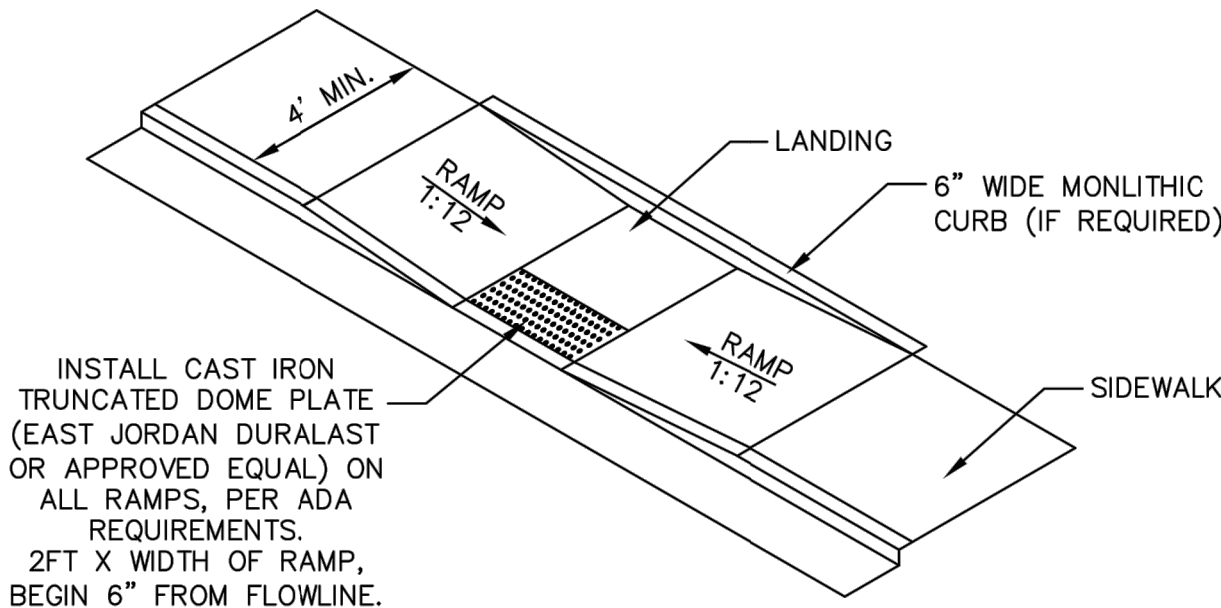
6" VERTICAL CURB AND GUTTER

Title: DETAIL - Vertical Curb Cut
Project: Public Works Manual
Drawn: JB
Checked:
Sheet: Vertical Curb Cut.dwg
Date: 1/16/2018

C1



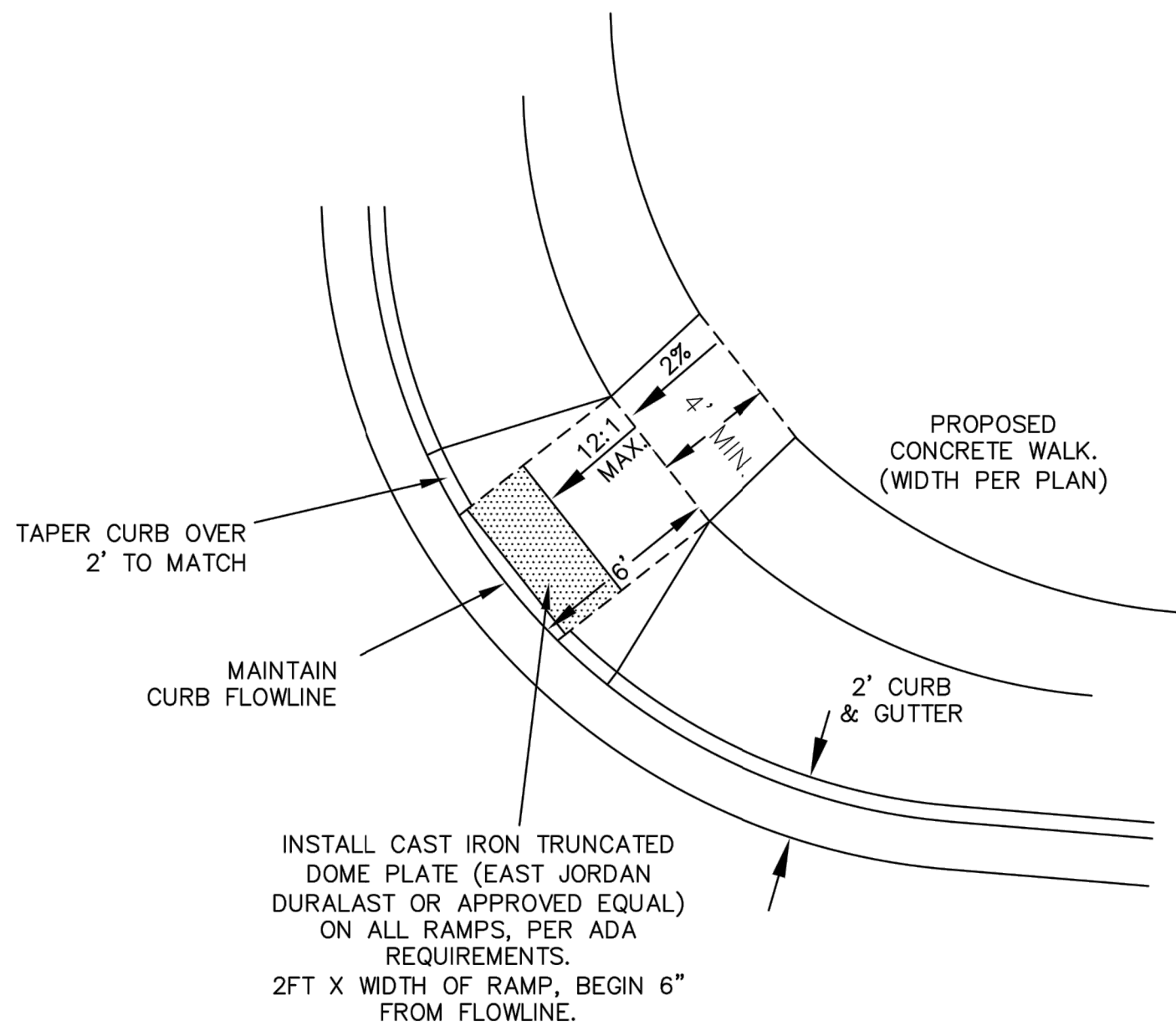
PERPENDICULAR PEDESTRIAN RAMP
WITHIN SIDEWALK



PARALLEL SIDEWALK RAMP

Title: DETAIL - ADA Ramps
Project: Public Works Manual
Drawn: JB
Checked:
Sheet: ADA Ramps.dwg
Date: 1/16/2018

C4



Title: DETAIL - ADA Corner Ramp
Project: Public Works Manual
Drawn: JB
Checked:
Sheet: C4 ADA Corner Ramp.dwg
Date: 1/16/2018

C5



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3.	DEVELOPMENT PERMIT RESUBMISSION	6/24/22	JY
4.			JY
5.			JY

DESIGN BY: J. YARNELL	DATE: 6/24/2022
DRAWN BY: J. YARNELL	
REVIEWED BY: J. YARNELL	
PROJECT NO: 22.011	

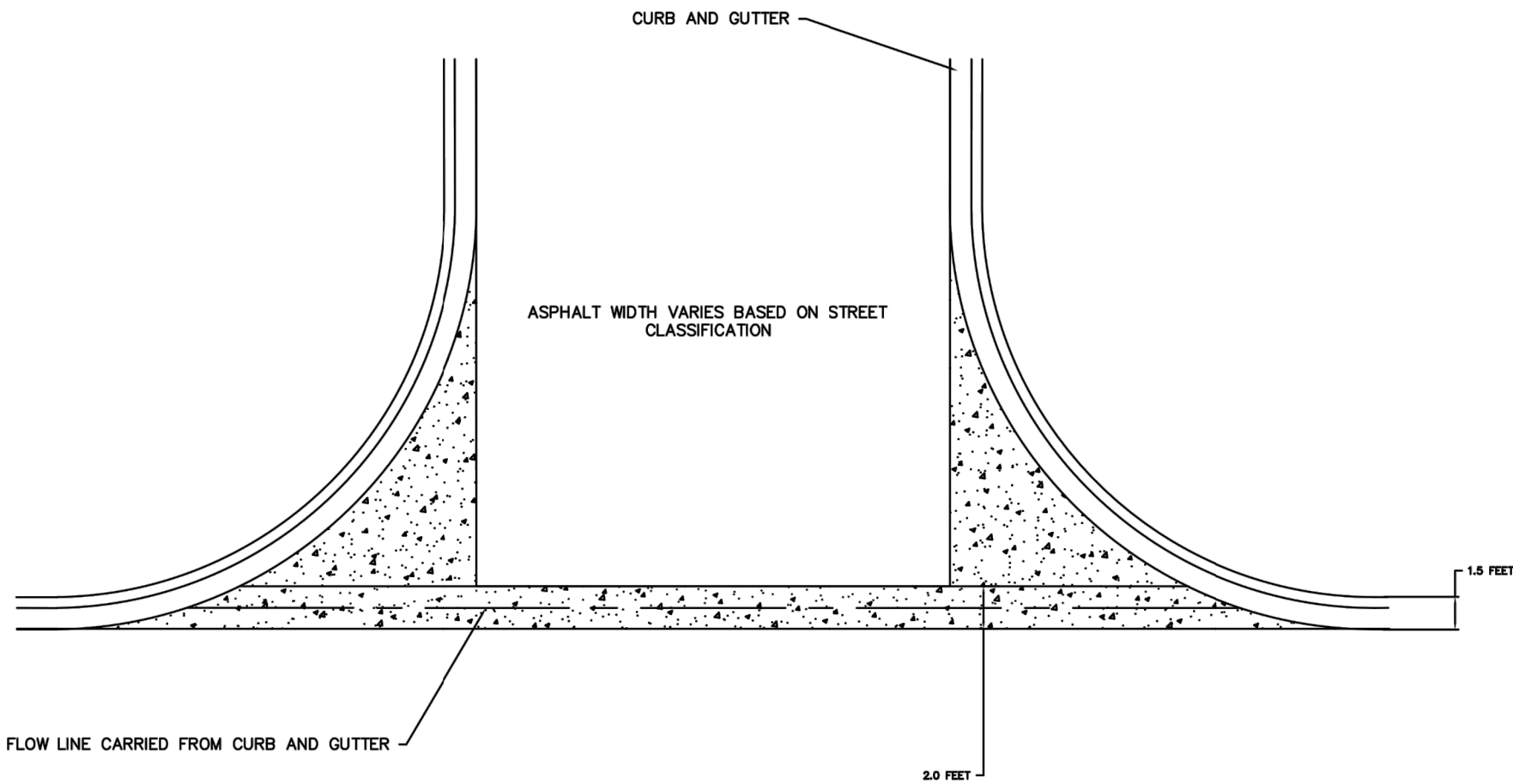
SHEET TITLE
TYPICAL ROAD
DETAILS

SHEET NO.
C12.1

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435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
EAGLE, COLORADO

D:\DROPBOX\PROJECT FILES\22.011--435 EBY CREEK ROAD, EAGLE\PLANS\C12 TYPICAL ROAD DETAILS



Title: DETAIL -- Street Intersection Curb Fillets
Project: Public Works Manual
Drawn: JB
Checked: Date: 1/16/2018
Sheet: C7 Street Intersection Curb Fillets.dwg

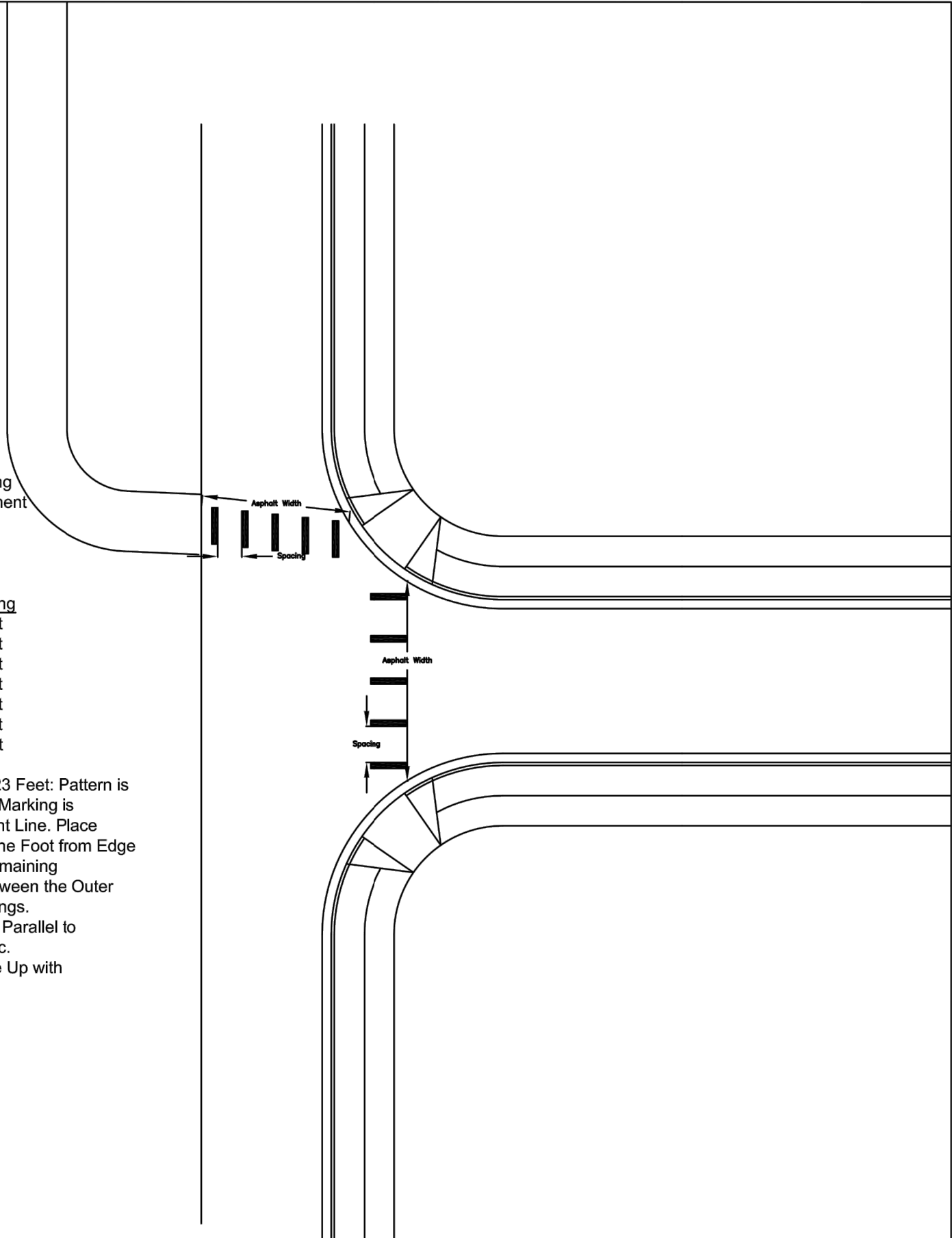
C7



Notes:

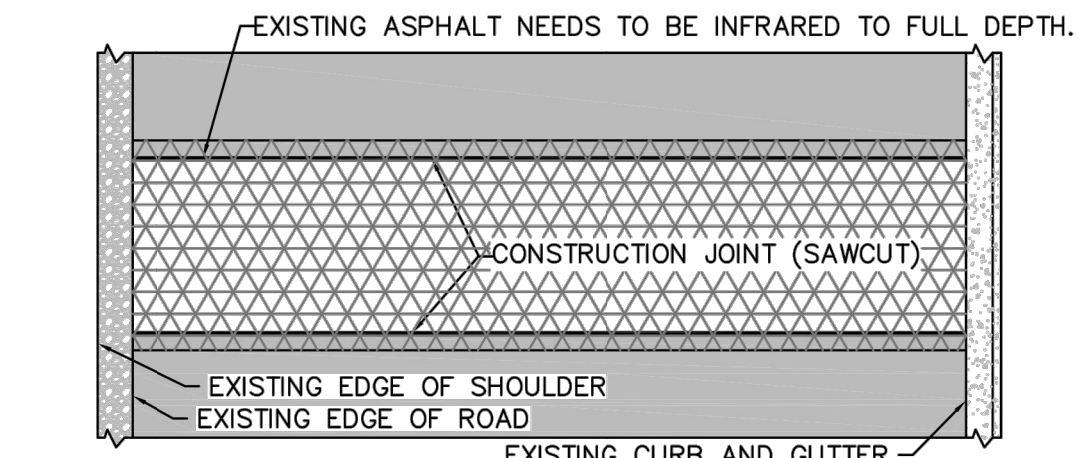
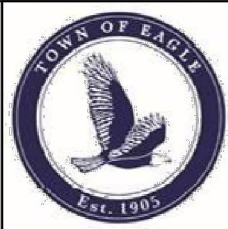
1. Measure Asphalt Width
2. The Center Crosswalk Marking is Centered on the Measurement Line - not the Center Line of Road.
3. Spacing is as follows:

Asphalt Width	Spacing
59 to 67 Feet	6 Feet
53 to 59 Feet	5 Feet
45 to 53 Feet	6 Feet
39 to 45 Feet	5 Feet
31 to 39 Feet	6 Feet
27 to 31 Feet	5 Feet
23 to 27 Feet	4 Feet
4. For Asphalt Width less than 23 Feet: Pattern is the same. Center Crosswalk Marking is Centered on the Measurement Line. Place Outer Crosswalk Markings One Foot from Edge of Asphalt and Center the Remaining Two Crosswalk Markings Between the Outer and Center Crosswalk Markings.
5. Crosswalk Markings Shall be Parallel to the Direction of Vehicle Traffic.
6. Crosswalk Marking Shall Line Up with the Sidewalk Ramps.

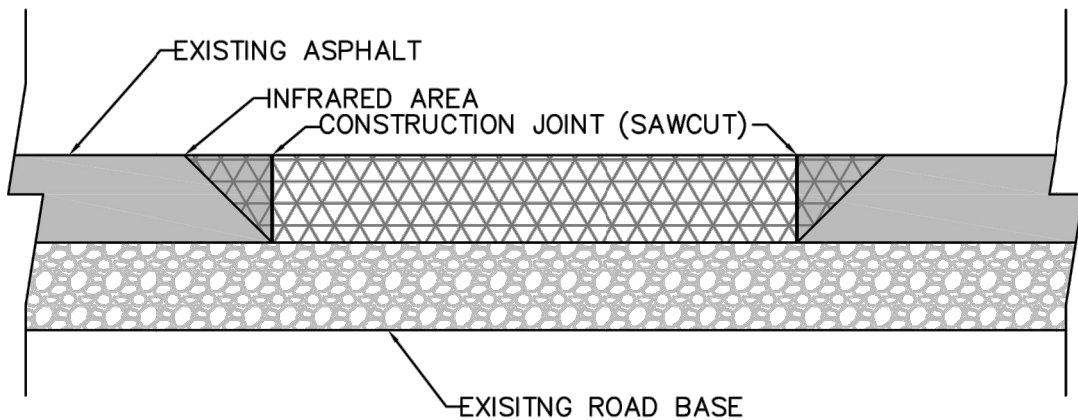


Title: DETAIL -- Crosswalk Detail
Project: Public Works Manual
Drawn: JB
Checked: Date: 1/4/18
Sheet: TOE Crosswalk Detail.dwg

C12



PLAN
NTS



PROFILE
NTS

- NOTES:
1. CONSTRUCTION JOINTS MUST BE FULL DEPTH INFRARED.
 2. CONSTRUCTION JOINTS MUST BE MALLEABLE PRIOR TO BEING RAKED.
 3. EXISTING ASPHALT AT CONSTRUCTION JOINTS MUST BE RAKED FOR PROPER BLENDING OF NEW ASPHALT.
 4. ASPHALT EMULSION MUST BE USED.
 5. SHALLOW UTILITY ROAD CUTS SHOULD TRY TO BE 4--FT MAXIMUM FOR EASIER INFRARED.
 6. TEMPORARY PATCHES MUST BE REMOVED PRIOR TO BEING INFRARED.
 7. TEMPERATURE OF INFRARED SHALL BE 300--DEGREES +/- 25 DEGREES.
 8. REJUVENATOR MUST BE ADDED TO EXISTING ASPHALT.

Title: DETAIL -- Infrared Detail
Project: Public Works Manual
Drawn: JB
Checked: Date: 1/4/18
Sheet: TOE Infrared Detail.dwg

C13



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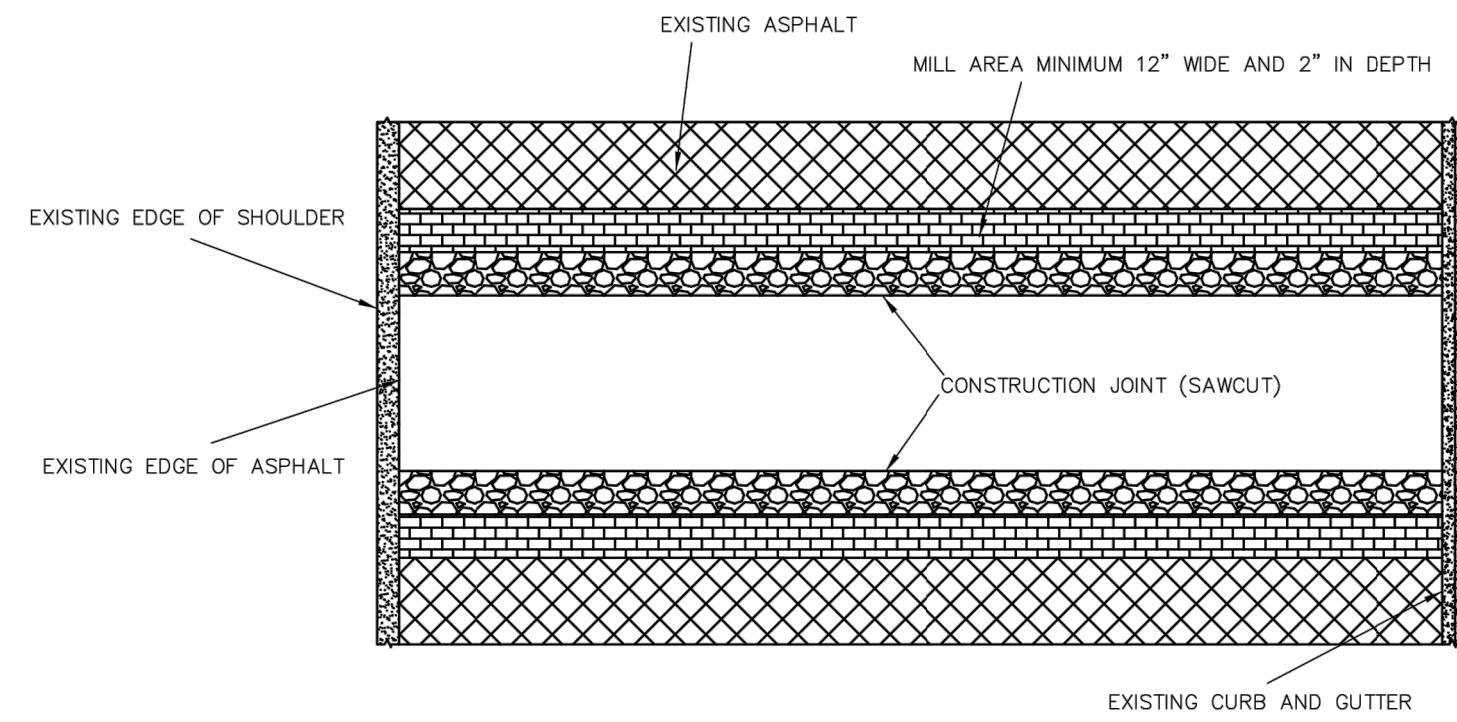
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5.			JY

SHEET TITLE
TYPICAL ROAD
DETAILS

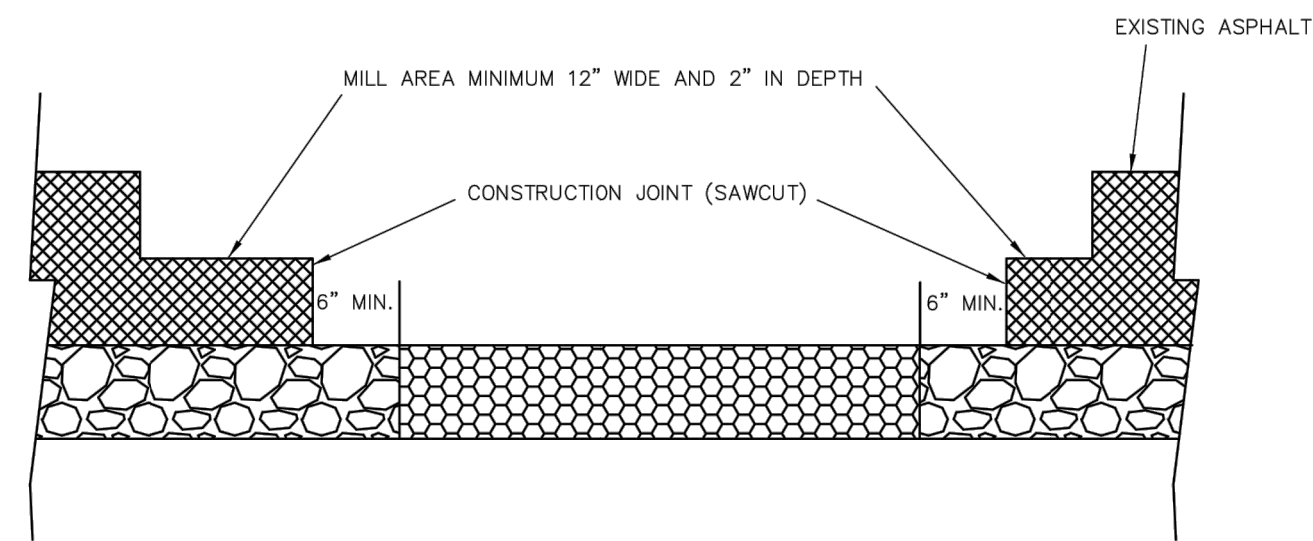
SHEET NO.
C12.2

435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
EAGLE, COLORADO

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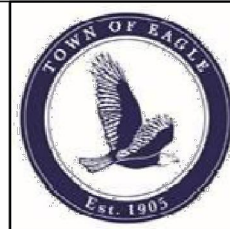
PLAN



PROFILE

Title: DETAIL - Street Cut Detail
Project: Public Works Manual
Drawn: JB
Checked: _____ Date: 1/4/18
Sheet: TOE Street Cut Detail.dwg

C14



435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
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PROJECT NO.:	22.011	3.	DEVELOPMENT PERMIT RESUBMISSION	6/24/22	JYY
DATE:	6/24/2022	4.			JYY
		5.			JYY

SHEET TITLE
TYPICAL ROAD
DETAILS

SHEET NO.
C12.3

D:\DROPBOX\PROJECT FILES\22.011-435 EBY CREEK ROAD, EAGLE\PLANS\C13 TYPICAL STORM SEWER DETAILS

OPTIONAL GRATES
TYPE L, V, DL OR
DR (TYPE L
GRATE SHOWN)

CAST IRON FRAME,
GRATE, AND HOOD
APPROX. WEIGHT:
510 LBS.

12"

30" 45"

12"

18"x31" THIN WALL KNOCKOUTS.
SLUDGE OUT AS REQUIRED.
BOTH END WALLS.

5'-0" 3'-9"

31" ROUND THIN
WALL KNOCKOUTS.
SLUDGE OUT AS
REQUIRED.
BOTH SIDE WALLS

OUTSIDE
HEIGHT
OF BOX

B

A

C

OPTIONAL
EXTENSION
HEIGHT

Title: Detail Curb Inlet
Project: Public Works Manual
Drawn: JB
Checked:
Sheet: Drainage.dwg

Date: 1/18/2018

D1

STORM PIPE BEDDING

TRENCH WIDTH AS SPECIFIED

LOWER LIMIT OF
TRENCH WALL
SLOPE

12 IN. MIN.

PIPE O.D.

6 IN. MIN.

COMPACTED
CLASS 6
ROAD BASE

Title: Detail Bedding
Project: Public Works Manual
Drawn: JB
Checked:
Sheet: Drainage.dwg

Date: 1/18/2018

D3

STEEL OR WOOD POST

FILTER FABRIC

BACK FILLED TRENCH

SECTION VIEW

STEEL OR WOOD POST

FILTER FABRIC
ATTACH SECURELY TO
POST

COMPACTED BACK FILL

RUNOFF

APPROXIMATELY
4 IN. X 4 IN. TRENCH

10 IN.
MIN.

GENERAL NOTES:

1. THE MAXIMUM TRIBUTARY AREA IS LIMITED TO 0.25
ACRES PER 100 FEET OF FENCE.

2. INSPECT AND REPAIR FENCE AFTER EACH STORM
EVENT. REMOVE SEDIMENT WHEN ONE HALF THE HEIGHT
OF THE FENCE HAS BEEN FILLED. REMOVED SEDIMENT SHALL
BE DEPOSITED IN AN AREA TRIBUTARY TO A SEDIMENT
BASIN OR OTHER FILTERING MEASURE.

Title: Detail Silt Fence
Project: Public Works Manual
Drawn: JB
Checked:
Sheet: Drainage.dwg

Date: 1/18/2018

D4

435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
EAGLE, COLORADO

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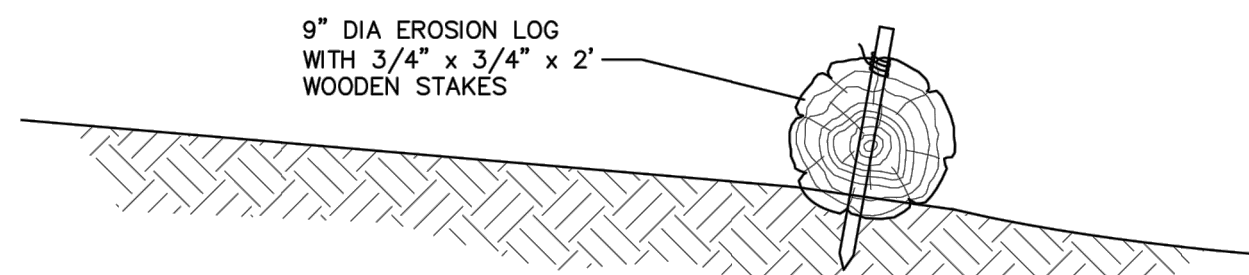
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NO.	ISSUE / REVISION	DATE	NAME
1.	SCHEMATIC DESIGN (NO CONST.)	4/15/22	JUY
2.	DESIGN DEVELOPMENT (NO CONST.)	5/19/22	JUY
3.	DEVELOPMENT PERMIT RESUBMISSION	6/24/22	JUY
4.			JUY
5.			JUY

DESIGN BY: J. YARNELL	DATE: 6/24/2022
DRAWN BY: J. YARNELL	
REVIEWED BY: J. YARNELL	
PROJECT NO.: 22.011	

SHEET TITLE
TYPICAL STORM
SEWER DETAILS

SHEET NO.
C13.1



THE HEIGHT OF A STRAW WATTLE IS 9 IN. THE
INSTALLED HEIGHT IS APPROXIMATELY 7-9 IN.

EROSION LOG WATTLE DETAIL

N.T.S.

This sediment barrier is designed for low surface flows not to exceed 1 cfs for small areas, slope flatter than 3:1 or short slopes, and where silt fences are not practicable. Straw Wattles can also be installed on contour on steeper slopes to reduce surface, spread water flow and capture sediment. The following is a brief description of the Straw Wattles, their uses and installation.

1. The height of a Straw Wattle is 9 in. The installed height is approximately 5 – 7 in. The standard length of Straw Wattles is 25 ft, however other lengths will be made upon request.
2. Straw Wattles can be installed on contour of slope, with a slight downslope angle at the end of each row to allow for drainage during heavy precipitation. They can also be used at the top of slopes to prevent sheeting over the edge, and they can be used at the toe of slopes. Straw Wattles can also be used along sidewalks and curbs and around storm drains and inlets to prevent sediment pollution.
3. Straw Wattles can be used to replace silt fences, straw bale dikes and sand bag barriers. They can also be placed in drainage swales to slow flows and capture sediment; they can be used as level spreaders to prevent concentrated flow, and in place of earthen berms or dikes.
4. Straw Wattles should be installed on surface.
5. Lay the Wattle in the trench and stake with 3/4" X 3/4" X 18" or 24" wood stakes at each end and 4-foot on center. When installing running lengths, Straw Wattle ends should be staked firmly together to prevent leakage, and securely staked together but overlapping is acceptable.
6. When used on slopes, Straw Wattles do not require removal and can be abandoned in place. However, when used for temporary purposes such as along sidewalks on curbs, or around storm drains, they can be removed and reused.
7. Wattles installed on slopes that are steeper than 2:1 shall be spaced at 10' intervals rather than 20' intervals.

Title: Erosion Log
Project: Public Works Manual
Drawn: JB
Checked:
Sheet: Erosion Log.dwg

Date: 1/18/2018

D5



435 EBY CREEK APARTMENTS

435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
EAGLE, COLORADO

**YARNELL CONSULTING &
CIVIL DESIGN, LLC**

P.O. BOX 3901, EAGLE, COLORADO 81631
(970) 323-7008

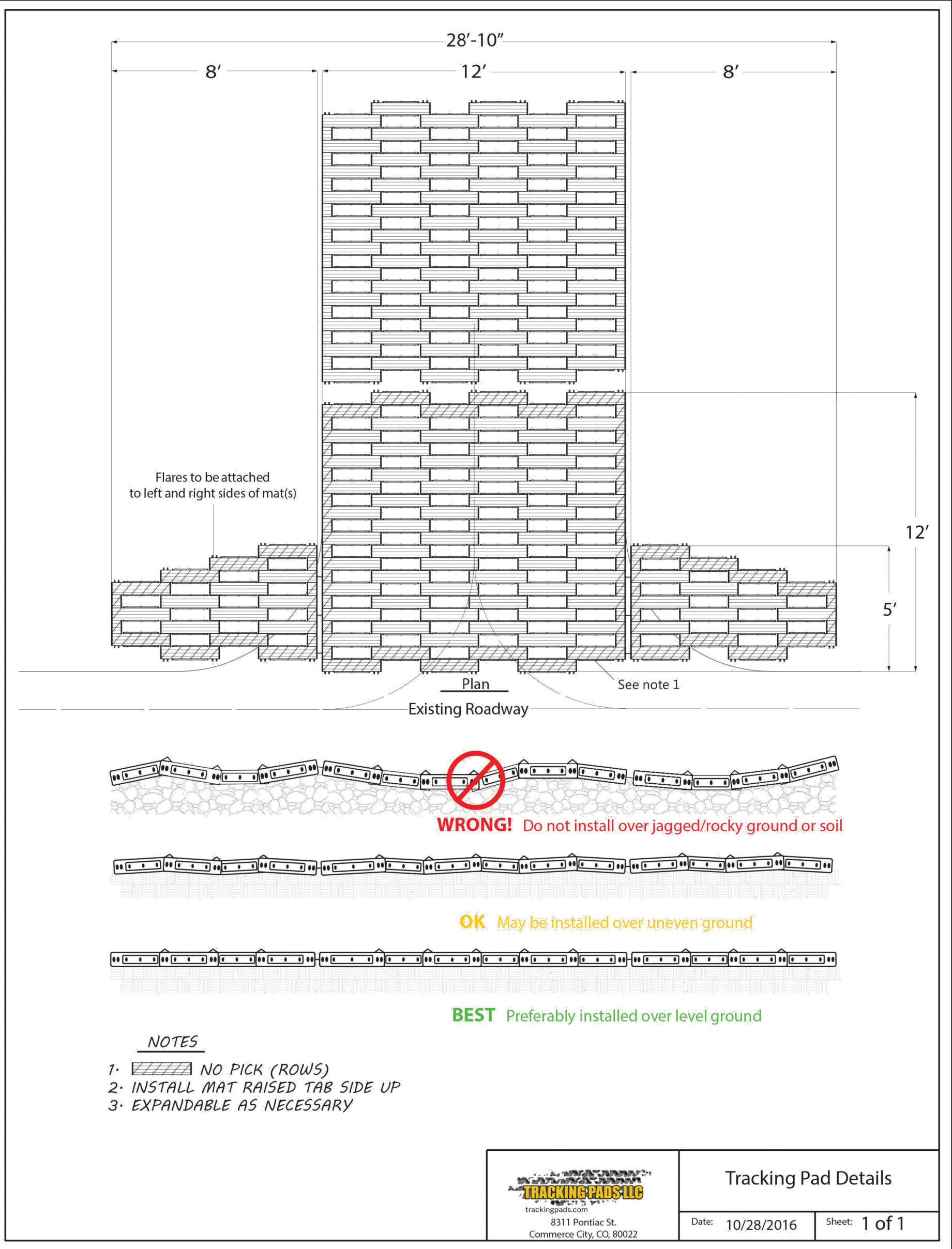
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4.			JYJ
5.			JYJ

SHEET TITLE
TYPICAL STORM
SEWER DETAILS

SHEET NO.
C13.2

D:\DROPOX\PROJECT FILES\22.011--435 EBY CREEK ROAD, EAGLE\PLANS\C14 TYPICAL BUILDING DETAILS



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PROJECT NO: 22.011	

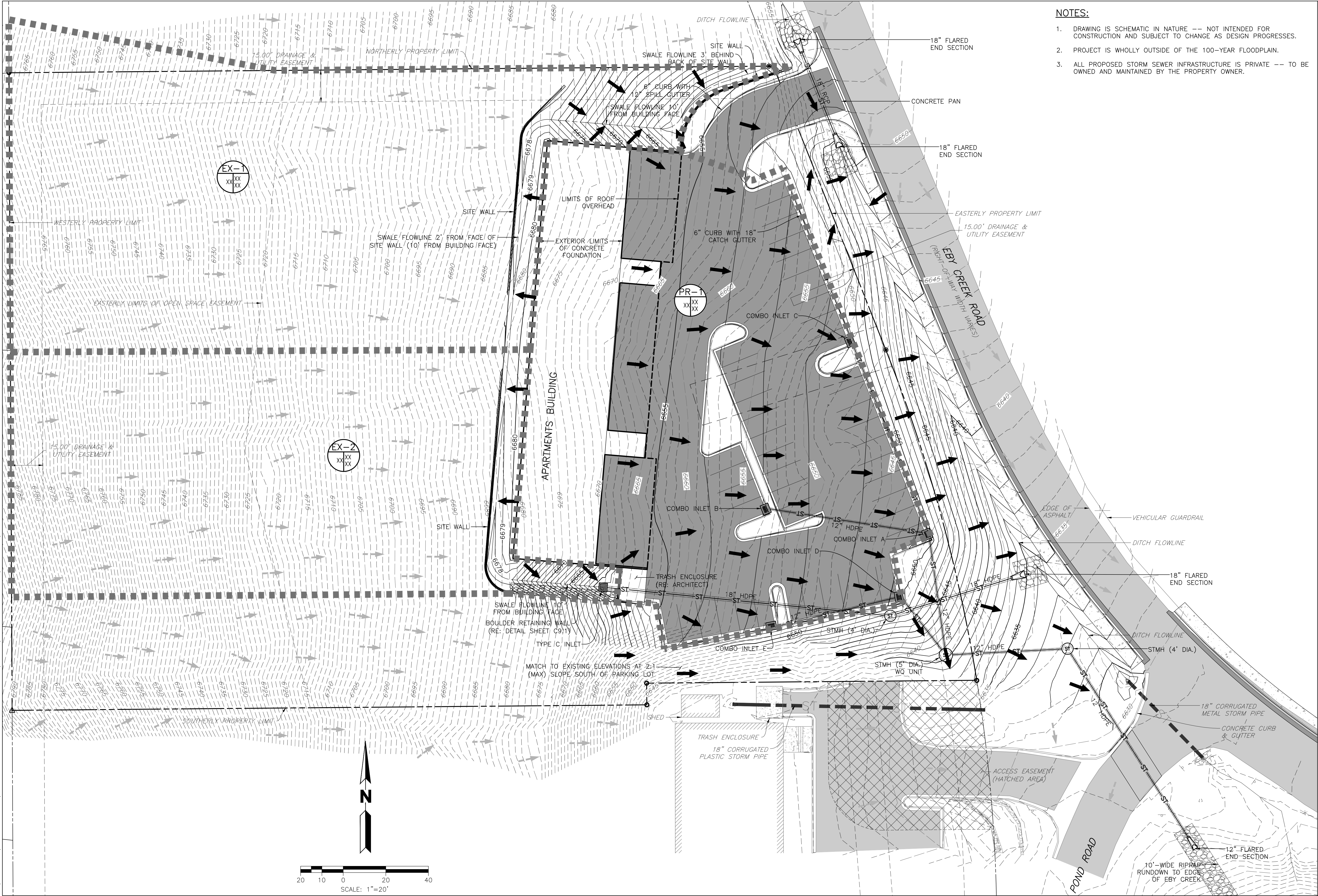
SHEET TITLE
TYPICAL BUILDING DETAILS

SHEET NO.
C14.2

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435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
EAGLE, COLORADO

D:\DROPBOX\PROJECT FILES\22.011-435 EBY CREEK ROAD, EAGLE\PLANS\01. DRAINAGE PLAN (PROPOSED)



- NOTES:
- DRAWING IS SCHEMATIC IN NATURE --- NOT INTENDED FOR CONSTRUCTION AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
 - PROJECT IS WHOLLY OUTSIDE OF THE 100-YEAR FLOODPLAIN.
 - ALL PROPOSED STORM SEWER INFRASTRUCTURE IS PRIVATE --- TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNER.

435 EBY CREEK APARTMENTS
435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2
EAGLE, COLORADO

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4.			
5.			

DESIGN BY: J. YARNELL
DRAWN BY: J. YARNELL
REVIEWED BY: J. YARNELL
PROJECT NO.: 22.011
DATE: 6/24/2022

SHEET TITLE
DRAINAGE PLAN
(PROPOSED)

SHEET NO.
D1

D:\DROPBOX\PROJECT FILES\22.011-435 EBY CREEK ROAD, EAGLE\PLANS\D2 DRAINAGE PLAN (OFF-SITE)



YARNELL CONSULTING & CIVIL DESIGN, LLC

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(970) 323-7008

435 EBY CREEK APARTMENTS

435 EBY CREEK ROAD

LOT 3, PERRY SUBDIVISION PHASE 2

EAGLE, COLORADO

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5.			JUY

DESIGN BY: J. YARNELL

DRAWN BY: J. YARNELL

REVIEWED BY: J. YARNELL

PROJECT NO.: 22.011

DATE: 6/24/2022

SHEET TITLE

DRAINAGE PLAN (OFF-SITE)

SHEET NO.

D2