

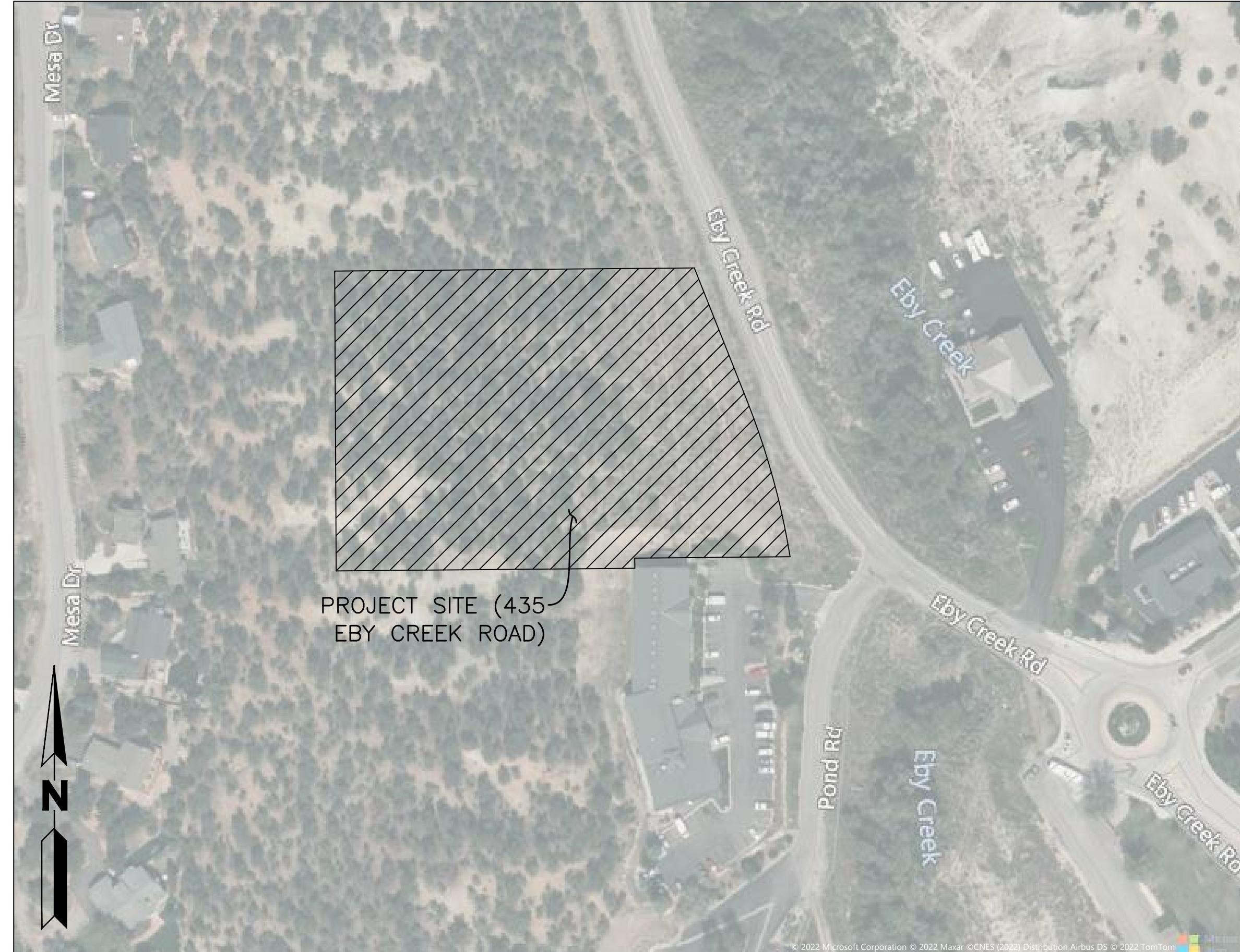
# EBY CREEK APARTMENTS

## 435 EBY CREEK ROAD

LOT 3, PERRY SUBDIVISION PHASE 2, SECTION 32, TOWNSHIP 4 SOUTH, RANGE 84 WEST OF  
THE 6TH PRINCIPAL MERIDIAN, TOWN OF EAGLE, COUNTY OF EAGLE, STATE OF COLORADO

### LEGEND

EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
RIGHT-OF-WAY LINE	RIGHT-OF-WAY LINE
SECTION LINE	SECTION LINE
EASEMENT	EASEMENT
RETAINING WALL	RETAINING WALL
CURB & GUTTER	CURB & GUTTER
ASPHALT	ASPHALT
CONCRETE/SIDEWALK	CONCRETE/SIDEWALK
HANDICAP RAMPS	HANDICAP RAMPS
CONTOURS	CONTOURS
UTILITY CROSSING	UTILITY CROSSING
STORM SEWER	STORM SEWER
STORM MANHOLE	STORM MANHOLE
ROOF DRAIN	ROOF DRAIN
STORM INLET	STORM INLET
FLARED END SECTION	FLARED END SECTION
SANITARY SEWER	SANITARY SEWER
SANITARY MANHOLE	SANITARY MANHOLE
CLEAN OUT	CLEAN OUT
WATER LINE	WATER LINE
WATER VALVE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
WATER METER	WATER METER
IRRIGATION LINE	IRRIGATION LINE
IRRIGATION CONTROL	IRRIGATION CONTROL
OVERHEAD ELECTRIC	OVERHEAD ELECTRIC
ELECTRIC LINE	ELECTRIC LINE
LIGHT POLE	LIGHT POLE
POWER POLE	POWER POLE
ELECTRIC METER	ELECTRIC METER
TELEPHONE LINE	TELEPHONE LINE
TELEPHONE PEDESTAL	TELEPHONE PEDESTAL
CABLE TV	CABLE TV
SIGN	SIGN
DIRECTION OF FLOW	DIRECTION OF FLOW
GRADING ARROW	GRADING ARROW
GAS LINE	GAS LINE
DESCRIPTIONS	DESCRIPTIONS
SPOT ELEVATIONS	SPOT ELEVATIONS



### VICINITY MAP

SCALE: 1"=100'



CALL 811 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE OR EXCAVATE FOR  
MARKING OF UNDERGROUND MEMBER UTILITIES

ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS.  
THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM  
THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE  
CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE,  
MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES  
PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

### BASIS OF BEARING AND BENCHMARK:

BASIS OF BEARING: BEARINGS ARE BASED UPON AN ASSUMED BEARING OF N89°30'00"E  
FOR THE NORTHERLY LIMITS OF THE SUBJECT PROPERTY.

BENCHMARK: ELEVATIONS ARE BASED UPON THE NATIONAL GEODETIC SURVEY (N.G.S.)  
BENCHMARK STATION D-280.  
ELEVATION = 6625.21 FEET (N.A.V.D. 88)

EXISTING TOPOGRAPHY SHOWN WAS TAKEN FROM THE DESIGN SURVEY COMPLETED BY  
MERIDIAN SURVEYING AND DATED 11 OCTOBER 2017.

### SUBMITTALS / REVISIONS

1	SCHEMATIC DESIGN (NOT FOR CONSTRUCTION)	4/25/2022
2	DESIGN DEVELOPMENT (NOT FOR CONSTRUCTION)	5/19/2022
3	DEVELOPMENT PERMIT RESUBMITTAL (NO CONST.)	6/24/2022

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D2	Drainage Plan (Off-Site)

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LOT 3, PERRY SUBDIVISION PHASE 2  
EAGLE, COLORADO

YARNELL CONSULTING &  
CIVIL DESIGN, LLC  
P.O. BOX 3901 EAGLE, COLORADO 81631  
(970) 323-7008

THE DESIGNS SHOWN HEREIN INCLUDING  
ALL TECHNICAL DRAWINGS, GRAPHIC  
REPRESENTATION & MODELS THEREOF ARE  
PROPRIETARY AND CANNOT BE COPIED  
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IN WHOLE OR IN PART WITHOUT THE SOLE  
AND EXPRESS WRITTEN PERMISSION FROM  
YARNELL CONSULTING & CIVIL DESIGN, LLC.

PROJECT CONTACTS				
OWNER	JURISDICTION	ARCHITECT	CIVIL ENGINEER	LAND SURVEYOR
SON RAY, LLC P.O. BOX 4556 EAGLE, COLORADO 81631 970-328-7751	TOWN OF EAGLE 200 BROADWAY EAGLE, COLORADO 81631 970-445-0847	MARTIN MANLEY ARCHITECTS P.O. BOX 1587 EAGLE, COLORADO 81631 970-328-1299	YARNELL CONSULTING & CIVIL DESIGN P.O. BOX 3901 EAGLE, COLORADO 81631-3901 970-323-7008	MERIDIAN SURVEYING P.O. BOX 2225 GYPSUM, COLORADO 81637 970-524-0963
RYAN SMITH	DENNIS WIKE	JEFF MANLEY	JUSTIN YARNELL	ERON WATTS

UTILITY CONTACTS			
NATURAL GAS	ELECTRIC	FIBER OPTIC	WATER & SANITATION
BLACK HILLS ENERGY 96 COUNTY ROAD 160, GLENWOOD SPRINGS, CO 81601 970-928-0407	HOLY CROSS ENERGY P.O. BOX 2150 GLENWOOD SPRINGS, CO 81602 970-947-5439	CENTURY LINK P.O. BOX 0570 EAGLE, COLORADO 81631 970-328-8290	TOWN OF EAGLE 200 BROADWAY EAGLE, COLORADO 81631 970-445-0847
JASON COX	KEITH HERNANDEZ	JASON SHARPE	DENNIS WIKE

GENERAL NOTES:

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAGLE "PUBLIC WORKS MANUAL." ITEMS NOT COVERED WITHIN SAID MANUAL SHALL BE IN ACCORDANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND M-STANDARDS.
- ALL STREETS, WATER UTILITY, STORM SEWER, AND SANITARY SEWER UTILITY CONSTRUCTION SHALL BE SUBJECT TO TOWN OF EAGLE INSPECTION.
- THE CONTRACTOR SHALL HAVE ONE [1] SIGNED COPY OF PLANS APPROVED BY THE TOWN OF EAGLE AND ONE [1] COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
- PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CIVIL ENGINEER-OF-RECORD TEST REPORTS, SHOP DRAWINGS, CUT SHEETS, AND ANY OTHER DOCUMENTATION NECESSARY TO CLEARLY INDICATE THE MATERIALS AND COMPONENTS SLATED FOR USE ON THE PROJECT.
- CONTRACTOR SHALL NOTIFY THE ENGINEER, OWNER, AND THE TOWN OF EAGLE INSPECTOR 48 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE TOWN OF EAGLE INSPECTOR 24 HOURS PRIOR TO START OF WORK.
- ALL RANGE POINTS, TIES, BENCHMARKS, OR OTHER SURVEY CONTROL POINTS, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION, MUST BE PRESERVED. ANYTHING DAMAGED OR DESTROYED MUST BE RESTORED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF COLORADO, AT NO COST TO THE OWNER.
- ALL ELEVATIONS ARE ON UNITED STATES GEOLOGICAL SURVEY (USGS) VERTICAL DATUM -- NOT ARCHITECTURAL. SPOT ELEVATIONS ARE AROUND ELEVATION 6700. THEREFORE, SPOT ELEVATION 95.26 CORRESPONDS TO USGS ELEVATION 6695.26 WHILE SPOT ELEVATION 05.35 CORRESPONDS TO USGS ELEVATION 6705.35.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING, BUT NOT LIMITED TO, SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK, TRENCH EXCAVATION AND SHORING, TRAFFIC CONTROL, AND SECURITY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE TOWN/OWNER/ENGINEER CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION." THESE REGULATIONS ARE DESCRIBED IN SUBPART P, PART 1926 OF THE CODE OF FEDERAL REGULATIONS. SHEETING AND SHORING SHALL BE UTILIZED WHERE NECESSARY TO PREVENT ANY EXCESSIVE WIDENING OR SLOUGHING OF THE TRENCH WHICH MAY BE DEDIMENTAL TO HUMAN SAFETY, TO THE PIPE BEING PLACED, OR TO ANY EXISTING SITE IMPROVEMENTS OR STRUCTURES. THE CONTRACTOR MAY BE REQUIRED TO USE AN APPROVED PILING INSTEAD OF SHEETING AND SHORING.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR THE SCOPE OF WORK.
- AT LEAST FIVE [5] WORKING DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION, A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE TOWN OF EAGLE INSPECTOR. THE TRAFFIC CONTROL PLAN SHALL BE PREPARED BY A CERTIFIED TRAFFIC CONTROL SUPERVISOR AND SHALL BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD). NO WORK SHALL BEGIN UNTIL ALL TRAFFIC CONTROL DEVICES HAVE BEEN PLACED IN ACCORDANCE WITH THE PLAN. THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN THE TRAFFIC CONTROL DEVICES FOR THE ENTIRE DURATION OF THE PROJECT OR UNTIL THE ROADWAY HAS BEEN OPENED AND THE PERMANENT TRAFFIC CONTROL DEVICES HAVE BEEN INSTALLED.
- ALL TRENCH BACKFILL AND SUBGRADE PREPARATION SHALL BE TESTED TO ENSURE COMPLIANCE WITH TOWN OF EAGLE STANDARDS AND SHALL BE TESTED AT TOWN OF EAGLE-REQUIRED FREQUENCIES BY A TOWN OF EAGLE-APPROVED PRIVATE SOILS TESTING FIRM. TEST RESULTS SHALL BE SUBMITTED TO, REVIEWED, AND APPROVED BY, THE TOWN OF EAGLE ENGINEERING DEPARTMENT PRIOR TO INSTALLING BASE COURSE, ASPHALT OR CONCRETE ON PREPARED SUBGRADE. ALL BASE COURSE DENSITY SHALL ALSO BE TESTED BY THE PRIVATE SOILS FIRM AT TOWN OF EAGLE-REQUIRED FREQUENCIES TO ENSURE COMPLIANCE WITH TOWN OF EAGLE REQUIREMENTS. BASE COURSE TEST RESULTS SHALL ALSO BE APPROVED BY THE TOWN OF EAGLE ENGINEERING DEPARTMENT PRIOR TO INSTALLING PAVEMENT. ALL CONCRETE AND ASPHALT PLACED SHALL BE TESTED IN ACCORDANCE WITH TOWN OF EAGLE MINIMUM MATERIALS TESTING STANDARDS. TEST RESULTS SHALL BE REVIEWED AND APPROVED BY THE TOWN OF EAGLE ENGINEERING DEPARTMENT PRIOR TO INITIATION OF THE REQUIRED TWO-YEAR WARRANTY PERIOD.
- CONTRACTOR SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL HEALTH AND SAFETY RULES AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED. REPAIR OF DAMAGED UTILITIES SHALL BE AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO UNKNOWN UNDERGROUND UTILITIES.
- EXISTING FENCES, TREES, SIDEWALKS, CURB/GUTTER, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING REASONABLE ACCESS TO AND FROM ALL OF THE ADJACENT PROPERTIES THROUGHOUT THE COURSE OF THE WORK. THE CONTRACTOR SHALL BE REQUIRED TO MEET (INDIVIDUALLY OR COLLECTIVELY) WITH ALL ADJACENT PROPERTY OWNERS WHOSE DRIVEWAY ACCESS WILL BE AFFECTED BY THE WORK. AS CONSTRUCTION CONDITIONS CHANGE AND THE WORK PROGRESSES, THE CONTRACTOR SHALL BE REQUIRED TO PERIODICALLY UPDATE THOSE PROPERTY OWNERS SO THAT THEY ARE KEPT INFORMED ABOUT THEIR ACCESS.
- CONTRACTOR SHALL OBTAIN A STORMWATER CONSTRUCTION PERMIT FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION, PRIOR TO CLEARING, GRADING, OR EXCAVATING A SITE OF ONE [1] ACRE OR MORE. A COPY OF THE APPROVED PERMIT MUST BE SUBMITTED TO THE TOWN OF EAGLE ENGINEERING DEPARTMENT PRIOR TO THE START OF CLEARING, GRADING, OR EXCAVATING OF THE SITE. A COPY OF THE APPROVED PERMIT MUST ALSO BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN A COLORADO STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) FOR ALL AREAS WHERE DEWATERING IS REQUIRED AND WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH, OR ANY WATERS OF THE UNITED STATES. A COPY OF THE APPROVED PERMIT MUST BE SUBMITTED TO THE TOWN OF EAGLE ENGINEERING DEPARTMENT PRIOR TO THE START OF ANY DEWATERING. A COPY OF THE APPROVED PERMIT MUST ALSO BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STORM RUNOFF AND ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPIED, REMOVED, AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. NO CONCRETE SHALL BE PLACED WHERE GROUNDWATER IS VISIBLE OR UNTIL THE GROUNDWATER TABLE HAS BEEN LOWERED BELOW THE PROPOSED IMPROVEMENTS. ANY UNSTABLE AREAS, AS A RESULT OF GROUNDWATER, ENCOUNTERED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE STABILIZED AS AGREED UPON BY THE CONTRACTOR, THE TOWN OF EAGLE INSPECTOR, AND THE GEOTECHNICAL ENGINEER AT THE TIME OF OCCURRENCE.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD LOCATING AND VERIFYING ELEVATIONS OF ALL EXISTING UTILITIES (STORM SEWER, SANITARY, WATER, NATURAL GAS, ELECTRIC, TELEPHONE, FIBER OPTICS, CABLE TELEVISION, ETC.) AND FINISHED GRADES AT THE POINTS OF CONNECTION SHOWN ON THE PLANS, AND AT ANY UTILITY CROSSINGS. IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN PRIOR TO INSTALLING ANY OF THE NEW IMPROVEMENTS.

ABBREVIATIONS:

APPROX	APPROXIMATE
ARCH	ARCHITECT
ASSM	ASSEMBLY
BLDG	BUILDING
BM	BENCHMARK
BOC	BACK OF CURB
BOW	BACK OF WALK
CIP	CAST IRON PIPE
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC	CONCRETE
CONT	CONTOUR
COR	CORNER
DEMO	DEMOLITION
DIA OR Ø	DIAMETER
DIM	DIMENSION
DIP	DUCTILE IRON PIPE
E	ELECTRICAL LINE
EL	ELEVATION
ELEC	ELECTRICAL
ENG	ENGINEER
ESMT	EASEMENT
EXIST	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FFE	FINISHED FLOOR ELEVATION
FGW	FINISHED GRADE AT WALL
FHY	FIRE HYDRANT
FL	FLOW LINE
FT	FOOT
GB	GRADE BREAK
GR	GRATE (AREA OR VALLEY INLETS)
GV	GATE VALVE
HERCP	HORIZONTAL ELLIPTICAL REINFORCED CONCRETE PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HORZ	HORIZONTAL
HP	HIGH POINT
INV.	INVERT
LF	LINEAL FEET
LP	LOW POINT
MAX	MAXIMUM
MECH	MECHANICAL
MH	MANHOLE
MIN	MINIMUM
N.I.C.	NOT IN CONTRACT
NTS	NOT TO SCALE
OHE	OVERHEAD ELECTRICAL
PC	POINT OF HORIZONTAL TANGENCY
PCC	POINT OF COMPOUND CURVE
PERF	PERFORATED
PERIM	PERIMETER
PERP	PERPENDICULAR
PI	POINT OF HORIZONTAL INTERSECTION
PIV	PRESSURE INDICATOR VALVE
PL	PROPERTY LINE
PLBG	PLUMBING
POC	POINT ON CURVE
POT	POINT OF TANGENT
PRC	POINT OF REVERSE CURVE
PRKG	PARKING
PROP	PROPOSED
PRV	PRESSURE REDUCING VALVE
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVMT	PAVEMENT
PVT	POINT OF VERTICAL TANGENCY
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
ROW	RIGHT OF WAY
SSWR	SANITARY SEWER
SEC	SECTION
SF	SQUARE FOOT
STA	STATION
STRM	STORM SEWER
STRUC	STRUCTURAL
SW	SIDEWALK
SY	SQUARE YARD
TELE	TELEPHONE
TB	THRUST BLOCK
TEMP	TEMPORARY
TOC	TOP OF CURB
TOW <sub>1</sub>	TOP OF WALL <sub>1</sub>
UD	UNDER DRAIN
UG	UNDERGROUND
VERT	VERTICAL
VC	VERTICAL CURVE
W	WATER LINE

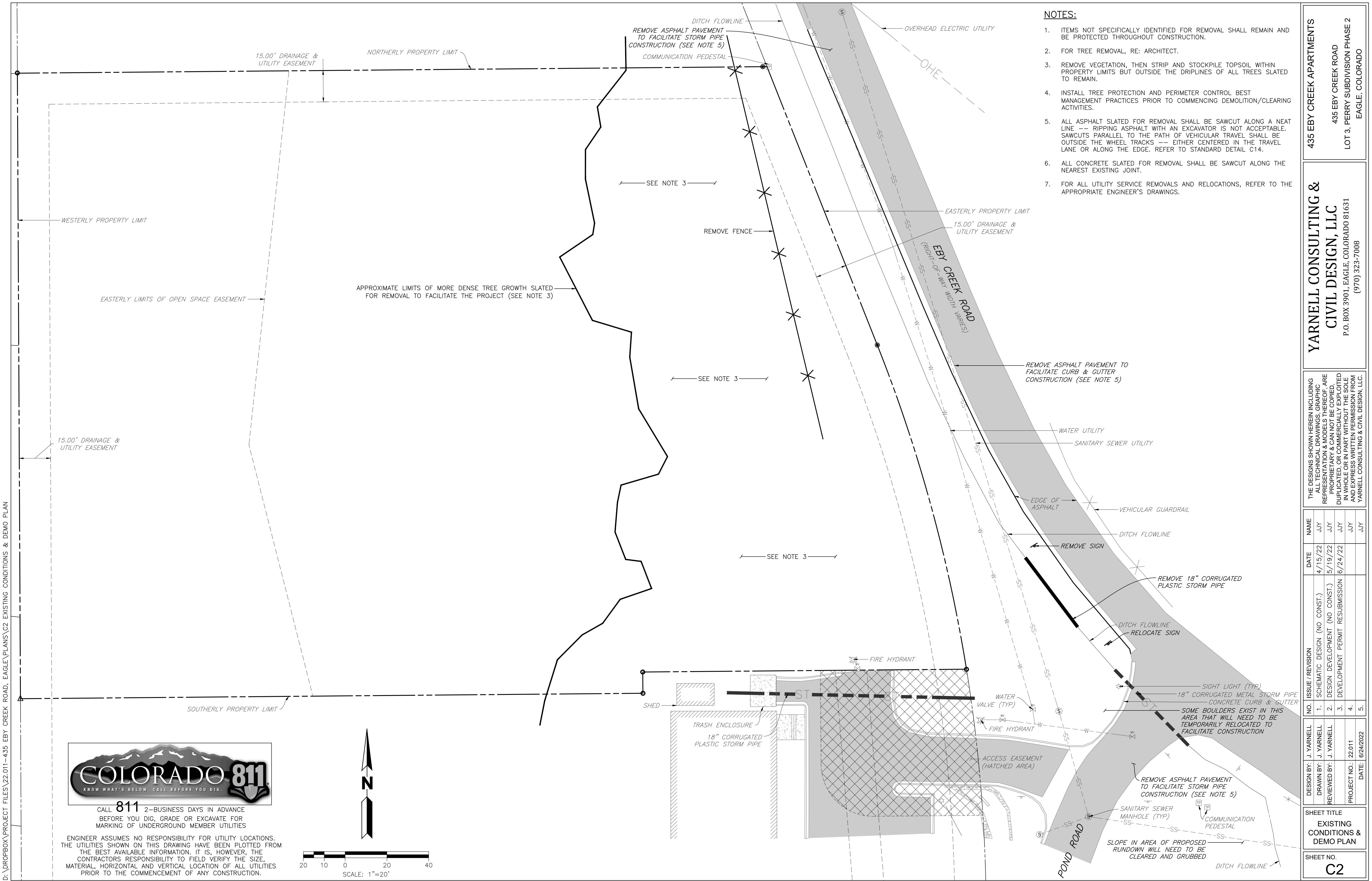
NOTE: TOW<sub>1</sub> SHALL BE TOP OF WATER ON UTILITY SHEETS ONLY AND TOP OF WALL ON ALL OTHER SHEETS.

435 EBY CREEK APARTMENTS	435 EBY CREEK ROAD
LOT 3, PERRY SUBDIVISION PHASE 2	EAGLE, COLORADO

YARNELL CONSULTING & CIVIL DESIGN, LLC	P.O. BOX 3901 EAGLE, COLORADO 81631
(970) 323-7008	

SHEET TITLE	
GENERAL NOTES &	
ABBREVIATIONS	

SHEET NO.	C1.1
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EROSION CONTROL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, AND IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION TO PREVENT DAMAGING FLOWS ON THE SITE AND THE WATERSHED BELOW THE SITE. CONTROL SYSTEMS SHALL BE INSTALLED PRIOR TO STRIPPING OF NATIVE VEGETATIVE COVER AND AS GRADING PROGRESSES. CONDITIONS IN THE FIELD MAY WARRANT EROSION CONTROL MEASURES IN ADDITION TO WHAT IS SHOWN ON THESE PLANS AND WITHIN THE NARRATIVE (IF APPLICABLE). THE APPROACH MAY BE MODIFIED WITH APPROPRIATE APPROVALS AS FIELD CONDITIONS WARRANT.
- NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
- TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICAL ON THE SITE FOR USE ON AREAS TO BE REVEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSION ELEMENTS.
- AT ALL TIMES, THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN FUGITIVE DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE CONTRACTOR SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.
- PERMANENT OR TEMPORARY SOIL-STABILIZATION MEASURES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 30 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. UNLESS SPECIFIED OTHERWISE, TEMPORARY VEGETATION SHALL BE INSTALLED ON ALL DISTURBED AREAS WHERE PERMANENT SURFACE IMPROVEMENTS ARE NOT SCHEDULED FOR INSTALLATION WITHIN THREE MONTHS. TEMPORARY VEGETATION SHALL BE A VIGOROUS, DROUGHT-TOLERANT, NATIVE SPECIES MIX. PROJECT SCHEDULING SHOULD TAKE ADVANTAGE OF SPRING OR FALL PLANTING SEASONS FOR NATURAL GERMINATION, BUT SEDED AREAS SHALL BE IRRIGATED, IF CONDITIONS MERIT. REFER TO THE LANDSCAPE PLAN FOR FINAL LANDSCAPING.
- TEMPORARY FENCES SHALL BE INSTALLED ALONG ALL BOUNDARIES OF THE CONSTRUCTION LIMITS OR PROPERTY LINES TO PREVENT GRADING ON PROPERTY NOT OWNED BY THE OWNER/DEVELOPER. IN ADDITION, THE TOWN OF EAGLE INSPECTOR MAY REQUIRE ADDITIONAL TEMPORARY FENCES IF FIELD CONDITIONS WARRANT.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM LEAVING THE SITE DURING ALL DEMOLITION, EXCAVATION, TRENCHING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, ROADWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN INADVERTENTLY DISCHARGED TO, OR ACCUMULATED IN, THE FLOWLINES AND PUBLIC RIGHT-OF-WAY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT.
- THE GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC ROADWAYS.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL CONTROL MEASURES WEEKLY AND AFTER PRECIPITATION EVENTS WHICH GENERATE RUNOFF. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IN A TIMELY MANNER. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A CONTROL MEASURE BEFORE THE SEDIMENT LEVEL REACHES ONE-HALF THE HEIGHT OF THE CONTROL MEASURE OR, AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE CONTROL MEASURE.
- WATER USED IN THE CLEANING OF CONCRETE TRUCK DELIVERY CHUTES SHALL BE DISCHARGED INTO A PREDEFINED, BERMED CONTAINMENT AREA ON THE JOB SITE. THE REQUIRED CONTAINMENT AREA IS TO BE BERMED SO THAT WASH WATER IS TOTALLY CONTAINED. WASH WATER DISCHARGED INTO THE CONTAINMENT AREA SHALL NOT BE ALLOWED TO INFILTRATE BUT MAY EVAPORATE. DRIED CEMENT WASTE SHALL BE REMOVED FROM THE CONTAINMENT AREA AND PROPERLY DISPOSED OF. SHOULD A PREDEFINED, BERMED CONTAINMENT AREA NOT BE AVAILABLE DUE TO THE PROJECT SIZE, OR LACK OF AN AREA WITH A SUITABLE GROUND SURFACE FOR ESTABLISHING A CONTAINMENT AREA, PROPER DISPOSAL OF READY-MIX WASH-OUT AND RINSE-OFF WATER AT THE JOB SITE SHALL CONFORM TO THE APPROVED TECHNIQUES AND PRACTICES IDENTIFIED IN THE COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT'S TRAINING VIDEO ENTITLED "BUILDING FOR A CLEANER ENVIRONMENT, READY MIX WASHOUT TRAINING", AND ITS ACCOMPANYING MANUAL ENTITLED, "READY MIX WASHOUT GUIDEBOOK, VEHICLE AND EQUIPMENT WASHOUT AT CONSTRUCTION SITES." THE DIRECT OR INDIRECT DISCHARGE OF WATER CONTAINING WASTE CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED. INFORMATION ABOUT, OR COPIES OF THE VIDEO AND TRAINING MANUAL ARE AVAILABLE FROM THE WATER QUALITY CONTROL DIVISION, COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT, 4300 CHERRY CREEK DRIVE SOUTH, DENVER, COLORADO 80222-1530, 303-692-3555.
- THE CONTRACTOR SHALL PROTECT THE WATERSHED AND/OR ALL STORM SEWER FACILITIES ADJACENT TO ANY LOCATION WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING, OR ABRASIVE WATER JET CUTTING ARE TO TAKE PLACE. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE PRODUCTS GENERATED BY SAID CUTTING OPERATIONS ON A DAILY BASIS. THE DISCHARGE OF ANY WATER CONTAMINATED BY WASTE PRODUCTS FROM CUTTING OPERATIONS TO THE WATERSHED AND/OR STORM SEWER SYSTEM IS PROHIBITED.
- PAVED SURFACES WHICH ARE ADJACENT TO CONSTRUCTION SITES SHALL BE SWEEPED IN A TIMELY MANNER WHEN SEDIMENT AND OTHER MATERIALS ARE TRACKED OR DISCHARGED ON TO THEM. EITHER SWEEPING BY HAND OR USE OF STREET SWEEPERS IS ACCEPTABLE. STREET SWEEPERS USING WATER WHILE SWEEPING IS PREFERRED IN ORDER TO MINIMIZE DUST. FLUSHING OFF PAVED SURFACES WITH WATER IS PROHIBITED.
- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON-SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICAL.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TACKING, OR WIND.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED CONTROL AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPERCHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
- THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.

435 EBY CREEK APARTMENTS  
435 EBY CREEK ROAD  
LOT 3, PERRY SUBDIVISION PHASE 2  
EAGLE, COLORADO

YARNELL CONSULTING &  
CIVIL DESIGN, LLC  
P.O. BOX 3901 EAGLE, COLORADO 81631  
(970) 323-7008

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DESIGN BY:	J. YARNELL	NO. / ISSUE / REVISION	DATE	NAME
DRAWN BY:	J. YARNELL	1. SCHEMATIC DESIGN (NO CONST.)	4/15/22	JY
REVIEWED BY:	J. YARNELL	2. DESIGN DEVELOPMENT (NO CONST.)	5/19/22	JY
PROJECT NO.:	22011	3. DEVELOPMENT PERMIT RESUBMISSION	6/24/22	JY
DATE:	6/24/2022	4.	JY	JY
		5.		

SHEET TITLE  
EROSION CONTROL NOTES  
SHEET NO.  
C4.1





435 EBY CREEK ROAD  
LOT 3, PERRY SUBDIVISION PHASE 2  
EAGLE, COLORADO

YARNELL CONSULTING &  
CIVIL DESIGN, LLC  
P.O. BOX 3901 EAGLE, COLORADO 81631  
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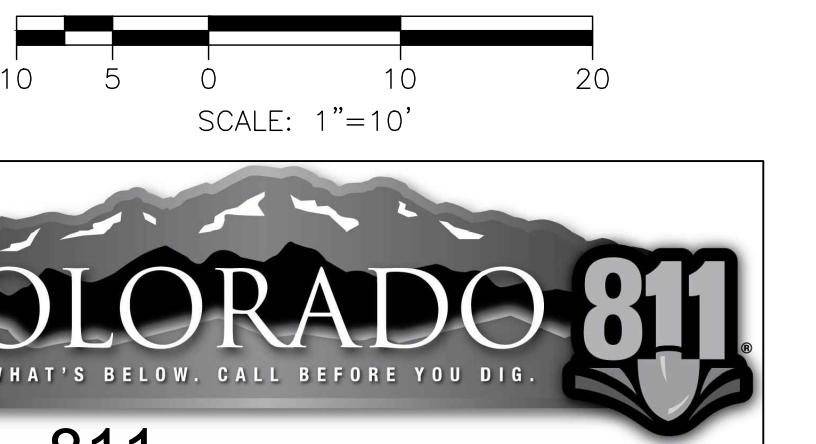
DESIGN BY: J. YARNELL  
DRAWN BY: J. YARNELL  
REVIEWED BY: J. YARNELL  
PROJECT NO.: 22011  
DATE: 6/24/2022  
NO. ISSUE / REVISION  
1. SCHEMATIC DESIGN (NO CONST.)  
2. DESIGN DEVELOPMENT (NO CONST.)  
3. DEVELOPMENT PERMIT RESUBMISSION  
4.  
5.

NAME  
J.Y.  
J.Y.  
J.Y.  
J.Y.  
J.Y.

DATE  
4/15/22  
5/19/22  
6/24/22  
J.Y.  
J.Y.

SHEET TITLE  
DETAILED  
GRADING PLAN

SHEET NO.  
C5.1



CALL 811 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE OR EXCAVATE FOR  
MARKING OF UNDERGROUND MEMBER UTILITIES

ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS.  
THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM  
THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE  
CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE,  
MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES  
PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

SCALE: 1"=10'

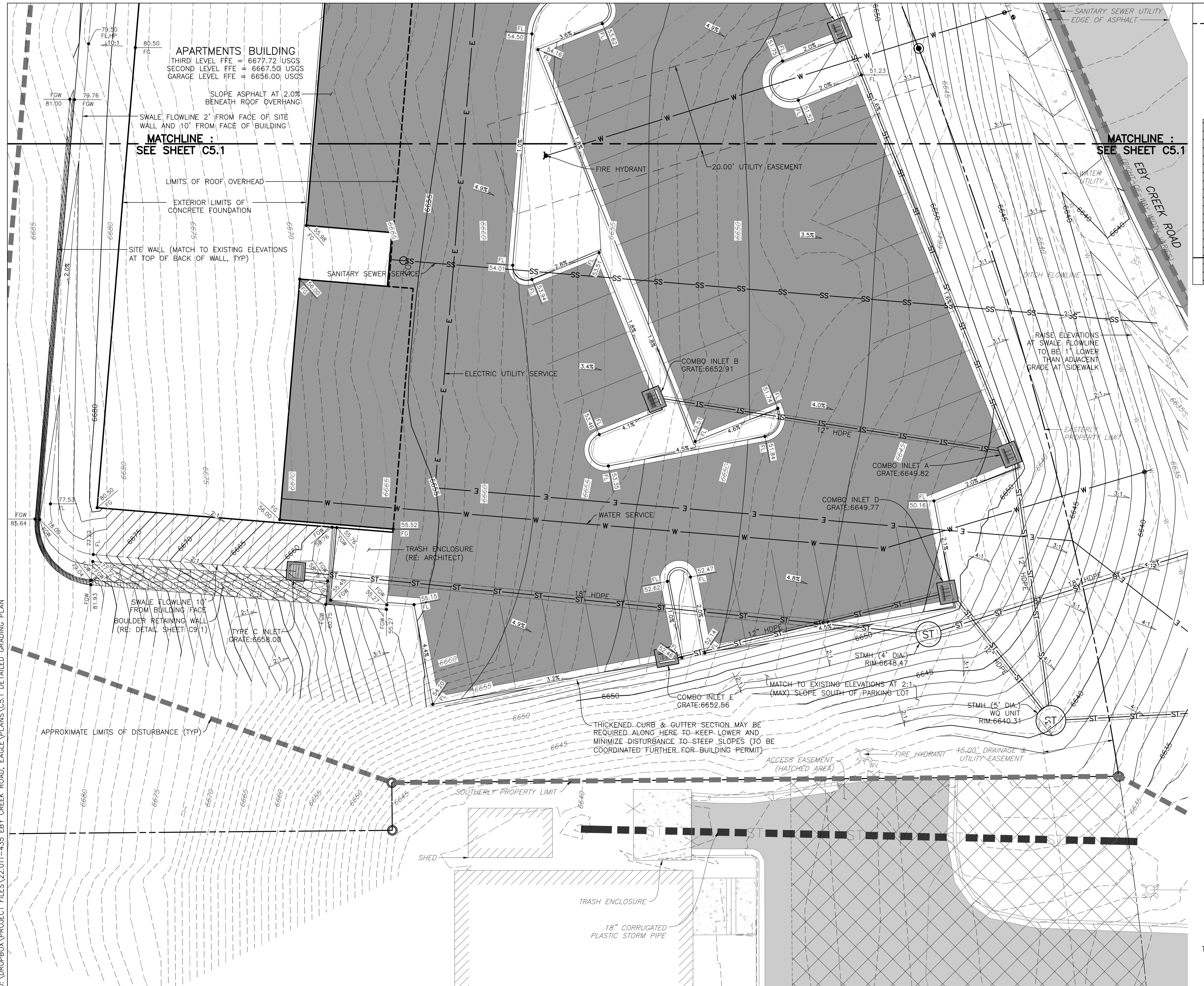
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SCALE: 1"=60'

10 5 0 10 20

KEYMAP  
SCALE: 1"=60'

FOR GRADING NOTES, RE: SHEET C5.3



CALL **811** 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE OR EXCAVATE FOR

## MARKING OF UNDERGROUND MEMBER UTILITIES

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PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

435 EBY CREEK ROAD  
PERRY SUBDIVISION PHASE 2  
EAGLE, COLORADO

**CIVIL DESIGN, LLC**  
P.O. BOX 3901, EAGLE, COLORADO 81631  
(970) 323-7008

ALL TECHNICAL DRAWINGS, GRAPHS, INC.  
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SET NO.  
**C5.2**

GRADING NOTES:

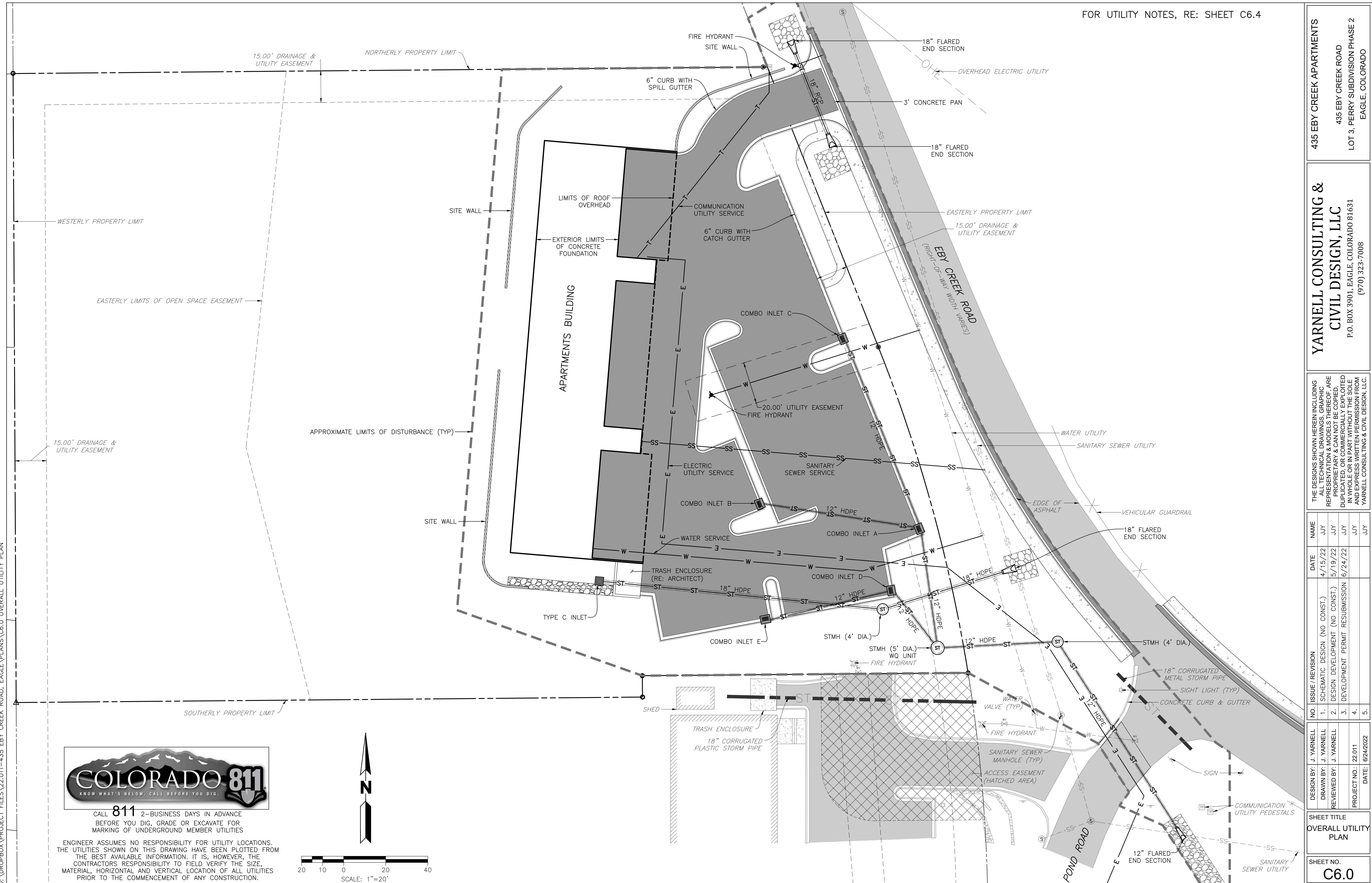
1. ALL SITE GRADING, EXCAVATION, EMBANKMENT, AND COMPACTION SHALL CONFORM TO THE RECOMMENDATIONS OF THE LATEST GEOTECHNICAL INVESTIGATION FOR THIS PROPERTY AND SHALL FURTHER BE IN CONFORMANCE WITH THE TOWN OF EAGLE "PUBLIC WORKS MANUAL."
2. THE GRADING DESIGN SHOWN HEREON HAS BEEN PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF FHA AND HUD CRITERIA AND TO THE GREATEST EXTENT POSSIBLE, IN ACCORDANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS FOR THIS PROJECT. VARIOUS CONFLICTING DESIGN CRITERIA MAKE TOTAL COMPLIANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS DIFFICULT [ADA, SITE PLAN LAYOUT, ETC.]., THUS, THESE PLANS HAVE BEEN PROVIDED TO THE GEOTECHNICAL ENGINEER FOR REVIEW AND COMMENT RELATIVE TO COMPLIANCE WITH THEIR RECOMMENDATIONS. IF THE GEOTECHNICAL ENGINEER DETERMINES THE DESIGN MAY COMPROMISE THE ACCEPTABLE PERFORMANCE OF THE STRUCTURES AND/OR PAVEMENTS, UPON RECEIPT OF THE WRITTEN COMMENTS FROM THE GEOTECHNICAL ENGINEER, COMMENTS WILL BE DISCUSSED AND RESOLVED WITH THE OWNER AND THE GEOTECHNICAL ENGINEER, AND WILL BE ADDRESSED IN A MANNER AS DIRECTED BY THE OWNER.
3. IF THE OWNER ELECTS TO UTILIZE FOUNDATION SYSTEMS AND/OR PAVEMENT DESIGNS THAT REQUIRE SPECIAL CONSIDERATION FOR CONTROL OF SUBGRADE MOISTURE, SPECIAL PRECAUTIONS AND EXTRAORDINARY DESIGN PARAMETERS SHALL BE THE RESPONSIBILITY OF THE GEOTECHNICAL ENGINEER IN CONCERT WITH THE FOUNDATION/PAVEMENT DESIGN. IT IS ACKNOWLEDGED THAT VARIOUS FOUNDATION SYSTEMS REQUIRE DIFFERENT LEVELS OF SUBGRADE PREPARATION, DRAINAGE DESIGNS, AND/OR SUBSURFACE DRAINAGE CRITERIA THAT ARE BEYOND THE PURVIEW AND RESPONSIBILITY OF YARNELL CONSULTING & CIVIL DESIGN, LLC, AND THE GRADING PLANS SHOWN HEREON. THE INCORPORATION AND EXECUTION OF THESE SPECIAL PRECAUTIONS SHALL OCCUR IN CLOSE COORDINATION WITH THE GEOTECHNICAL ENGINEER'S DESIGN AND CONSTRUCTION OBSERVATIONS.
4. GRADING SHOWN HEREON IS DESIGNED TO ADDRESS PROPER DRAINAGE CONSIDERATIONS FOR THE PROTECTION OF THE STRUCTURES AND IMPROVEMENTS WITHIN THE PROJECT. THE COORDINATION OF THIS DESIGN AND COMPLIANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATION WITH THE LANDSCAPE ARCHITECT'S DESIGN, IS THE RESPONSIBILITY OF THE OWNER AND/OR DEVELOPER. YARNELL CONSULTING & CIVIL DESIGN, LLC HIGHLY RECOMMENDS THAT THE LANDSCAPE IMPROVEMENTS BE REVIEWED AND APPROVED FOR COMPLIANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
5. EXISTING ELEVATIONS SHOWN ON THIS DRAWING HAVE BEEN DEPICTED FROM BEST AVAILABLE INFORMATION AND ARE SHOWN TO THE EXTENT KNOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING GRADE CONDITIONS AT THE LIMITS OF CONSTRUCTION AND AT LOCATIONS THAT INTERFACE WITH EXISTING OR PROPOSED BUILDINGS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT CONTRADICT THE ENGINEER'S INTENT FOR DRAINAGE PATTERNS, MAXIMUM AND MINIMUM SLOPES, AND PROPOSED ELEVATIONS AS SHOWN ON THE PLAN. THE ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.
6. PROPOSED CONTOURS AND SPOT ELEVATIONS AS SHOWN HEREIN ARE DEFINED AS FINISHED ELEVATION AFTER PAVING, LANDSCAPING, ETC. CONTRACTOR SHALL COORDINATE WITH GEOTECH FOR PAVEMENT THICKNESS AND LANDSCAPE FOR THICKNESS OF TOPSOIL, SOD AND LANDSCAPE MATERIALS.

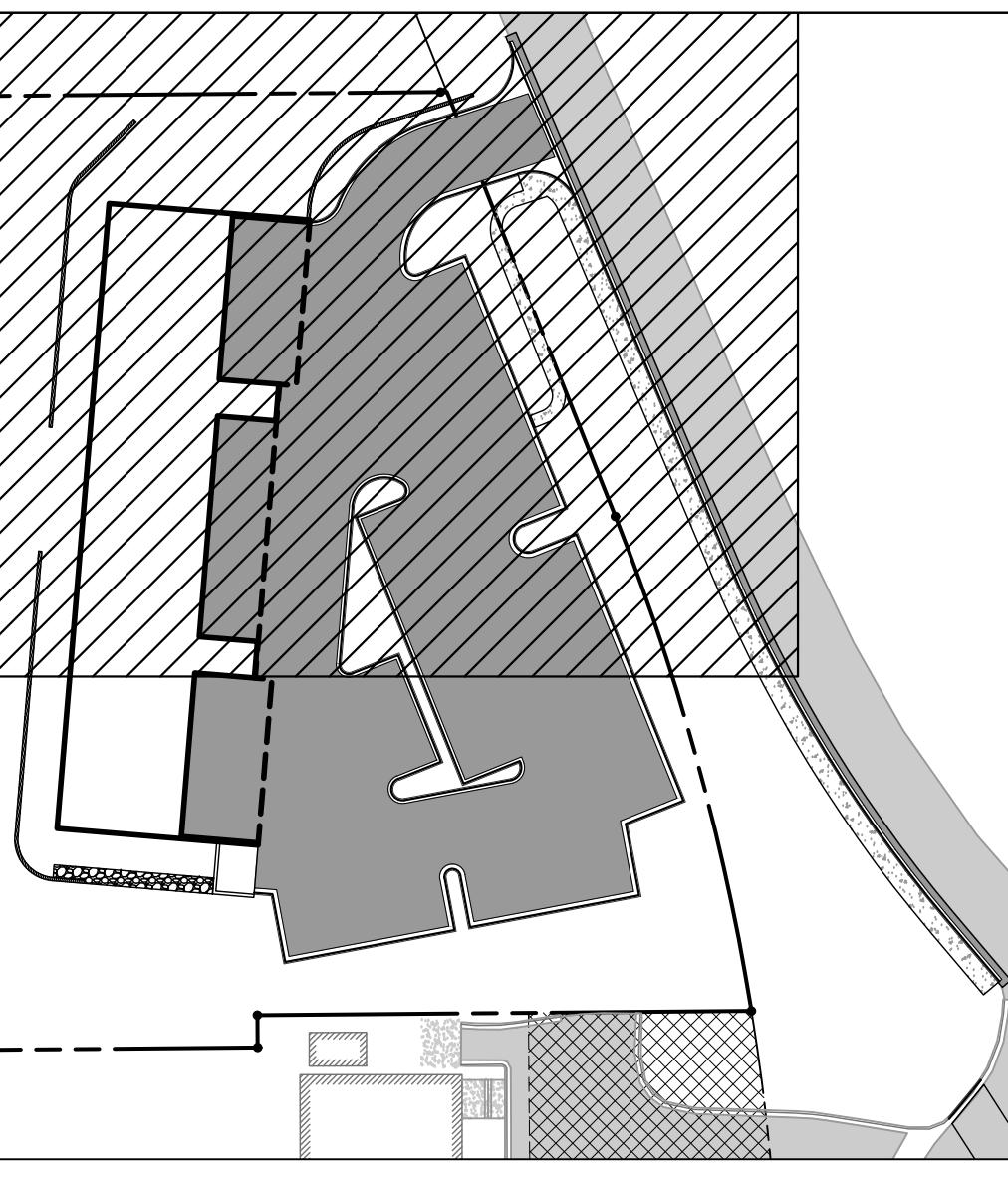
ALL SPOTS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. FG = FINISHED GRADE, FF = FINISH FLOOR, TOF = TOP OF FOUNDATION, HP = HIGH POINT, LP = LOW POINT, TOW = TOP OF WALL [FINISHED GRADE AT BACK OF WALL], BOW = BOTTOM OF WALL [FINISHED GRADE AT FACE OF WALL], GB = GRADE BREAK, FL = FLOWLINE, TOC = TOP OF CURB.

7. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL WALKWAYS SHALL BE CONSTRUCTED WITH AN ABSOLUTE MAXIMUM CROSS SLOPE OF 1.8% AND RUNNING SLOPE OF 4.9%.
8. POSITIVE DRAINAGE MUST BE PROVIDED FROM ALL STRUCTURES. UNLESS SPECIFICALLY NOTED OTHERWISE, ENSURE 2.0% ON HARDCAPE AND 10:1 [H:V] FOR 10 FEET ON SOFTSCAPE.
9. ALL ISLANDS ARE TO BE GRADED SUCH THAT THERE IS A POSITIVE DRAINAGE TO ADJACENT CURB AND GUTTER.
10. TEMPORARY CUT/FILL SLOPES SHALL NOT EXCEED A STEEPNESS OF 1:1 (H:V). PERMANENT SLOPES SHALL NOT EXCEED 3:1 (H:V) [UNLESS NOTED OTHERWISE] IN AREAS TO BE SEDED OR SODDED.
11. CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED MANHOLE RIMS, VALVE BOXES, ETC. TO MATCH FINAL GRADE.
12. YARNELL CONSULTING & CIVIL DESIGN, LLC IS PROVIDING LINE AND GRADE FOR THE RETAINING WALLS SHOWN HEREON. THE WALL LAYOUT/GRADING SHOWN IS PROVIDED TO THE WALL DESIGNER/CONTRACTOR AS A COURTESY. THE WALL DESIGNER SHALL TAKE INTO CONSIDERATION ALL JURISDICTIONAL REQUIREMENTS, GEOTECHNICAL INFORMATION AND REQUIREMENTS, AND GRADING/DRAINAGE PATTERNS IN THE DESIGN OF THE WALLS. THE RETAINING WALL DESIGN NEEDS TO ACCOMMODATE THE EFFECTS OF UNCONTROLLED RUNOFF FROM UP-GRADIENT OF THE WALLS, INCLUDING HYDROSTATIC PRESSURE AND EROSION.

DESIGN BY: J. YARNELL	NO. ISSUE / REVISION	DATE	NAME	THE DESIGNS SHOWN HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC, REPRESENTATION & MODELS THEREOF, ARE PROPRIETARY & CANNOT BE COPIED, DUPLICATED, OR COMMERCIAL EXPLOITED IN WHOLE OR IN PART, WITHOUT THE SOLE AND EXPRESS WRITTEN PERMIT FROM YARNELL CONSULTING & CIVIL DESIGN, LLC.
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REVIEWED BY: J. YARNELL	2. DESIGN DEVELOPMENT (NO CONST.)	5/19/22	J.Y	
PROJECT NO.: 22011	3. DEVELOPMENT PERMIT RESUBMISSION	6/24/22	J.Y	
DATE: 6/24/2022	4.		J.Y	
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SHEET TITLE
GRADING NOTES
SHEET NO.
C5.3



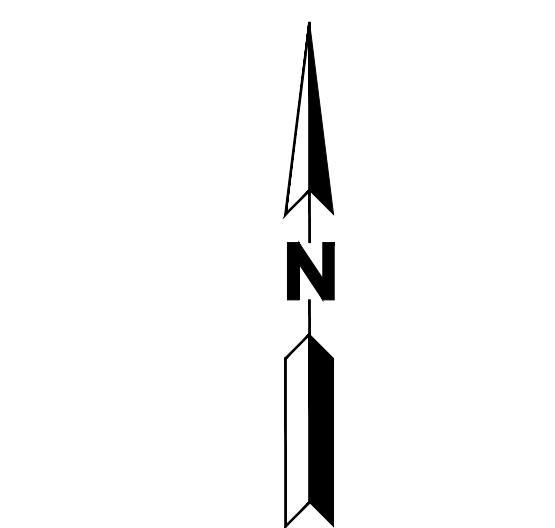


KEYMAP

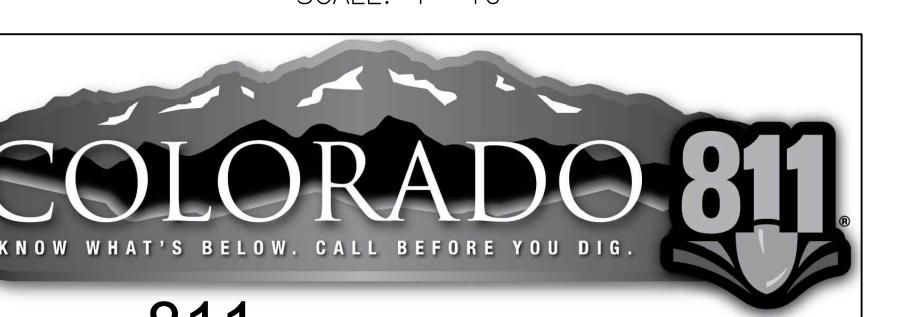
SCALE: 1"=60'

FOR UTILITY NOTES & CROSSINGS,  
RE: SHEET C6.4YARNELL CONSULTING &  
CIVIL DESIGN, LLCP.O. BOX 3901 EAGLE, COLORADO 81631  
(970) 323-7008435 EBY CREEK ROAD  
LOT 3, PERRY SUBDIVISION PHASE 2  
EAGLE, COLORADO

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SCALE: 1"=10'

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BEFORE YOU DIG, GRADE OR EXCAVATE FOR  
MARKING OF UNDERGROUND MEMBER UTILITIES

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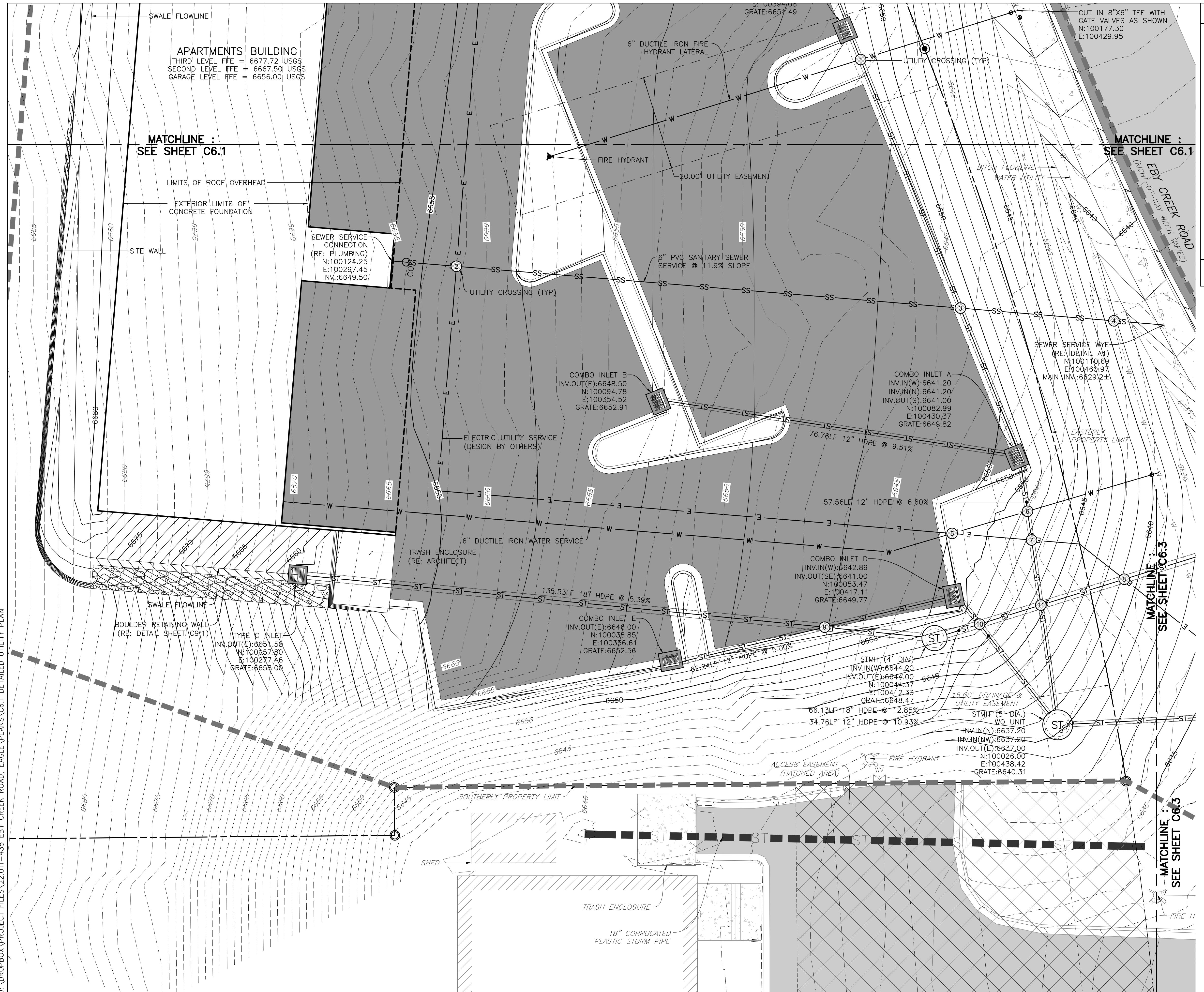
DESIGN BY: J. YARNELL  
DRAWN BY: J. YARNELL  
REVIEWED BY: J. YARNELL  
PROJECT NO.: 22011  
DATE: 6/24/2022

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SHEET TITLE  
DETAILED UTILITY PLAN

SHEET NO.  
C6.1



CALL **811** 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE OR EXCAVATE FOR

**MARKING OF UNDERGROUND MEMBER UTILITIES**  
**ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS**

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THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM

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CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.

**MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES  
PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION**

PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

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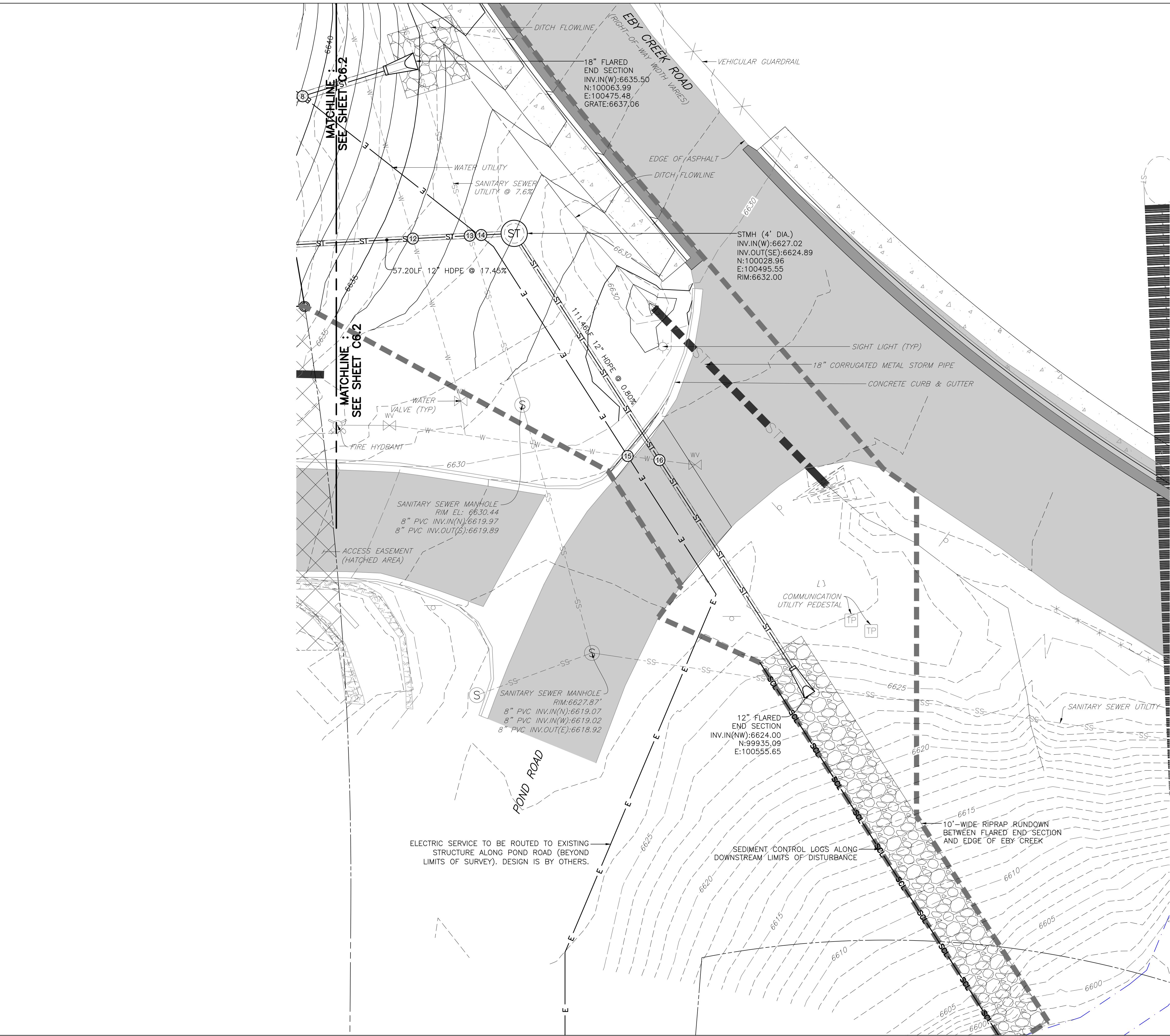
DES  
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REVIEW  
PROJECT

SHEET TITLE  
DETAILED  
UTILITY PLAN

## UTILITY PLAN

SHEET NO.  
**C6.2**

\_\_\_\_\_



<p><b>YARNELL CONSULTING &amp; CIVIL DESIGN, LLC</b> P.O. BOX 3901 EAGLE, COLORADO 81631 (970) 323-7008</p>	
<p>435 EBY CREEK ROAD LOT 3, PERRY SUBDIVISION PHASE 2 EAGLE, COLORADO</p>	
<p>THE DESIGNS SHOWN HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION &amp; MODELS THEREOF ARE PROPRIETARY &amp; CANNOT BE COPIED DUPLICATED, OR COMMERCIAL EXPLOITED IN WHOLE OR IN PART WITHOUT THE SOLE AND EXPRESS WRITTEN PERMISSION FROM YARNELL CONSULTING &amp; CIVIL DESIGN, LLC.</p>	<p>DESIGN BY: J. YARNELL DRAWN BY: J. YARNELL REVIEWED BY: J. YARNELL PROJECT NO.: 22011 DATE: 6/24/2022</p>
<p>NAME 1. SCHEMATIC DESIGN (NO CONST.) 2. DESIGN DEVELOPMENT (NO CONST.) 3. DEVELOPMENT PERMIT RESUBMISSION 4. 5.</p>	<p>DATE 4/15/22 5/19/22 6/24/22 J.J.Y J.J.Y J.J.Y J.J.Y J.J.Y</p>
<p>CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES</p> <p>ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.</p>	<p>SCALE: 1"=10' 10 5 0 10 20</p> <p><b>COLORADO 811</b> KNOW WHAT'S BELOW. CALL BEFORE YOU DIG.</p>
<p>SHEET TITLE DETAILED UTILITY PLAN</p>	<p>SHEET NO. <b>C6.3</b></p>

**UTILITY LOCATION NOTES:**

- THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO [UNCC] AT 1-800-922-1087, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL FIELD VERIFY SIZE, AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER, UTILITY PROVIDER(S), AND TOWN OF EAGLE INSPECTOR OF ANY DISCREPANCIES.
- YARNELL CONSULTING & CIVIL DESIGN, LLC (YCCD) ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION, [HORIZONTAL AND VERTICAL] OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION AND NOTIFY THE ENGINEER, UTILITY PROVIDER(S), AND TOWN OF EAGLE INSPECTOR OF ANY DISCREPANCIES.
- IN ACCORDANCE WITH NEW REGULATIONS, ALL UTILITIES CONSTRUCTED AFTER JANUARY 01, 2019 SHALL BE EQUIPPED WITH 10-GAUGE (MINIMUM) TRACER WIRE TAPE TO THE TOP OF THE PIPE.

**DRY UTILITY GENERAL NOTES:**

- ALL BENDS SHALL BE SWEEPING.
- FOR FINISHED GRADE AT PAD/PEDESTAL LOCATIONS, RE: DETAILED GRADING PLANS. RAISE PAD ELEVATION TO MEET JURISDICTIONAL STANDARD.

**ELECTRIC NOTES:**

- ELECTRIC DESIGN IS BY OTHERS. INTENT OF UTILITY PLAN(S) IS TO SHOW CONDUIT ROUTING AND EQUIPMENT PLACEMENT ON THE SITE FOR COORDINATION PURPOSES.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH HOLY CROSS ENERGY CONSTRUCTION STANDARDS (LATEST EDITION).
- ALL ELECTRIC CONDUITS SHALL BE 4" PVC.
- MAINTAIN REQUIRED SEPARATION BETWEEN JUNCTION BOXES, TRANSFORMERS, AND FIBER OPTIC PEDESTALS.

**FIBER OPTIC (F.O.) / TELEPHONE NOTES:**

- FIBER OPTIC DESIGN IS BY OTHERS. INTENT OF UTILITY PLANS IS TO SHOW CONDUIT ROUTING AND EQUIPMENT PLACEMENT ON THE SITE FOR COORDINATION PURPOSES.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CENTURYLINK CONSTRUCTION STANDARDS (LATEST EDITION).

**CABLE TELEVISION NOTES:**

- CABLE TELEVISION DESIGN IS BY OTHERS. INTENT OF UTILITY PLANS IS TO SHOW CONDUIT ROUTING AND EQUIPMENT PLACEMENT ON THE SITE FOR COORDINATION PURPOSES.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH COMCAST CONSTRUCTION STANDARDS (LATEST EDITION).

**NATURAL GAS NOTES:**

- NATURAL GAS DESIGN IS BY OTHERS. INTENT OF UTILITY PLANS IS TO SHOW PIPE ROUTING ON THE SITE FOR COORDINATION PURPOSES.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH BLACK HILLS ENERGY CONSTRUCTION STANDARDS (LATEST EDITION).

**SANITARY SEWER NOTES:**

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAGLE "PUBLIC WORKS MANUAL." ALL SANITARY SEWER CONSTRUCTION SHALL BE INSPECTED BY A TOWN OF EAGLE INSPECTOR.
- ALL SANITARY SEWER LINES SHALL BE SDR 35 POLYVINYL CHLORIDE [PVC] PIPE IN ACCORDANCE WITH ASTM D-3034.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SEWER POINTS OF CONNECTION PRIOR TO CONSTRUCTION OF ANY PROPOSED SANITARY SEWER.
- FOR ALL PIPE INSTALLATIONS, THE DEPTH OF COVER OVER THE PIPE MEASURED FROM OFFICIAL FINISHED/FINAL GRADE TO THE TOP OF THE PIPE SHALL BE A MINIMUM OF 4.5 FEET AND SHALL BE KNOWN AS THE COVER OVER THE PIPE.
- MAINTAIN A MINIMUM OF TEN [10] FEET HORIZONTAL SEPARATION BETWEEN THE OUTSIDE OF ALL SANITARY SEWER AND WATER MAINS AND SERVICES. REFER TO DETAIL B1.
- DISTANCES FOR SANITARY SEWER ARE THE HORIZONTAL DISTANCES BETWEEN THE CENTER OF STRUCTURES. THEREFORE, DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

- RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE, SUCH THAT THERE IS NO MORE THAN 18 INCHES FROM FINISHED GRADE TO THE TOP OF THE CONE SECTION. THE RIM SHALL BE LEFT 1/8-INCH TO 1/4-INCH BELOW FINISHED ASPHALT.

- CONTRACTOR TO COORDINATE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITY SERVICE CONNECTIONS TO BUILDING WITH MECHANICAL/PLUMBING PLANS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

- ALL SANITARY SEWERS SHALL BE BED PER THE TOWN OF EAGLE'S STANDARD TRENCHING AND BACKFILL DETAIL.

- BACKFILL IN PUBLIC RIGHT-OF-WAY MUST MEET THE REQUIREMENTS OF THE TOWN OF EAGLE. CONTRACTOR MUST OBTAIN A STREET CUT PERMIT AND NOTIFY THE TOWN OF EAGLE INSPECTOR 48-HOURS PRIOR TO START OF JOB.

- NO BACKFILL MATERIAL SHALL BE PLACED ABOVE THE SPRINGLINE OF THE PIPE UNTIL A TOWN OF EAGLE REPRESENTATIVE HAS AUTHORIZED BACKFILLING. IT SHALL BE THE DUTY OF THE CONTRACTOR TO NOTIFY THE TOWN OF EAGLE REPRESENTATIVE 48 HOURS IN ADVANCE OF PROPOSED BACKFILL OPERATIONS SO A TOWN OF EAGLE REPRESENTATIVE MAY INSPECT THE PIPE AND THE BEDDING PRIOR TO BACKFILLING.

- ALL SANITARY SEWER PIPES SHALL BE INSTALLED WITH INSULATED NO. 12 TYPE UF TAPE ON TOP OF PIPE AS A TRACER WIRE. TRACER WIRE IS TO BE LOOPED UP TO EACH STRUCTURE (MANHOLES AND/OR CLEANOUTS, AS APPLICABLE). A CATHODIC PROTECTION BOX IS TO BE SET ON THE RIGHT HAND SIDE OF EACH STRUCTURE. THE BOX SHALL HAVE A CAST IRON LOCKING LID WITH A THREE AND ONE-HALF INCH [3-1/2"] DIAMETER, EIGHTEEN INCH [18"] LONG PVC BODY. THE CAP WILL NEED A TWO-WIRE CONNECTION POST AS A MINIMUM.

- CONTRACTOR SHALL IMMEDIATELY REMOVE DEBRIS DEPOSITED INTO PUBLIC MANHOLES AND OTHER PUBLIC STRUCTURES TO ELIMINATE THE POSSIBILITY OF PROPERTY DAMAGE DUE TO THE DEBRIS CAUSING BACKUP INTO PRIVATE PROPERTIES. IF IT IS DETERMINED THAT DEBRIS CAUSED A BACKUP, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES.

- BACKFILL IN PUBLIC RIGHT-OF-WAY MUST MEET THE REQUIREMENTS OF THE TOWN OF EAGLE. CONTRACTOR MUST OBTAIN A STREET CUT PERMIT AND NOTIFY THE TOWN OF EAGLE INSPECTOR 48-HOURS PRIOR TO START OF JOB.

- NO TREES SHALL BE PLANTED WITHIN ANY SEWER EASEMENT OR WITHIN TEN [10] FEET OF ANY PUBLIC MANHOLES, OR PIPES.

- UNLESS NOTED OTHERWISE ON PLANS, INSTALL SIX INCH (6") SERVICE LINES AT 0.0104 FT/FT MINIMUM, 0.0600 FT/FT MAXIMUM SLOPE.

- RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE, SUCH THAT THERE IS NO MORE THAN EIGHTEEN [18] INCHES FROM FINISHED GRADE TO THE TOP OF THE CONE SECTION. THE RIM SHALL BE LEFT 1/8-INCH TO 1/4-INCH BELOW FINISHED ASPHALT.

- MANHOLE COVERS SHALL BE ALIGNED TO PROVIDE A MINIMUM OF THREE [3] FEET CLEARANCE BETWEEN THE MANHOLE RING AND THE LIP OF GUTTER.

- COORDINATES FOR AREA INLETS ARE AT CENTER OF INLET. COORDINATES FOR FLARED END SECTIONS ARE AT CENTER OF FLARED END.

- SLOPE OF INLET FLOW LINE OR GRATE TO MATCH STREET GRADE UNLESS INLET IS AT A SUMP LOCATION.

- CONTRACTOR TO COORDINATE HORIZONTAL AND VERTICAL LOCATIONS OF ROOF DRAIN SERVICES AND DOWNSPOUTS WITH PLUMBING AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

**STORM SEWER NOTES:**

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAGLE "PUBLIC WORKS MANUAL." ALL STORM SEWER CONSTRUCTION SHALL BE INSPECTED BY A TOWN OF EAGLE INSPECTOR.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING STORM SEWER POINTS OF CONNECTION PRIOR TO CONSTRUCTION OF ANY PROPOSED STORM SEWER.
- ALL STORM SEWER LINES 12 INCHES IN SIZE AND GREATER SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE) IN ACCORDANCE WITH ASTM F-405, EXCEPT FOR THE DRIVEWAY CULVERT WHICH MUST BE TYPE V REINFORCED CONCRETE PIPE.
- ALL STORM SEWER LINES LESS THAN 12 INCHES IN SIZE SHALL BE SDR-35 POLYVINYL CHLORIDE [PVC] PIPE IN ACCORDANCE WITH ASTM D-3034.

- ALL STORM SEWER PIPE JOINTS SHALL BE BELL AND SPIGOT TYPE, INSTALLED WITH AN APPROVED RUBBER GASKET O-RING OR PROFILE TYPE GASKET SO AS TO BE WATER-TIGHT.

- DISTANCES FOR STORM SEWER PIPE ARE THE HORIZONTAL DISTANCES BETWEEN CENTER OF STRUCTURES. THEREFORE, DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.

- WHERE APPLICABLE, DISTANCES FOR STORM SEWER PIPE INCLUDE THE LENGTH OF THE FLARED END SECTION.

- ALL STORM SEWER PIPES SHALL BE INSTALLED WITH INSULATED NO. 12 TYPE UF TAPE ON TOP OF PIPE AS A TRACER WIRE. TRACER WIRE IS TO BE LOOPED UP TO EACH STRUCTURE (INLETS, OUTLETS, MANHOLES, AND/OR CLEANOUTS, AS APPLICABLE). A CATHODIC PROTECTION BOX IS TO BE SET ON THE RIGHT HAND SIDE OF EACH STRUCTURE. THE BOX SHALL HAVE A CAST IRON LOCKING LID WITH A THREE AND ONE-HALF INCH [3-1/2"] DIAMETER, EIGHTEEN INCH [18"] LONG PVC BODY. THE CAP WILL NEED A TWO-WIRE CONNECTION POST AS A MINIMUM.

- MANHOLES, BARRELS, CONES, AND COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) INLETS SHALL BE CONSTRUCTED OF PRECAST CONCRETE. CAST-IN-PLACE STRUCTURES SHALL NOT BE ALLOWED.

- PRECAST MANHOLES AND RISERS SHALL BE MANUFACTURED IN CONFORMITY WITH ASTM DESIGNATION C-478. REFER TO DETAIL A5. ALL CONES SHALL BE ECCENTRIC, EXCEPT FOR MANHOLE DEPTHS SIX [6] FEET OR LESS WHEN A FLAT TOP SECTION SHALL BE USED.

- ALL STORM SEWERS SHALL BE BED PER THE TOWN OF EAGLE'S STANDARD TRENCHING AND BACKFILL DETAILS A1 AND A2.

- THE FLEXIBLE PLASTIC JOINT SEALING COMPOUND WITHIN PRECAST STRUCTURES SHALL BE "RAMNEK" RUBBERNECK OR APPROVED EQUAL.

- CONTRACTOR SHALL IMMEDIATELY REMOVE DEBRIS DEPOSITED INTO PUBLIC MANHOLES AND OTHER PUBLIC STRUCTURES TO ELIMINATE THE POSSIBILITY OF PROPERTY DAMAGE DUE TO THE DEBRIS CAUSING BACKUP INTO PRIVATE PROPERTIES. IF IT IS DETERMINED THAT DEBRIS CAUSED A BACKUP, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES.

- BACKFILL IN PUBLIC RIGHT-OF-WAY MUST MEET THE REQUIREMENTS OF THE TOWN OF EAGLE. CONTRACTOR MUST OBTAIN A STREET CUT PERMIT AND NOTIFY THE TOWN OF EAGLE INSPECTOR 48-HOURS PRIOR TO START OF JOB.

- NO TREES SHALL BE PLANTED WITHIN ANY UTILITY EASEMENT OR WITHIN TEN [10] FEET OF ANY PUBLIC MANHOLES, PIPES OR INLETS.

- RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE, SUCH THAT THERE IS NO MORE THAN EIGHTEEN [18] INCHES FROM FINISHED GRADE TO THE TOP OF THE CONE SECTION. THE RIM SHALL BE LEFT 1/8-INCH TO 1/4-INCH BELOW FINISHED ASPHALT.

- MANHOLE COVERS SHALL BE ALIGNED TO PROVIDE A MINIMUM OF THREE [3] FEET CLEARANCE BETWEEN THE MANHOLE RING AND THE LIP OF GUTTER.

- COORDINATES FOR AREA INLETS ARE AT CENTER OF INLET. COORDINATES FOR FLARED END SECTIONS ARE AT CENTER OF FLARED END.

- SLOPE OF INLET FLOW LINE OR GRATE TO MATCH STREET GRADE UNLESS INLET IS AT A SUMP LOCATION.

- CONTRACTOR TO COORDINATE HORIZONTAL AND VERTICAL LOCATIONS OF ROOF DRAIN SERVICES AND DOWNSPOUTS WITH PLUMBING AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

**WATER NOTES:**

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAGLE "PUBLIC WORKS MANUAL." ALL WATER UTILITY CONSTRUCTION SHALL BE INSPECTED BY A TOWN OF EAGLE INSPECTOR.
- ALL FIRE HYDRANT LATERALS AND WATER SERVICES FOUR [4] INCHES IN SIZE AND GREATER SHALL BE DUCTILE IRON, MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C151, CLASS 52, WITH BITUMINOUS OUTSIDE COATING (ONE MIL THICK) AND CEMENT MORTAR LINING PER AWWA C104. PIPE JOINTS SHALL BE PUSH-ON TYPE UTILIZING RUBBER RING GASKET IN ACCORDANCE WITH AWWA C111. PIPE SHALL BE SUPPLIED WITH COPPER BONDING STRAPS AND MECHANICAL ATTACHMENT. A #4 CONDUCTOR AND CADWELDS (CHARGE SIZE CA 45) OR THE MANUFACTURERS' SUPPLIED STRAP SHALL BE USED TO BOND EACH JOINT AND FITTING.
- ALL WATER PIPE JOINT FITTINGS SHALL BE MADE FROM ASTM A536, 65-45-12 DUCTILE IRON AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL BE AT A PRESSURE RATING OF 350 PSI AND SHALL BE WRAPPED WITH EIGHT MILLIMETER MINIMUM THICKNESS POLYETHYLENE MATERIAL IN ACCORDANCE WITH AWWA STANDARD C105. TWIST-OFF NUTS, SIZED THE SAME AS THE TEE-HEAD BOLTS, SHALL BE USED TO ENSURE PROPER ACTUATING OF RESTRAINING DEVICES. REFER TO DETAIL B11.
- ALL WATER PIPES SHALL BE INSTALLED WITH INSULATED NO. 12 TYPE UF TAPE ON TOP OF PIPE AS A TRACER WIRE. TRACER WIRE IS TO BE LOOPED UP TO EACH HYDRANT. A CATHODIC PROTECTION BOX IS TO BE SET ON THE RIGHT HAND SIDE OF EACH HYDRANT. THE BOX SHALL HAVE A CAST IRON LOCKING LID WITH A THREE AND ONE-HALF INCH [3-1/2"] DIAMETER, EIGHTEEN INCH [18"] LONG PVC BODY. THE CAP WILL NEED A TWO-WIRE CONNECTION POST AS A MINIMUM.

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST ALL WATER VALVE BOXES TO THE REQUIRED FINAL GRADE. IN ADDITION, VALVE EXTENSIONS SHALL BE INSTALLED SUCH THAT A VALVE KEY SIX [6] FEET IN LENGTH CAN OPERATE THE VALVE.

- NO PIPE SHALL BE BACKFILLED UNTIL IT HAS BEEN INSPECTED BY A TOWN OF EAGLE INSPECTOR.

- THE MANUFACTURER SHALL FURNISH A CERTIFIED STATEMENT THAT ALL OF THE SPECIFIED TESTS AND INSPECTIONS HAVE BEEN MADE AND THE RESULTS THEREOF COMPLY WITH THE REQUIREMENT OF THE APPLICABLE STANDARDS HEREIN SPECIFIED. A COPY OF THE CERTIFICATION WILL BE SENT TO THE TOWN OF EAGLE INSPECTOR UPON REQUEST.

- DISTANCES FOR WATER ARE THE HORIZONTAL DISTANCE BETWEEN CENTER OF FITTING TO CENTER OF VALVE, METER, ETC. THEREFORE, DISTANCES SHOWN ON THE PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND FITTING DIMENSIONS.

- MAINTAIN A MINIMUM OF TEN [10] FEET HORIZONTAL SEPARATION BETWEEN THE OUTSIDE OF ALL SANITARY SEWER AND WATER MAINS AND SERVICES. REFER TO DETAIL B1.

- FOR ALL PIPE INSTALLATIONS, THE DEPTH OF COVER OVER THE PIPE MEASURED FROM OFFICIAL FINISHED/FINAL GRADE TO THE TOP OF THE PIPE SHALL BE A MINIMUM OF 6.0 AND MAXIMUM OF 9.0 FEET AND SHALL BE KNOWN AS THE COVER OVER THE PIPE.

- FIRE HYDRANTS SHALL CONFORM TO THE TOWN OF EAGLE MATERIALS AND SPECIFICATIONS. FIRE HYDRANT ASSEMBLIES SHALL INCLUDE ALL PIPE, FITTINGS, VALVES, THRUST BLOCKS, RESTRAINTS, AND MATERIALS NECESSARY TO INSTALL THE HYDRANT. REFER TO DETAIL B2.

- INSTALL THRUST BLOCKS AT ALL BENDS, STUBS AND TEES IN WATER LINES. ALL BLOW-OFFS, VALVES AND BENDS SHALL BE RODDED OR MECHANICALLY-RESTRAINED PER TOWN OF EAGLE DETAILS AS NOTED OR IF SOIL CONDITIONS ARE UNSTABLE OR AS DIRECTED BY THE TOWN OF EAGLE INSPECTOR.

- WHEN IT IS NECESSARY TO LOWER OR RAISE WATER LINES AT STORM DRAINS AND OTHER UTILITY CROSSINGS, A MINIMUM CLEARANCE OF 18 INCHES SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF PIPES. REFER TO DETAIL B1.

- PRIOR TO INSTALLATION OF WATER MAINS, ROAD CONSTRUCTION MUST HAVE PROGRESSED TO AT LEAST THE "SUB-GRADE" STATE.

- BEFORE ANY TAPS ARE MADE FROM MAINS, APPLICATION(S) FOR THE TAPS MUST BE RECEIVED AND APPROVED BY THE TOWN OF EAGLE WATER DEPARTMENT.

- INDIVIDUAL SERVICE LINE PRESSURE REGULATING VALVES ARE REQUIRED.

- THE WATER QUALITY CONTROL DIVISION OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT [CDPHE] REQUIRES ALL WATER LINE CONTRACTORS TO POSSESS A CURRENT DISCHARGE PERMIT FOR DISCHARGES OF CHLORINATED AND PROCESS WATERS ASSOCIATED WITH THE INSTALLATION OF NEW MAINS OR CONDUITS. CONTACT CDPHE WATER QUALITY CONTROL DIVISION AT 303-692-3539 FOR INFORMATION ON OBTAINING THE REQUIRED PERMIT.

- CONTRACTOR TO COORDINATE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITY SERVICE CONNECTIONS TO BUILDING WITH MECHANICAL/PLUMBING PLANS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

- THE WATER SERVICE SIZE HAS BEEN PROVIDED BY THE PROJECT'S LIFE SAFETY ENGINEER BASED UPON THE DEMANDS OF THE FIRE SUPPRESSION SYSTEM IN CONJUNCTION WITH THE AVAILABLE PRESSURE AND VOLUME FROM THE PUBLIC SYSTEM AT THE CONNECTION POINT.

435 EBY CREEK APARTMENTS  
435 EBY CREEK ROAD  
LOT 3, PERRY SUBDIVISION PHASE 2  
EAGLE, COLORADO

YARNELL CONSULTING &  
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P.O. BOX 3901 EAGLE, COLORADO 81631  
(970) 323-7008

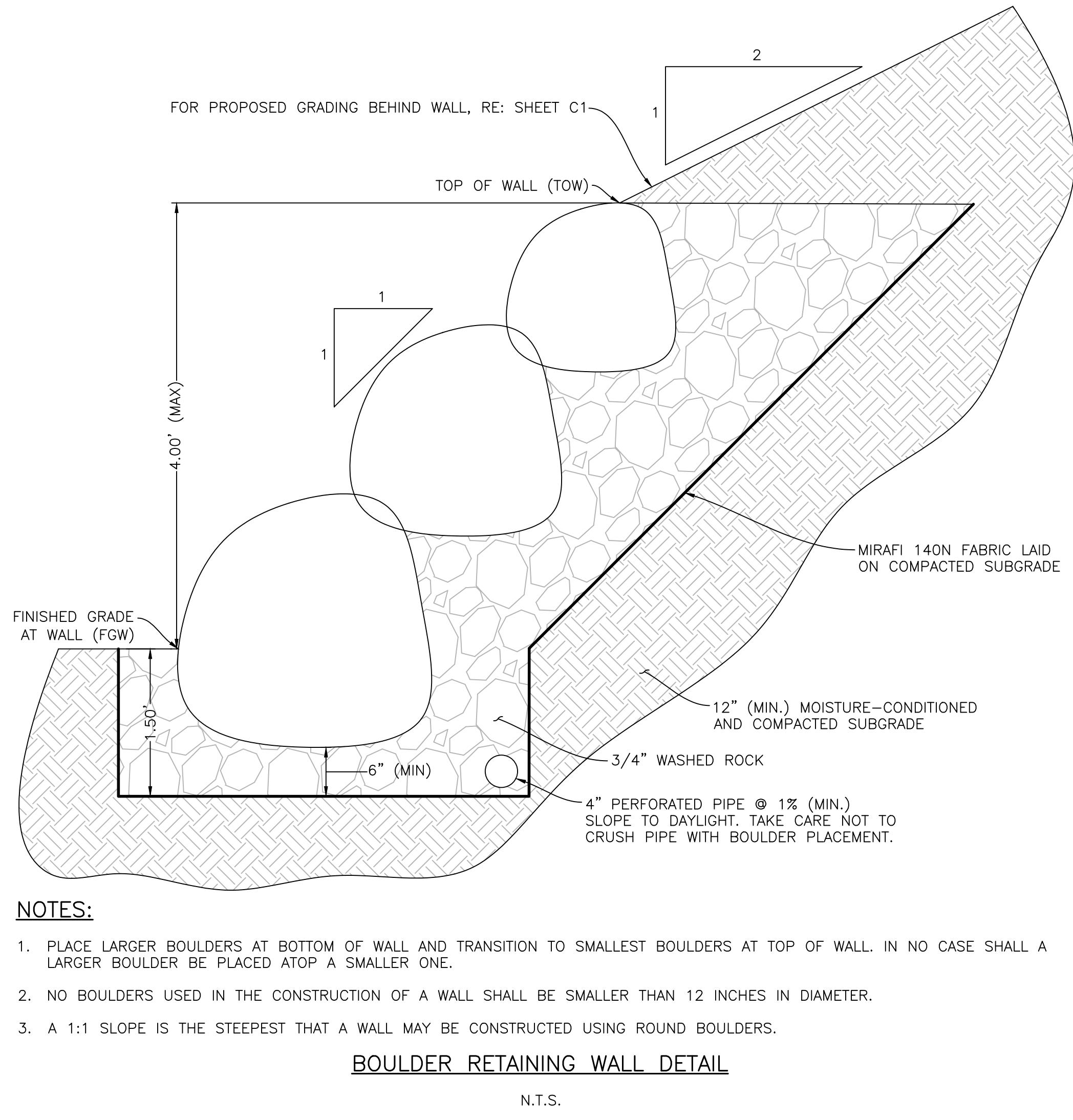
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DRAWN BY: J. YARNELL  
REVIEWED BY: J. YARNELL  
PROJECT NO.: 22011  
DATE: 6/24/2022

SHEET TITLE  
UTILITY NOTES  
SHEET NO.  
C6.4

UTILITY CROSSINGS (RE: SHEETS C6.1 – C6.3)				
NUMBER	BOTTOM OF UPPER UTILITY	TOP OF LOWER UTILITY	INSULATION?	ENCASEMENT?

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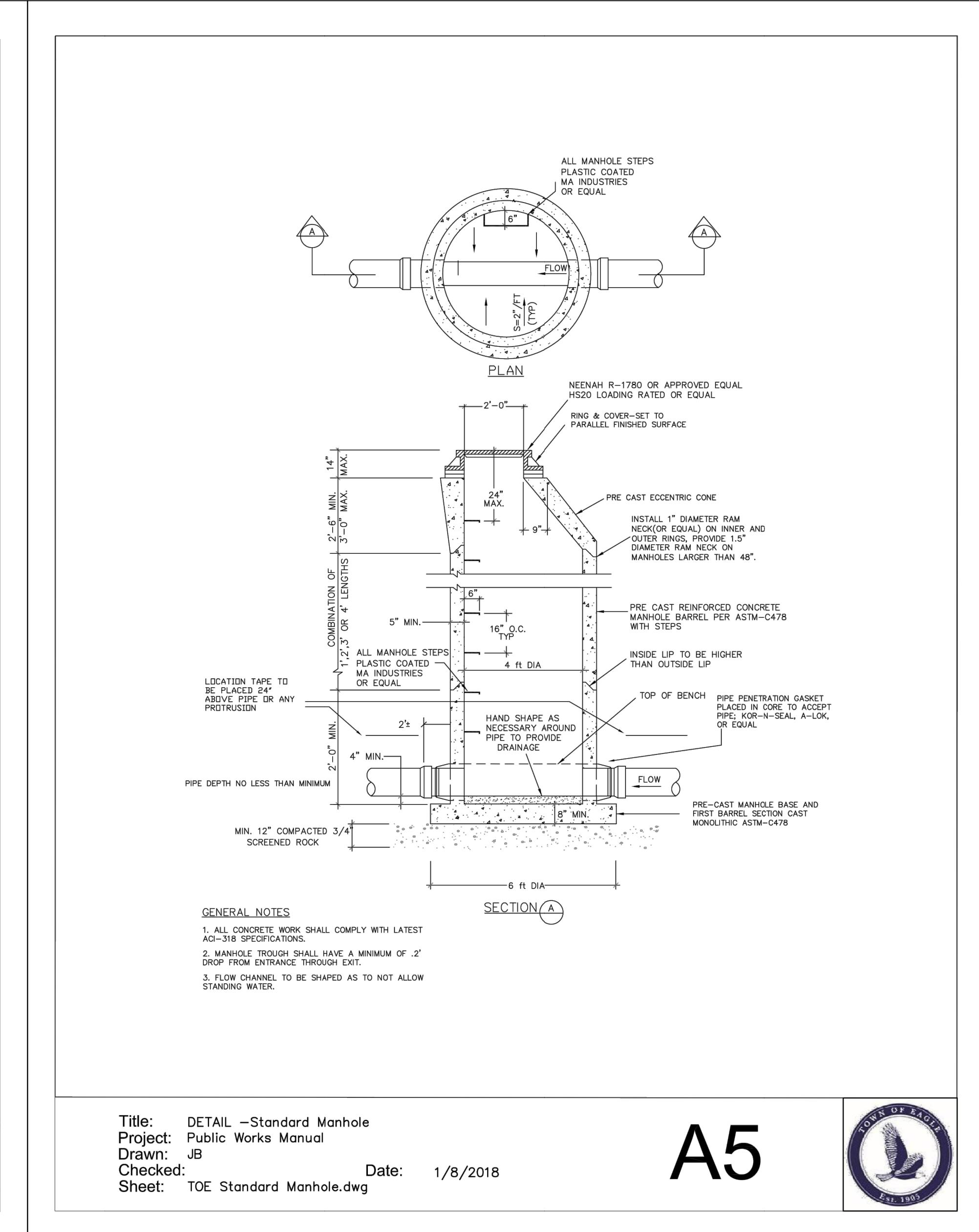
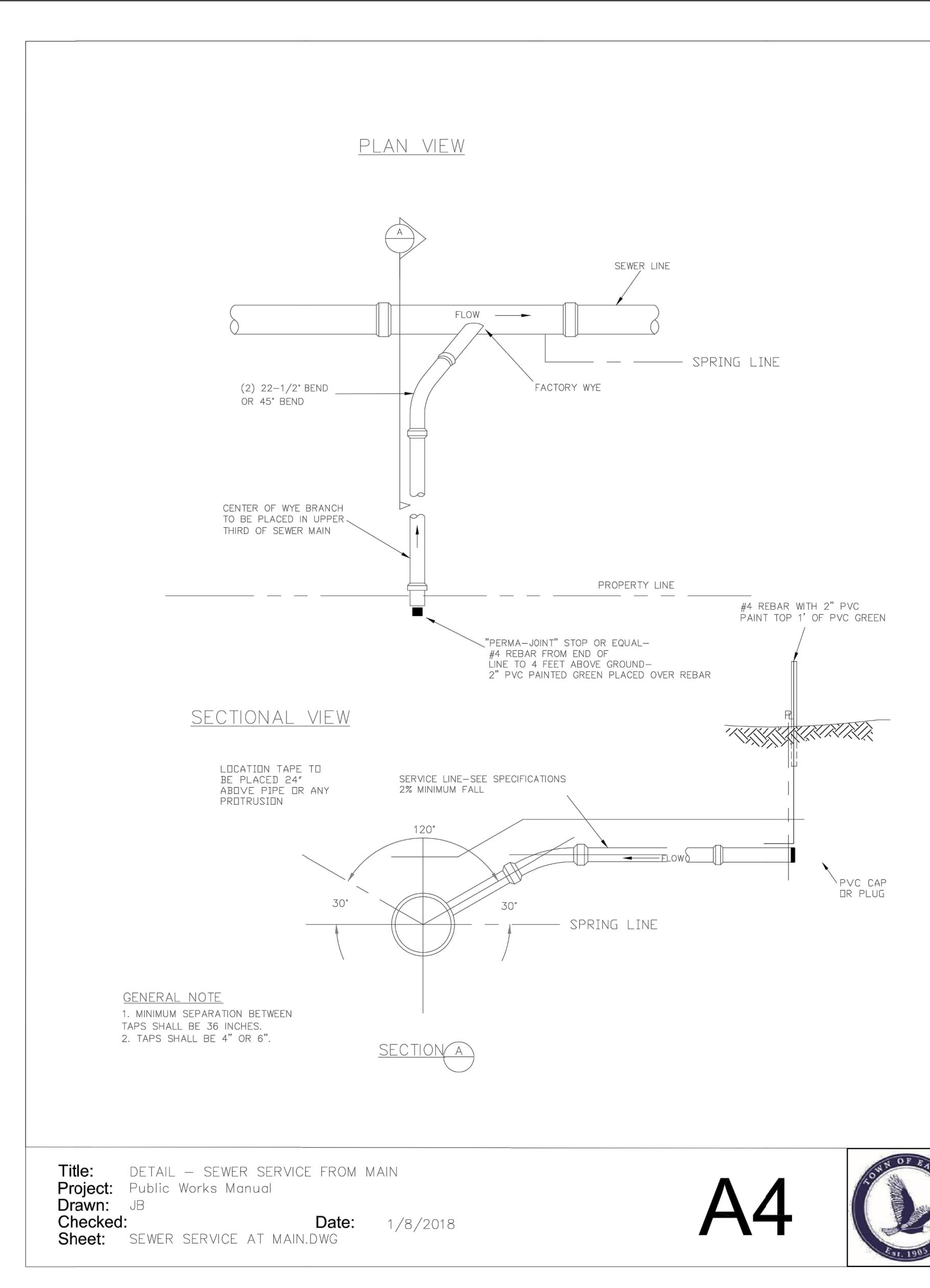


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DRAWN BY: J. YARNELL	1. SCHEMATIC DESIGN (NO CONST.)	4/15/22	J.Y	
REVIEWED BY: J. YARNELL	2. DESIGN DEVELOPMENT (NO CONST.)	5/19/22	J.Y	
PROJECT NO.: 22-011	3. DEVELOPMENT PERMIT RESUBMISSION	6/24/22	J.Y	
DATE: 6/24/2022	4.		J.Y	
	5.		J.Y	

SHEET TITLE DETAILS

SHEET NO. C9.1

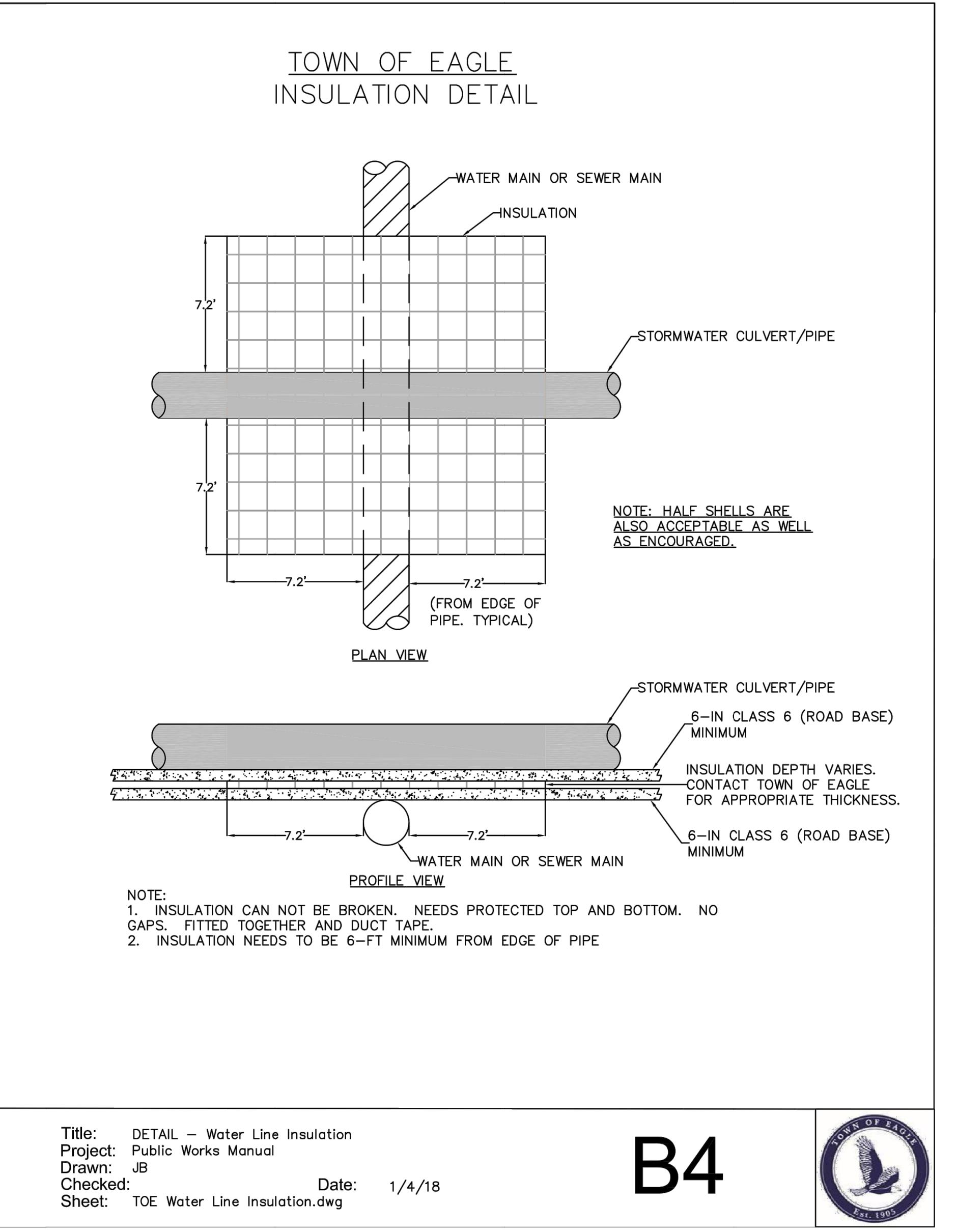
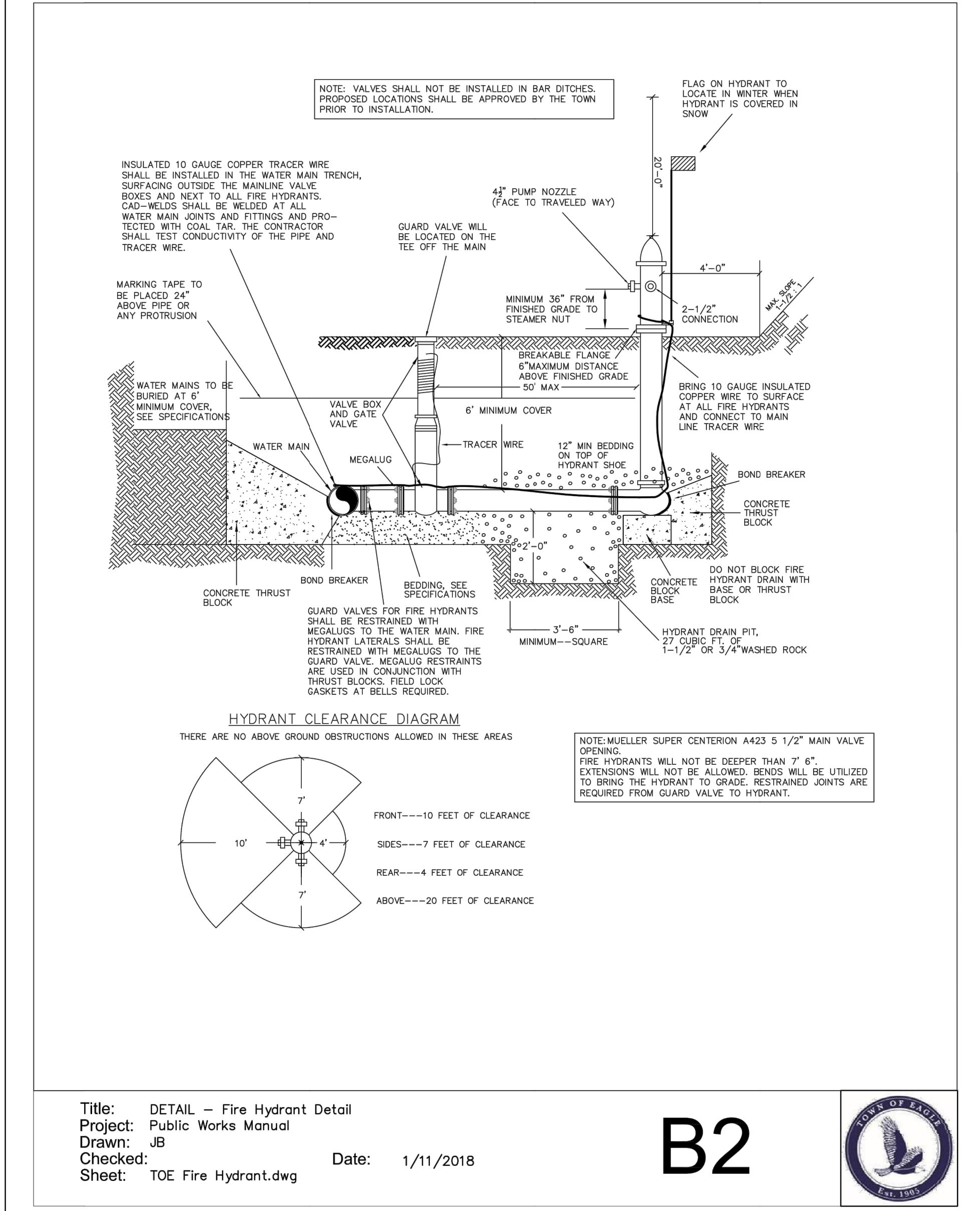
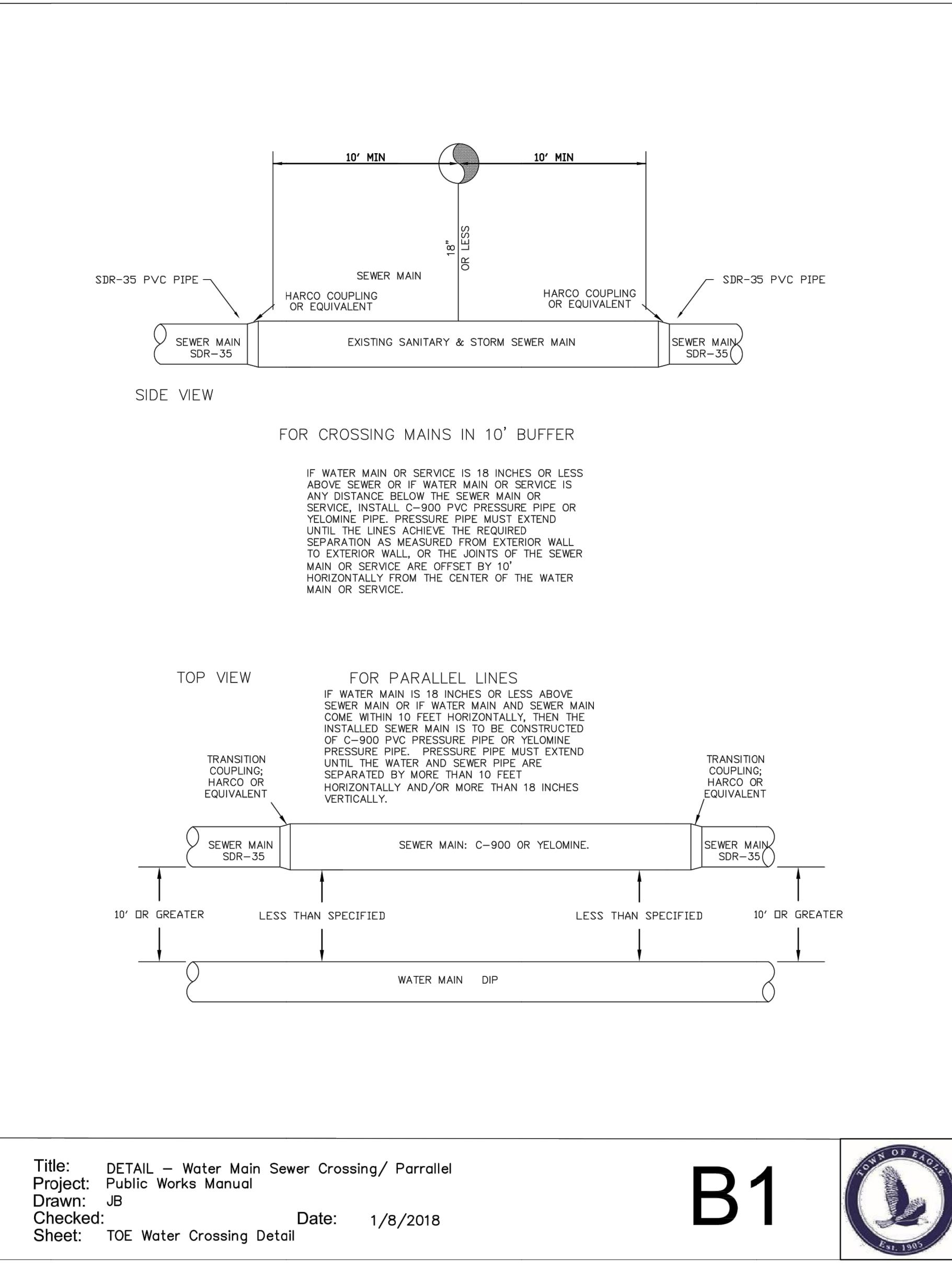




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**SHEET TITLE**  
**TYPICAL SEWER DETAILS**  
**SHEET NO.**  
**C10.2**



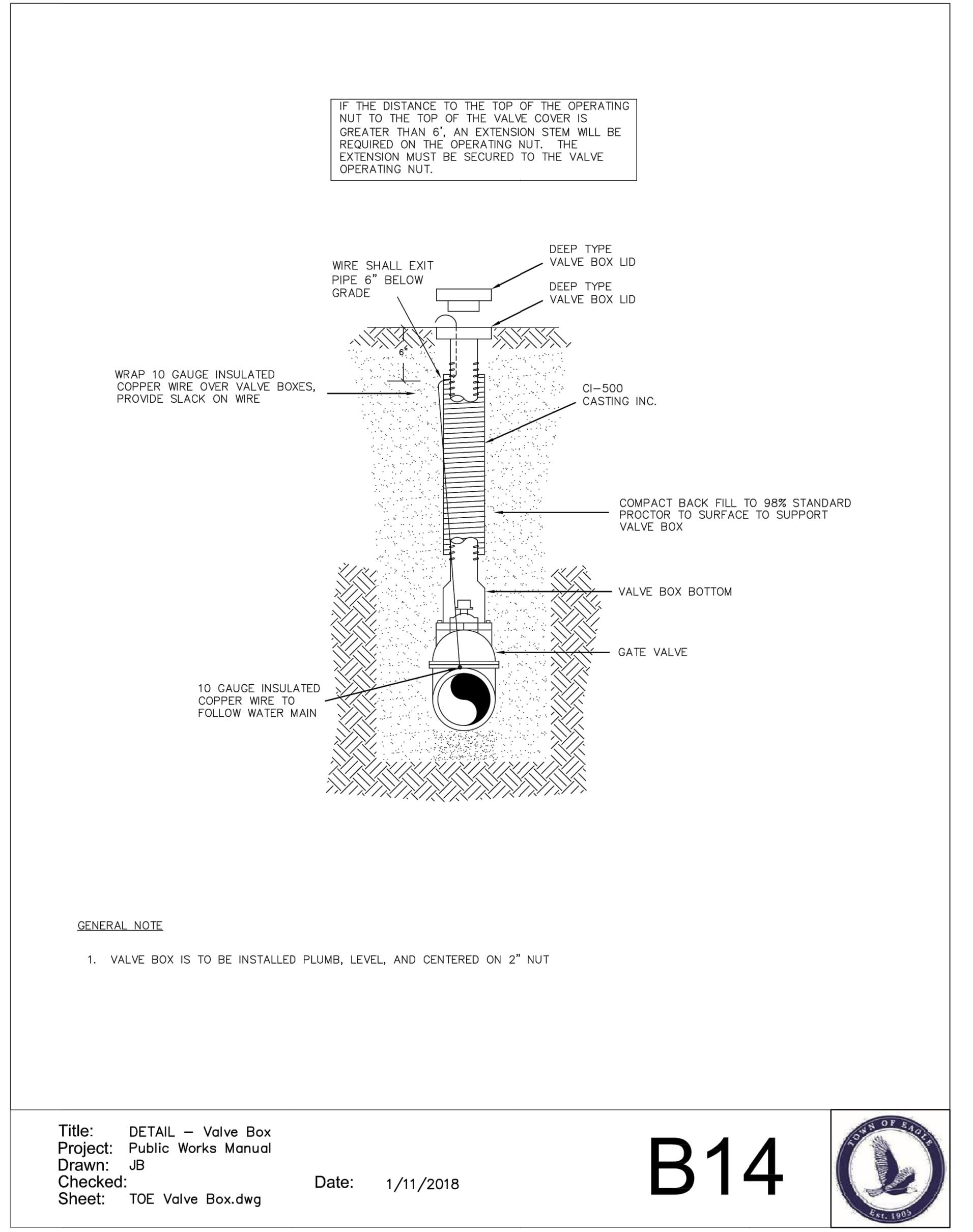
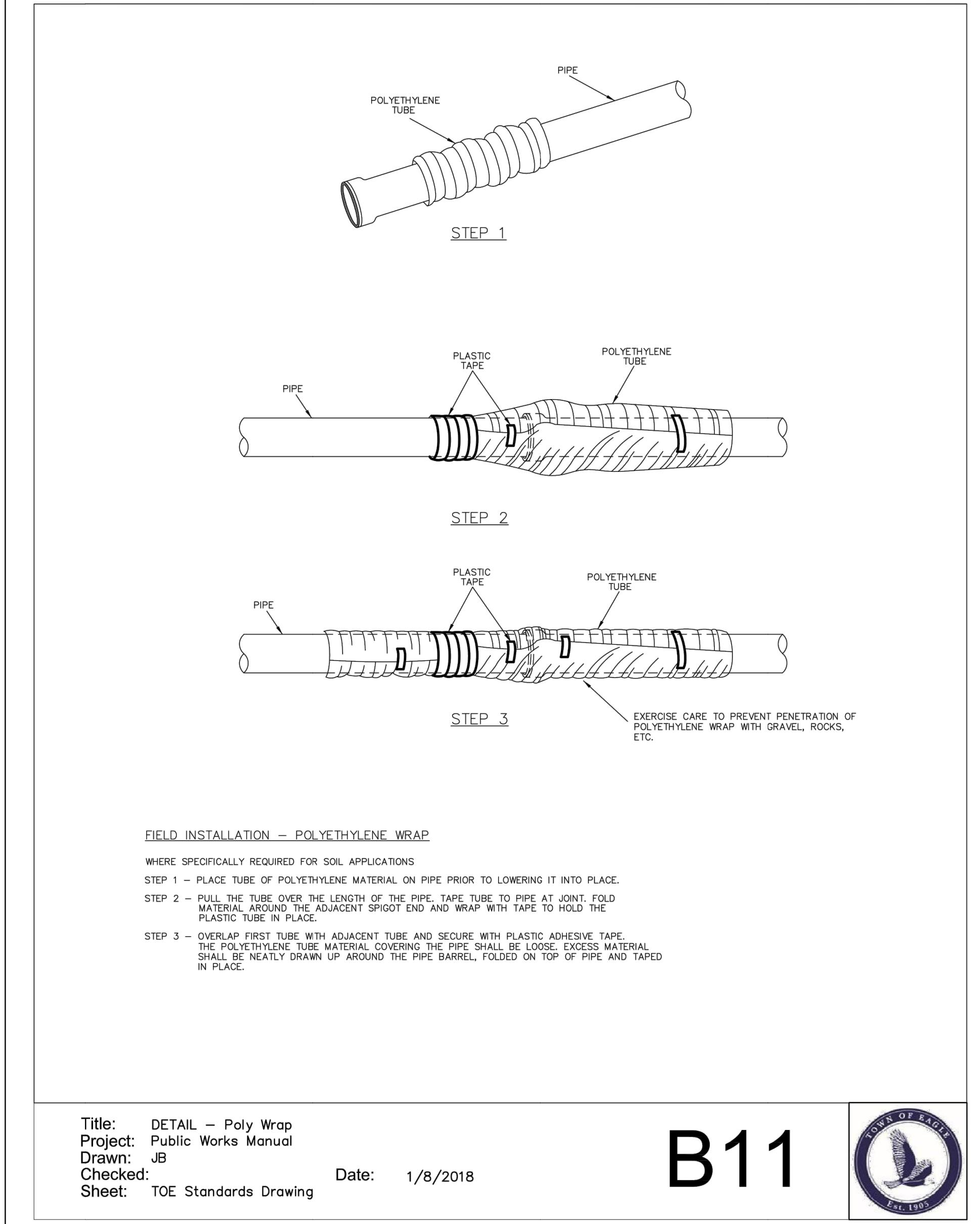
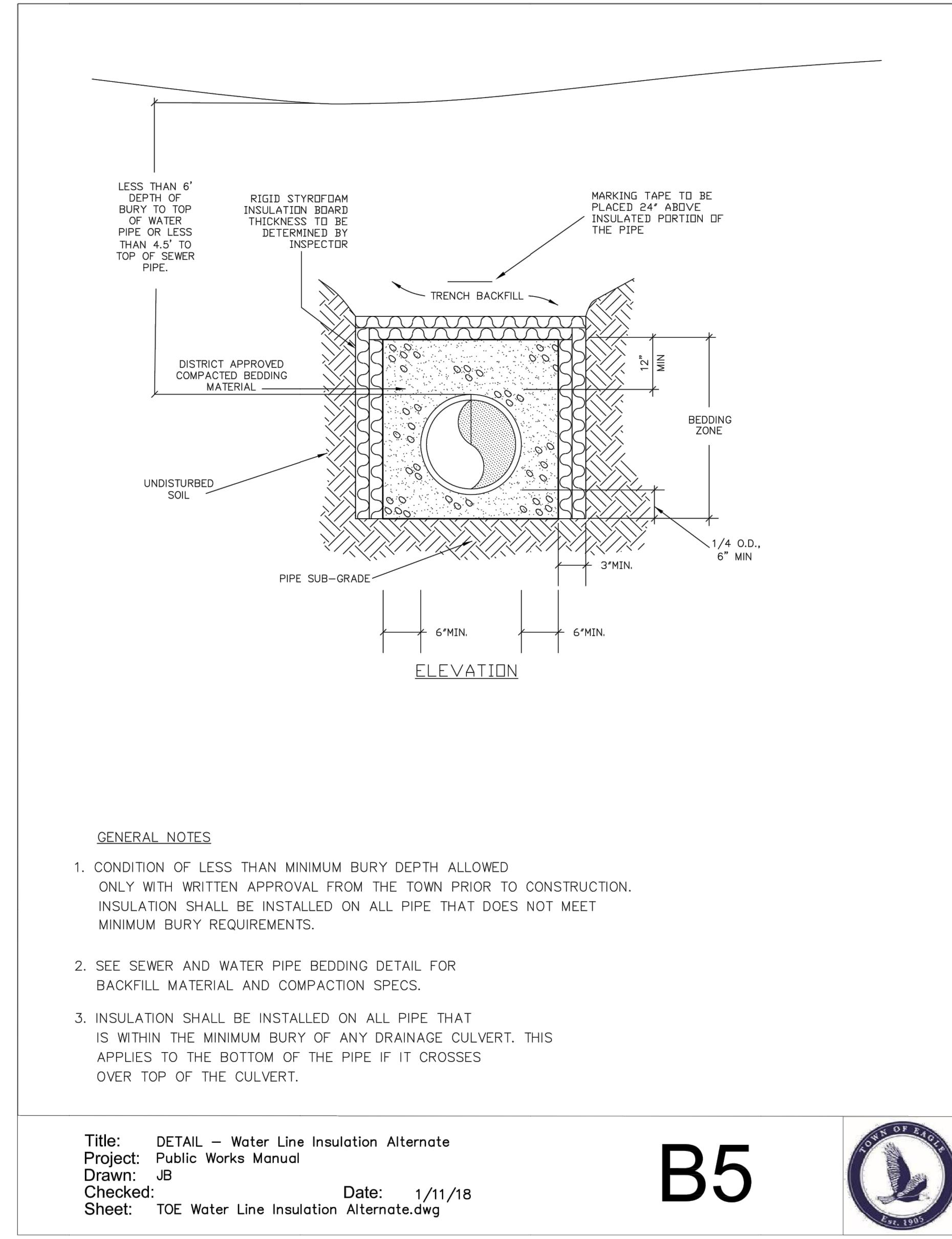
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REVIEWED BY:	J. YARNELL	2. DESIGN DEVELOPMENT (NO CONST.)	5/19/22	JY
PROJECT NO.:	2201	3. DEVELOPMENT PERMIT RESUBMISSION	6/24/22	JY
DATE:	6/24/2022	4.		JY

**SHEET TITLE**  
TYPICAL WATER DETAILS  
**SHEET NO.**  
C11.1



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PROJECT NO: 22011	3. DEVELOPMENT PERMIT RESUBMISSION	6/24/22	JY
DATE: 6/24/2022	4.	JY	JY
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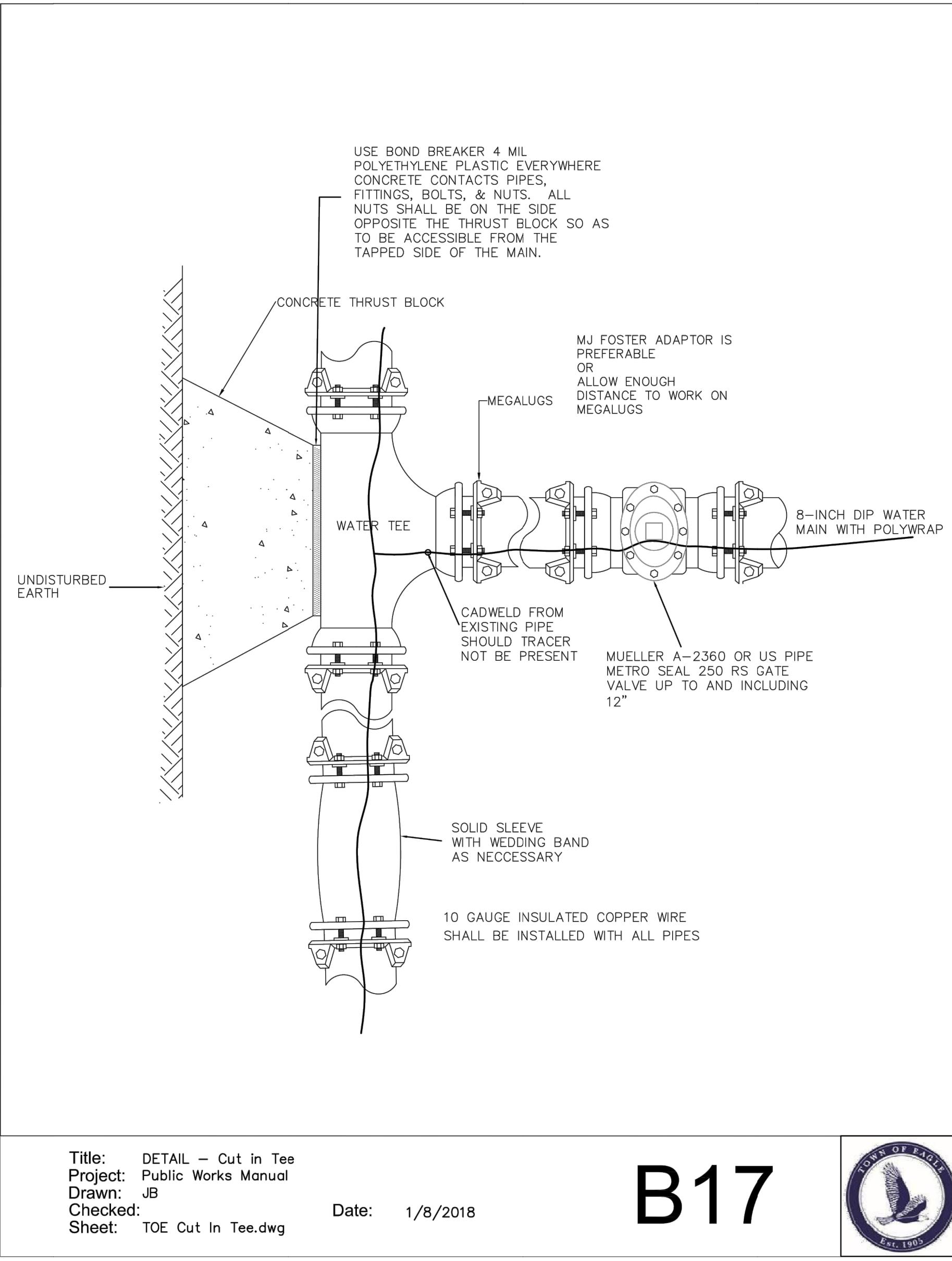
**SHEET TITLE**  
**TYPICAL WATER DETAILS**

**SHEET NO.**  
**C11.2**

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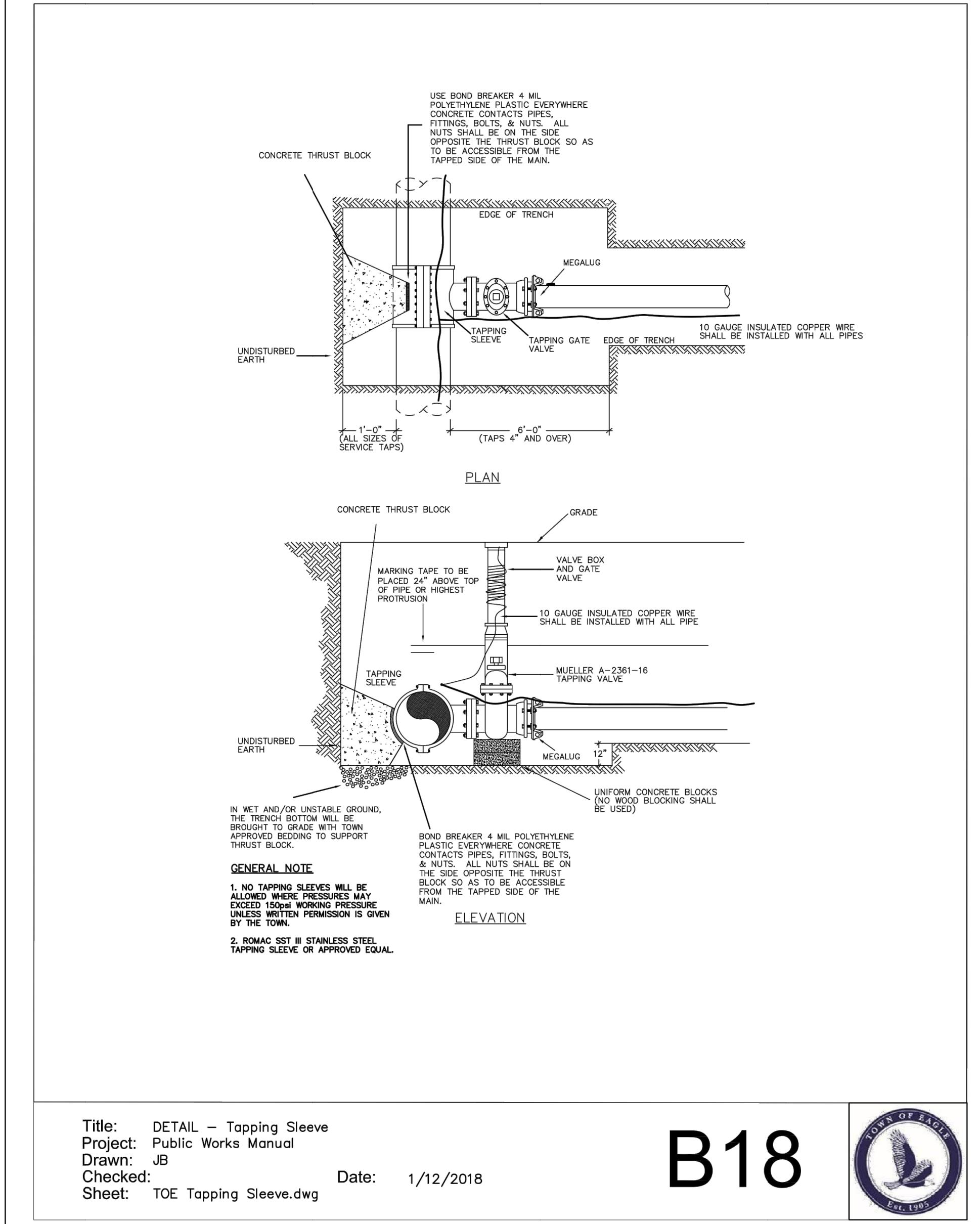
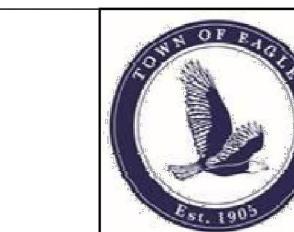
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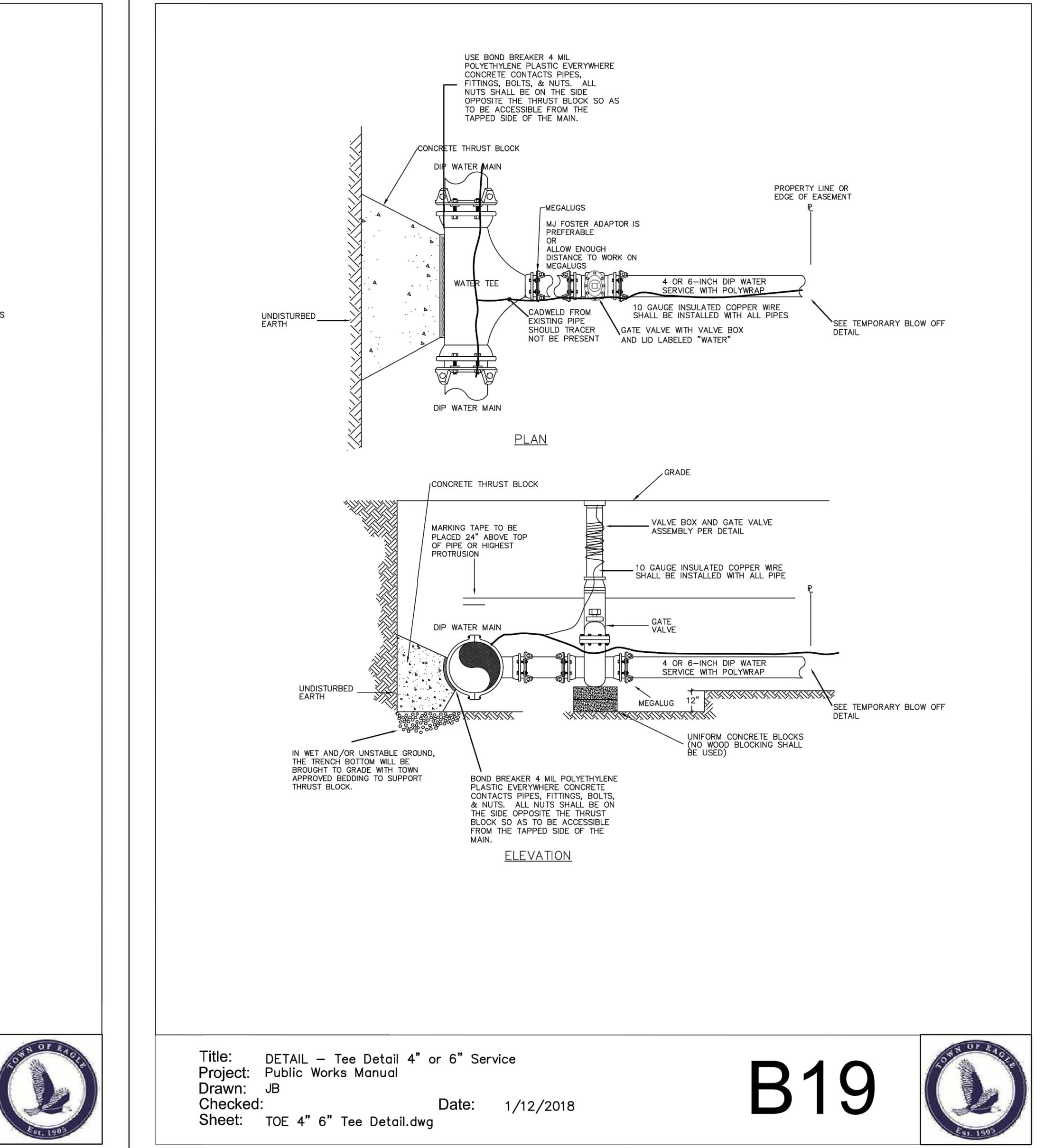
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Date: 1/12/2018



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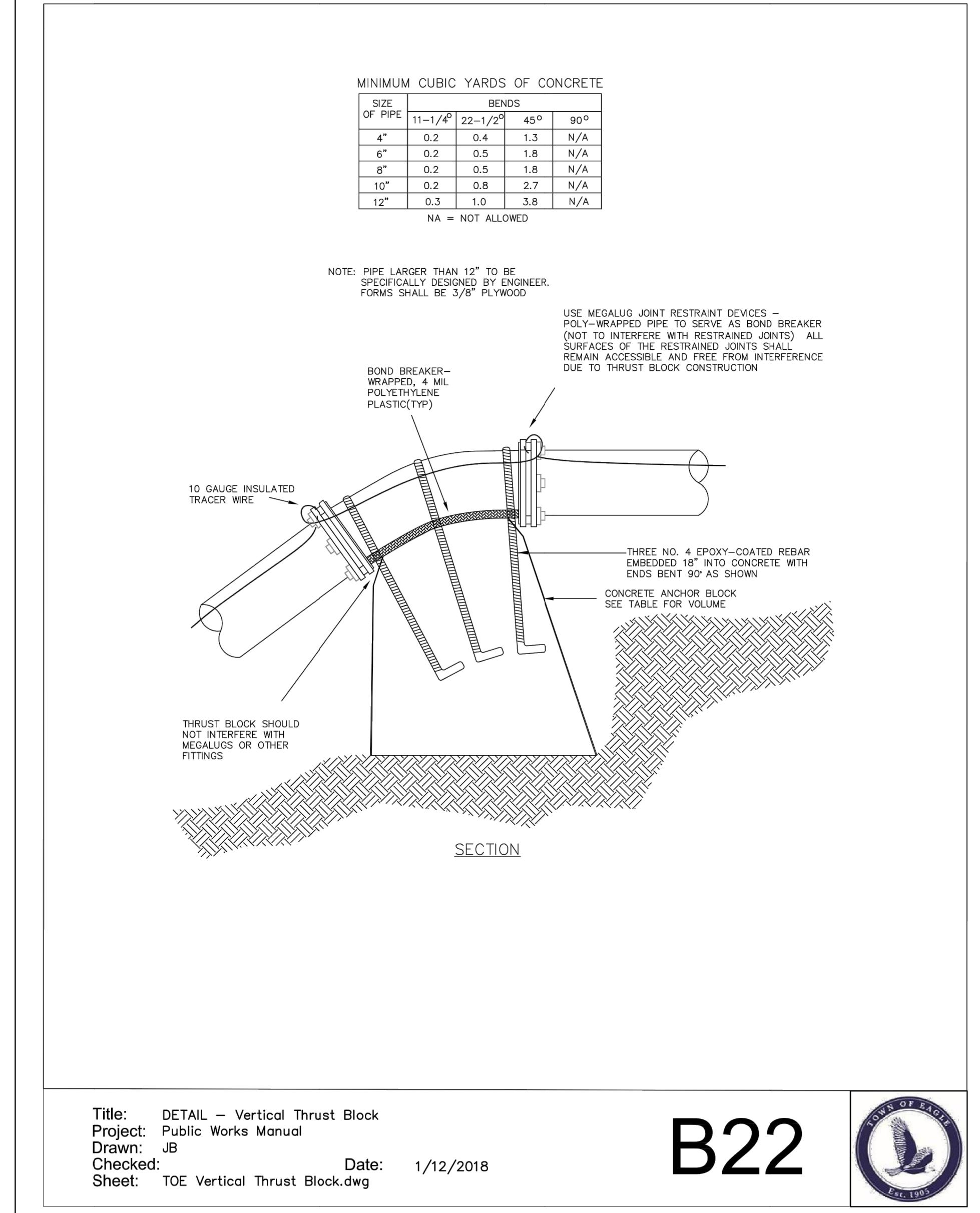
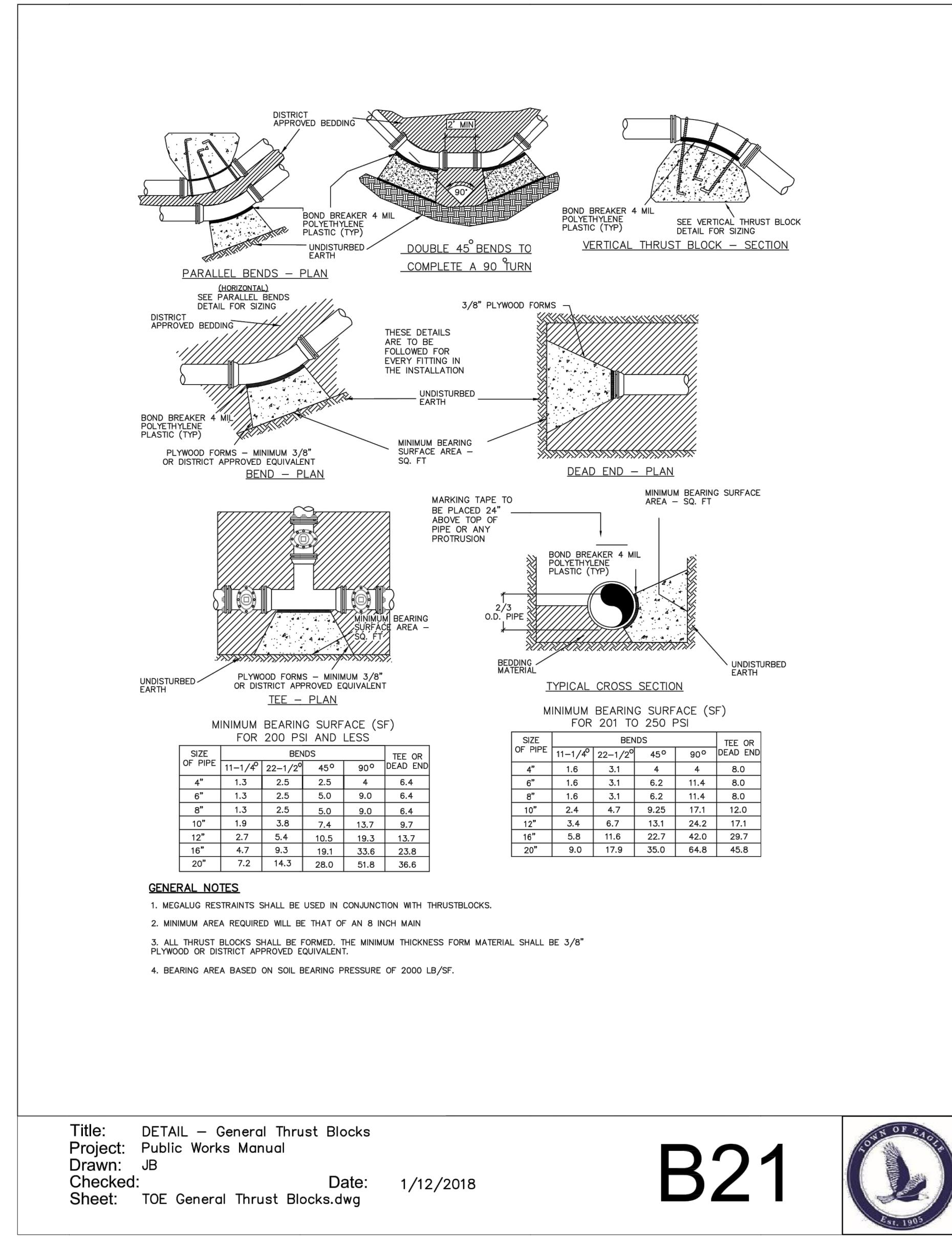
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**SHEET NO.**  
C11.3

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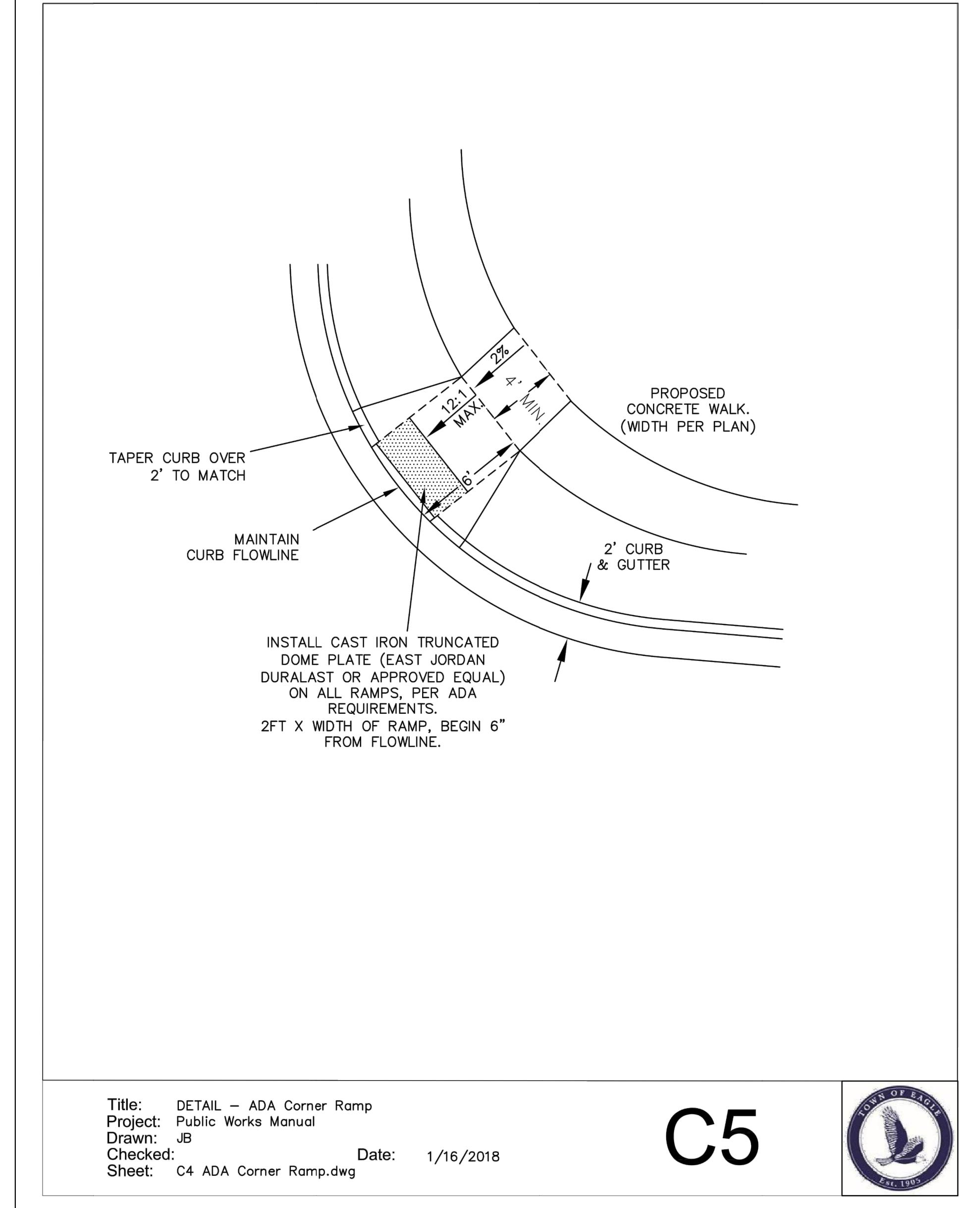
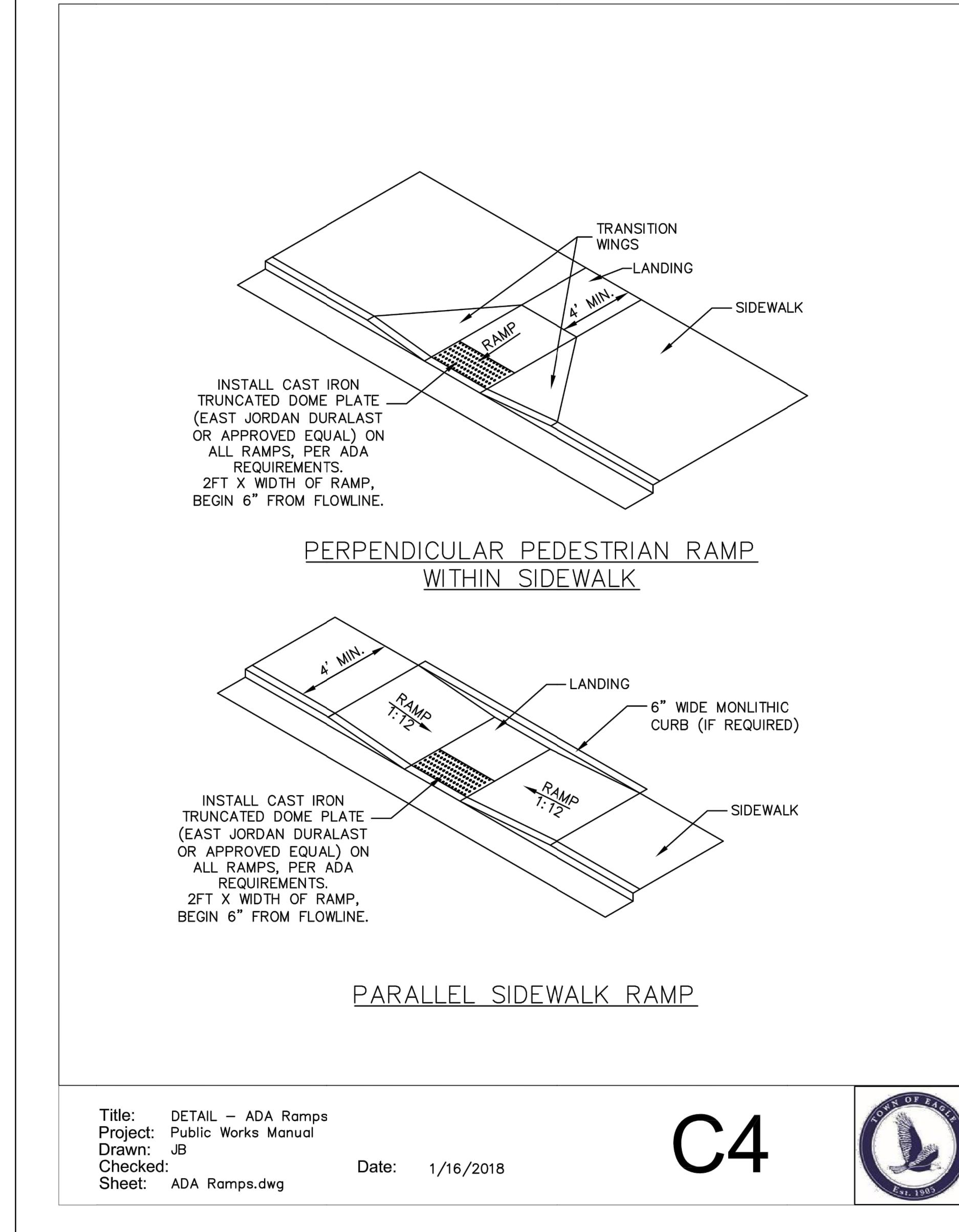
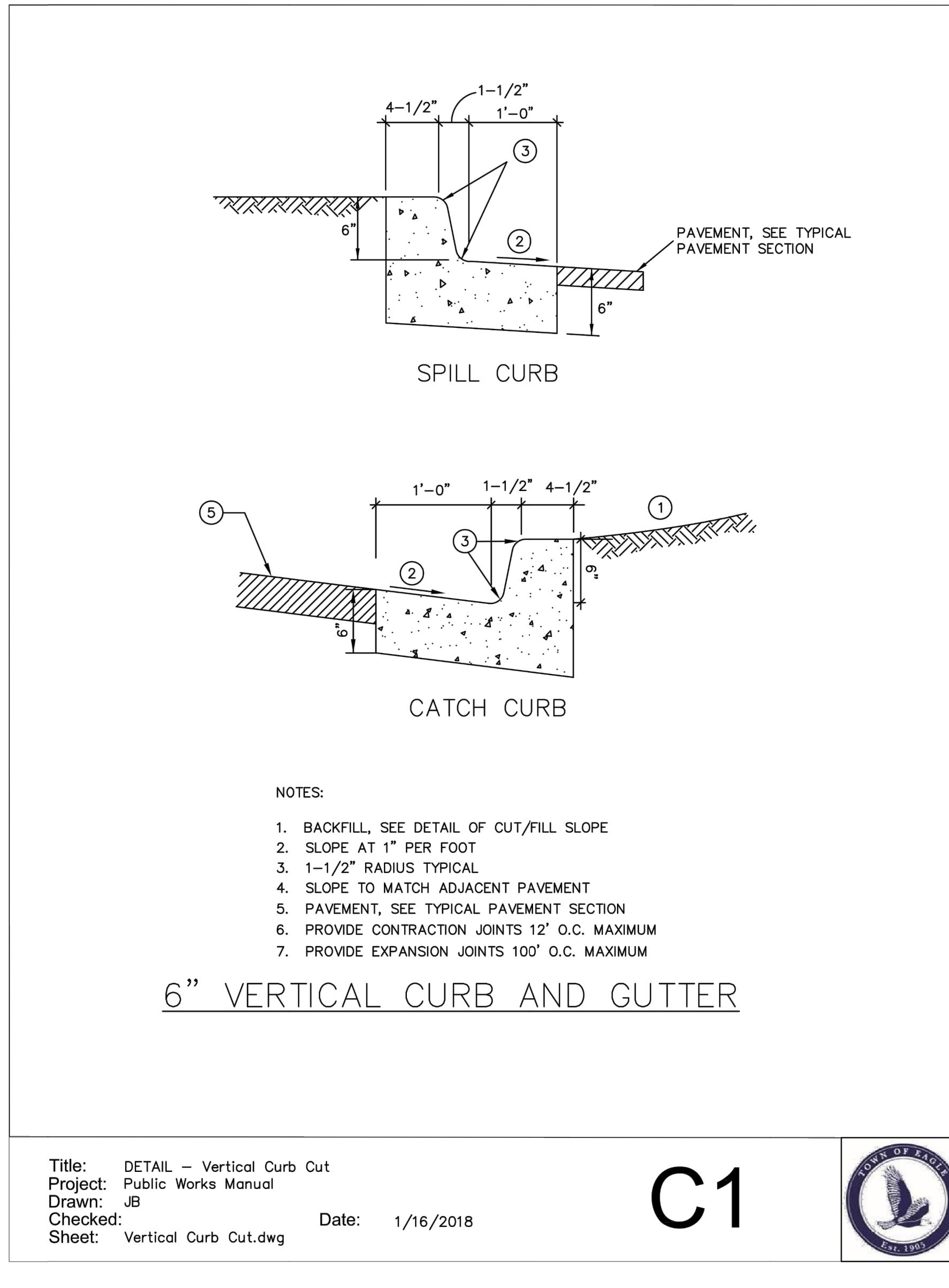
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REVIEWED BY:	J. YARNELL	2. DESIGN DEVELOPMENT (NO CONST.)	5/19/22	JY
PROJECT NO.:	2201	3. DEVELOPMENT PERMIT RESUBMISSION	6/24/22	JY
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SHEET TITLE  
TYPICAL WATER DETAILS  
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C11.4

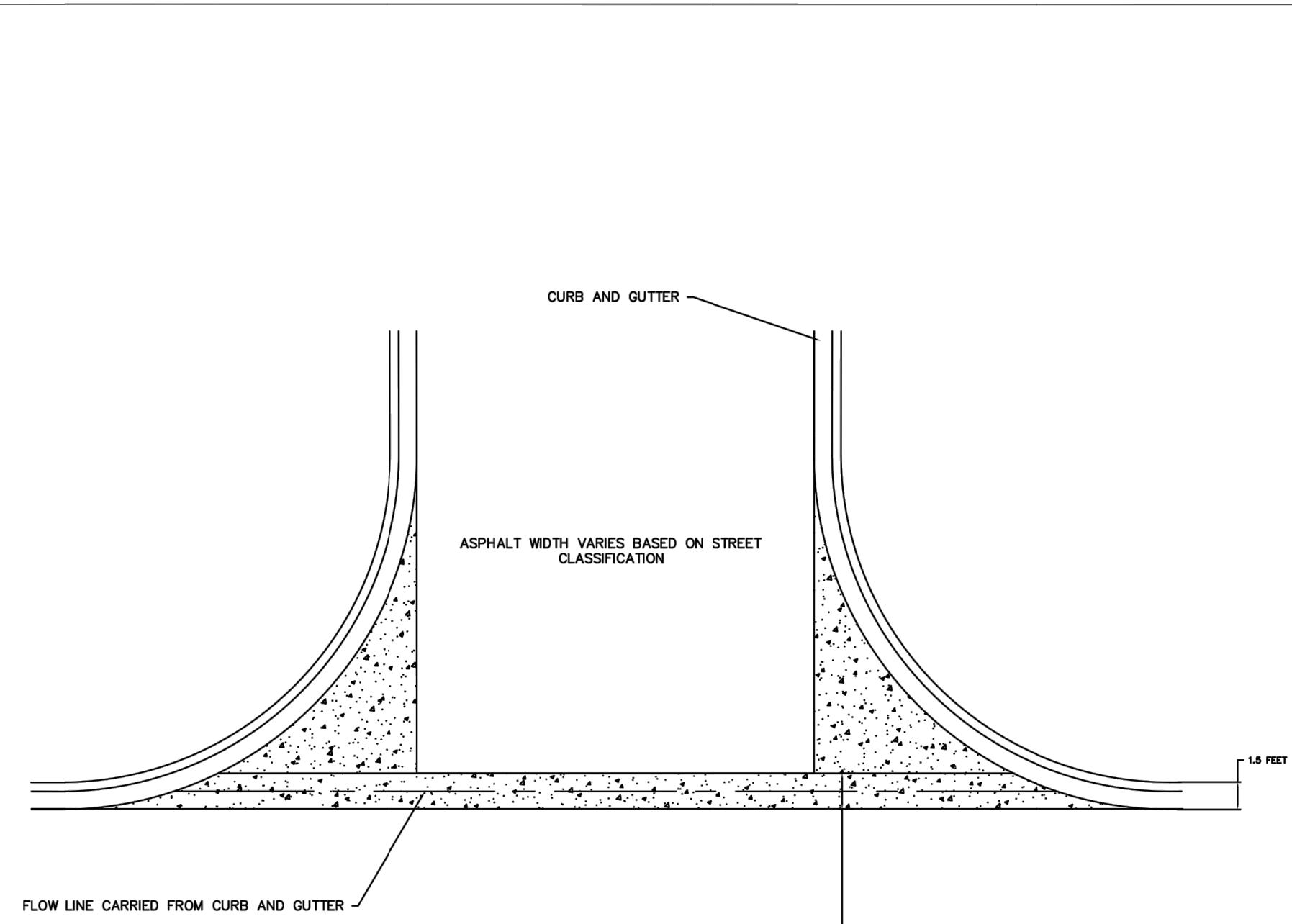


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LOT 3, PERRY SUBDIVISION PHASE 2  
EAGLE, COLORADO

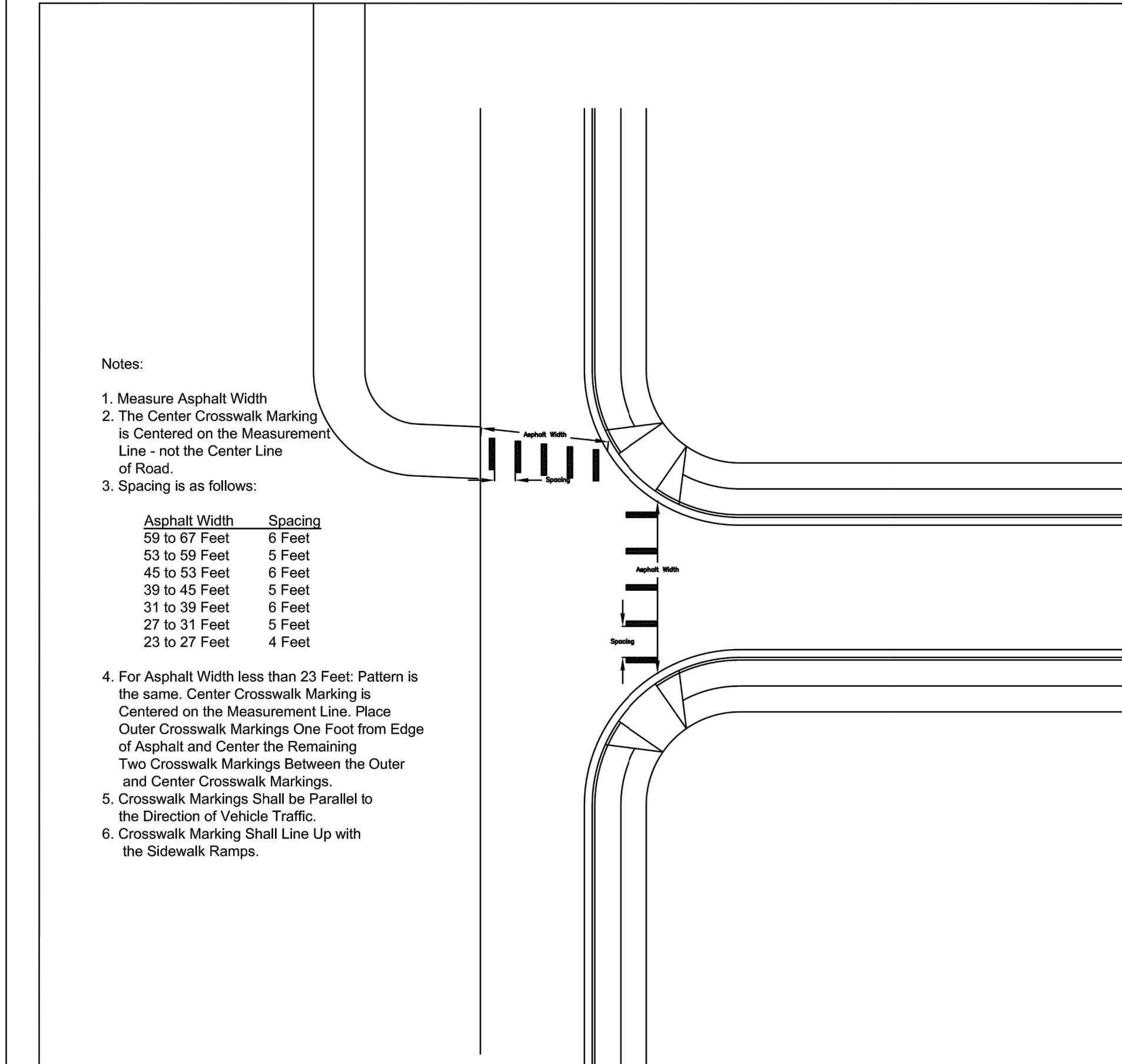
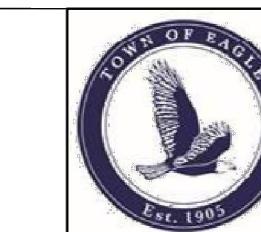
**SHEET TITLE**  
TYPICAL ROAD DETAILS

**SHEET NO.**  
**C12.1**



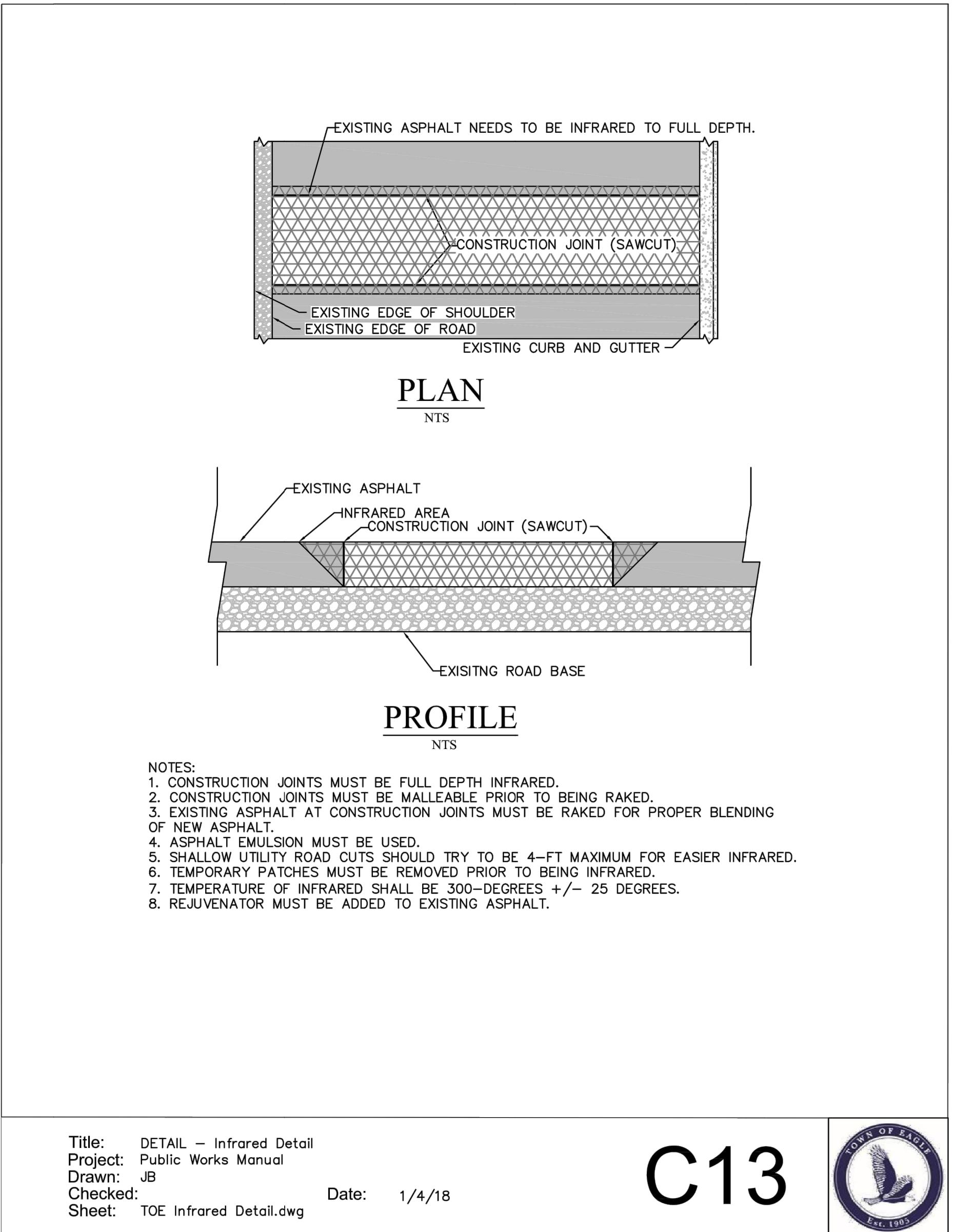
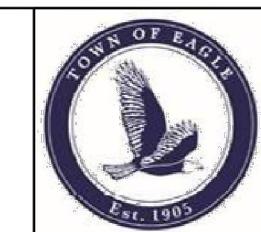
Title: DETAIL - Street Intersection Curb Fillets  
Project: Public Works Manual  
Drawn: JB  
Checked: JB  
Sheet: C7 Street Intersection Curb Fillets.dwg  
Date: 1/16/2018

C7



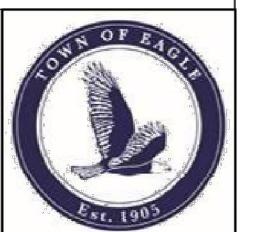
Title: DETAIL - Crosswalk Detail  
Project: Public Works Manual  
Drawn: JB  
Checked: JB  
Sheet: TOE Crosswalk Detail.dwg  
Date: 1/4/18

C12



Title: DETAIL - Infrared Detail  
Project: Public Works Manual  
Drawn: JB  
Checked: JB  
Sheet: TOE Infrared Detail.dwg  
Date: 1/4/18

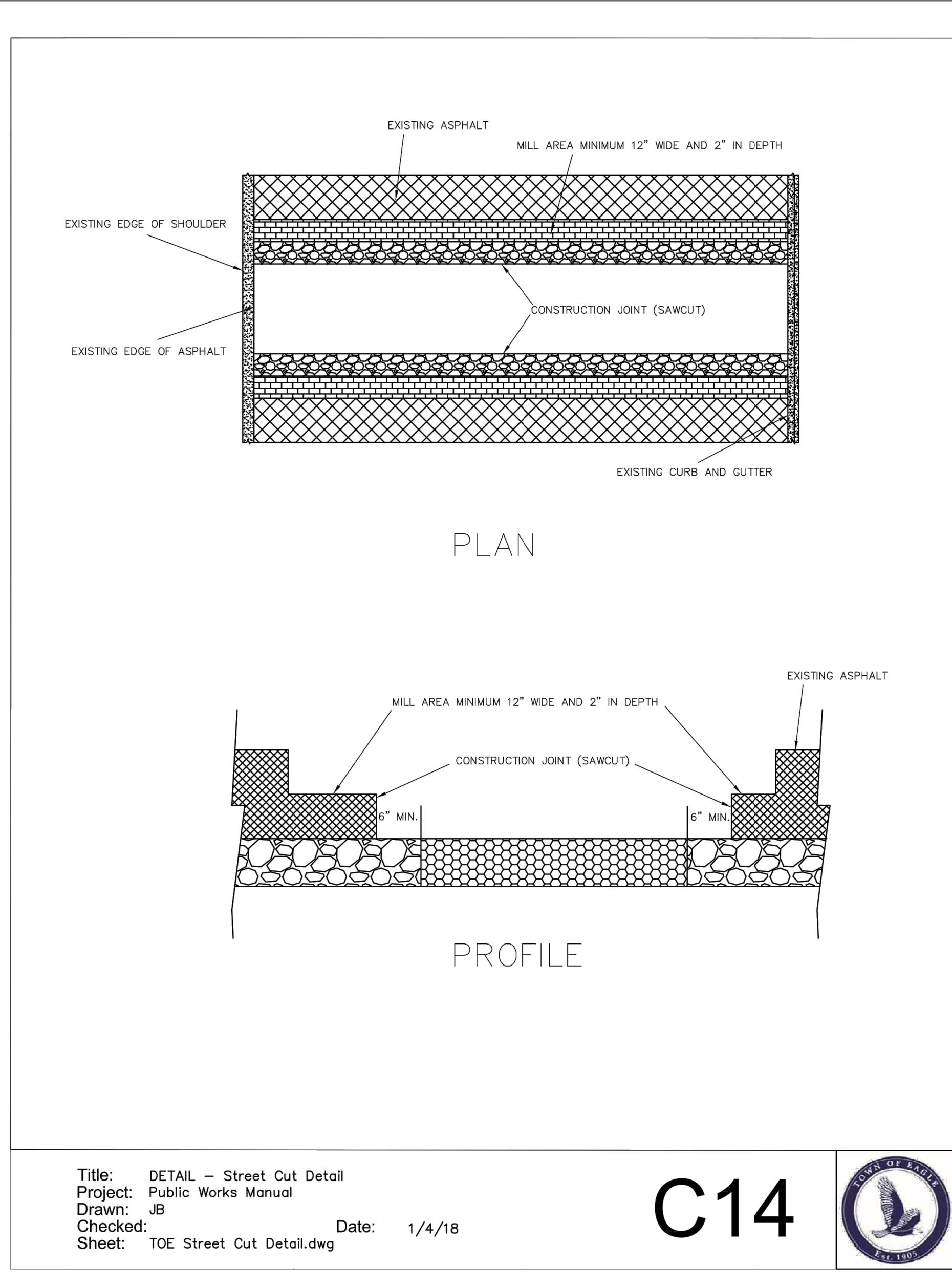
C13



435 EBY CREEK APARTMENTS  
435 EBY CREEK ROAD  
LOT 3, PERRY SUBDIVISION PHASE 2  
EAGLE, COLORADO

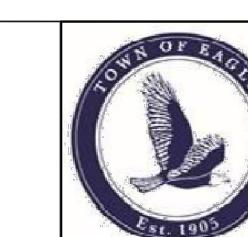
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SHEET TITLE  
TYPICAL ROAD DETAILS  
SHEET NO.  
C12.2



Title: DETAIL – Street Cut Detail  
Project: Public Works Manual  
Drawn: JB  
Checked: Date: 1/4/18  
Sheet: TOE Street Cut Detail.dwg

C14

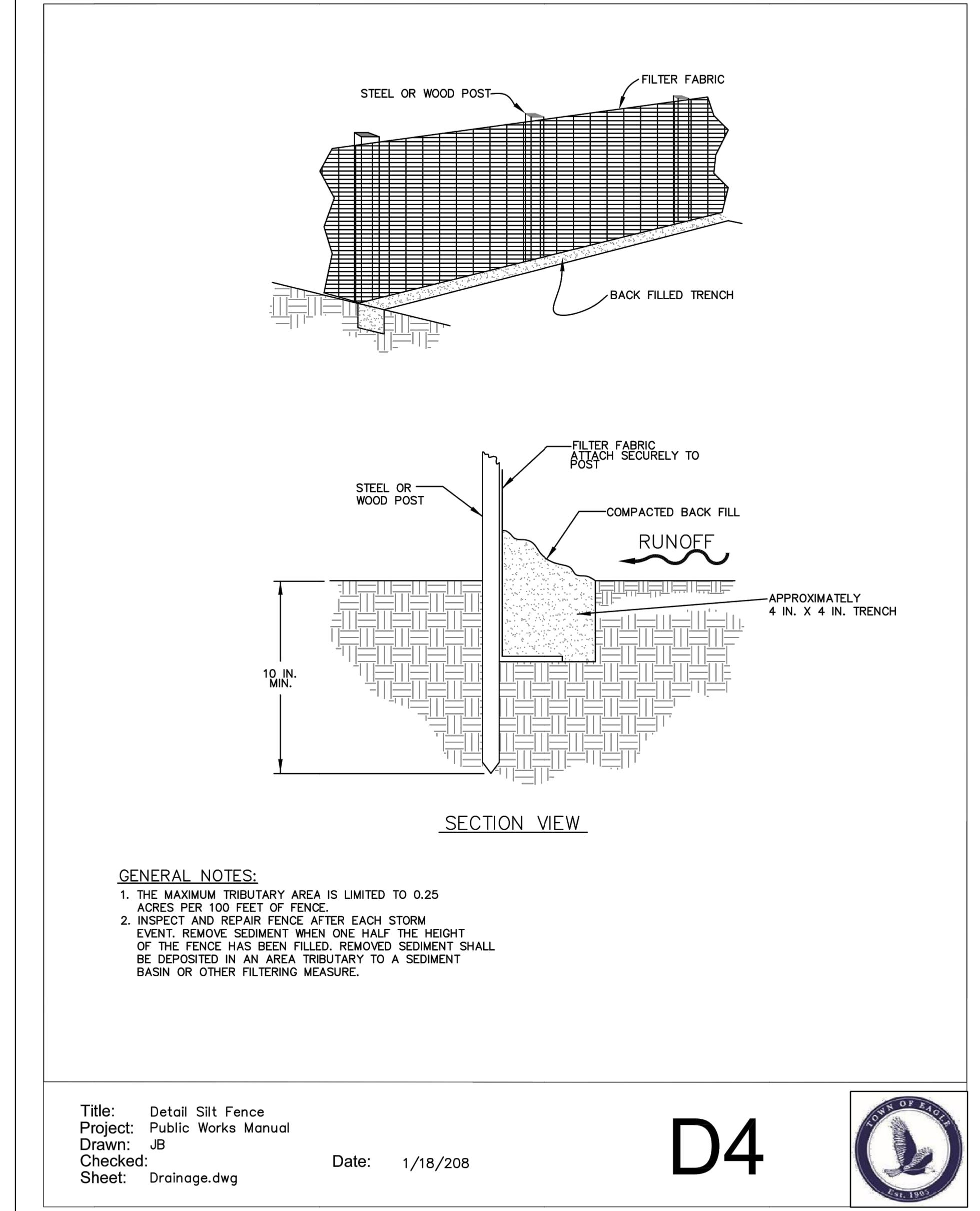
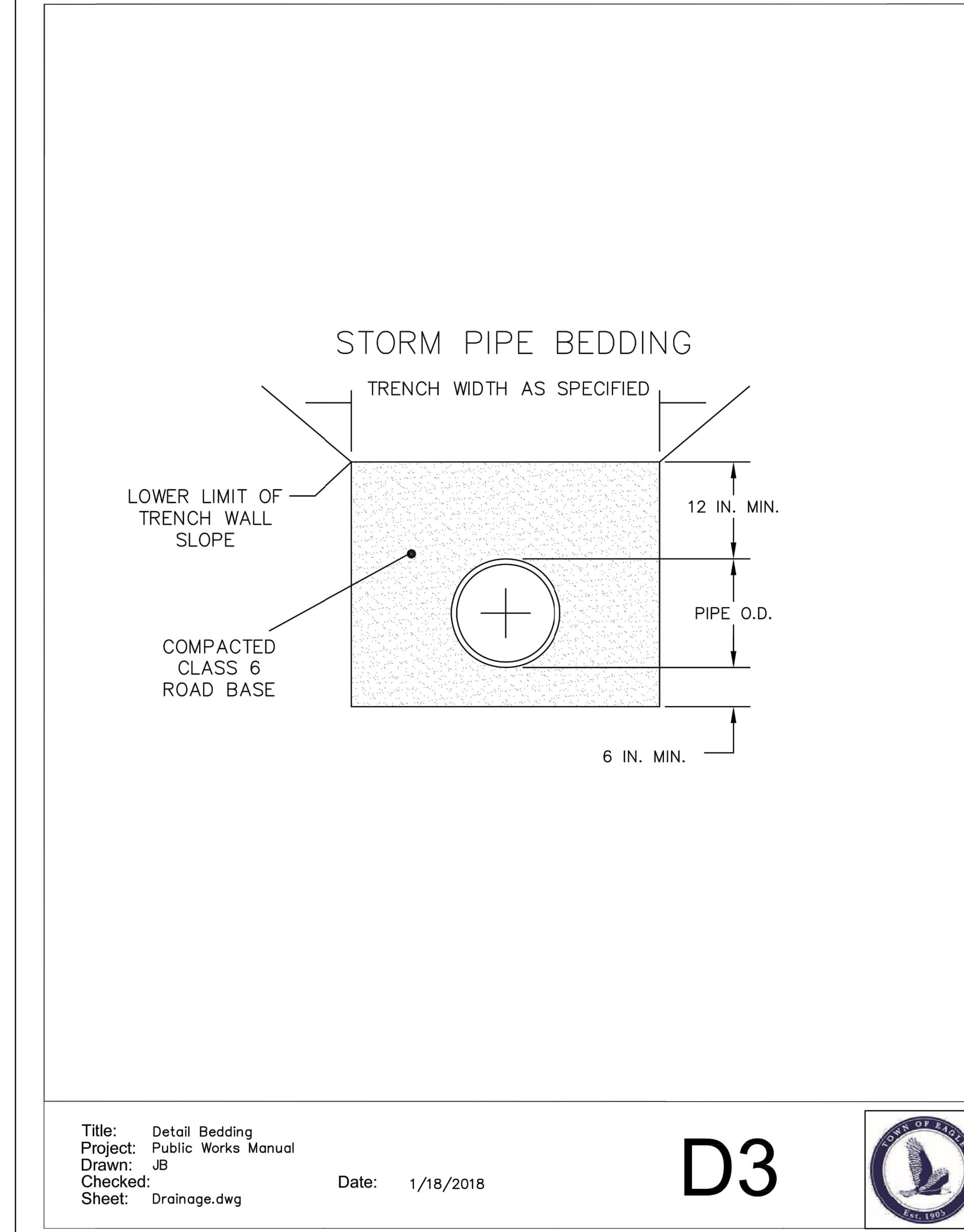
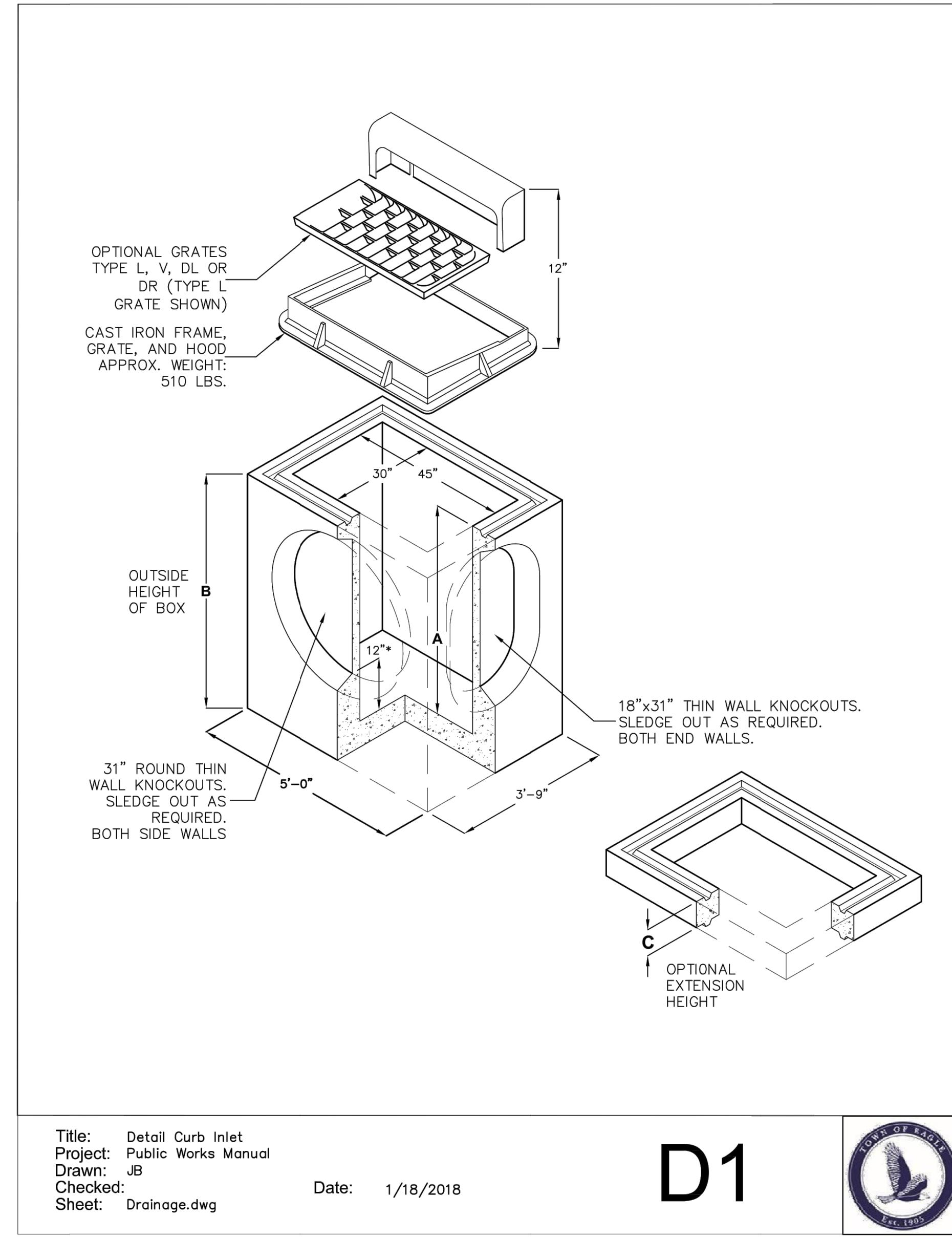


335 EBY CREEK APARTMENTS  
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SHEET TITLE  
TYPICAL ROAD  
DETAILS

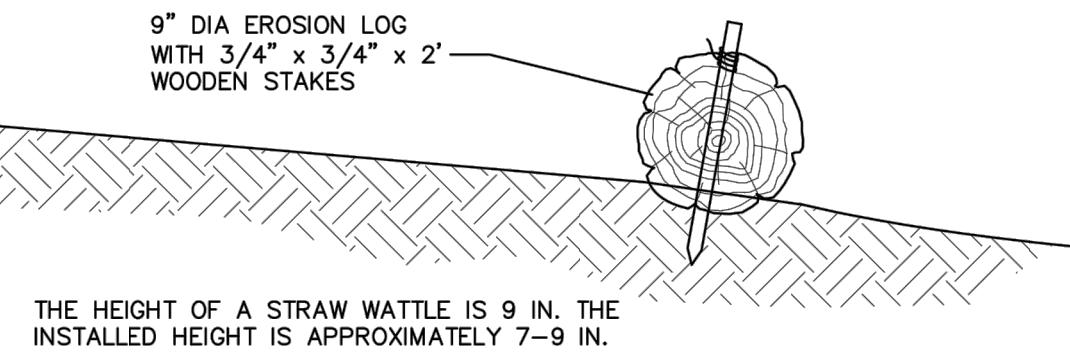


435 EBY CREEK APARTMENTS  
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LOT 3, PERRY SUBDIVISION PHASE 2  
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SHEET TITLE  
TYPICAL STORM  
SEWER DETAILS  
SHEET NO.  
**C13.1**



### EROSION LOG WATTLE DETAIL

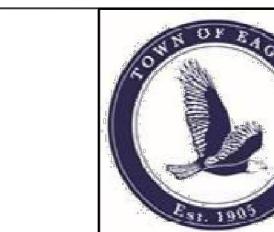
N.T.S.

This sediment barrier is designed for low surface flows not to exceed 1 cfs for small areas, slope flatter than 3:1 or short slopes, and where silt fences are not practicable. Straw Wattles can also be installed on contour on steeper slopes to reduce surface, spread water flow and capture sediment. The following is a brief description of the Straw Wattles, their uses and installation.

1. The height of a Straw Wattle is 9 in. The installed height is approximately 5 – 7 in. The standard length of Straw Wattles is 25 ft., however other lengths will be made upon request.
2. Straw Wattles can be installed on contour of slope, with a slight downslope angle at the end of each row to allow for slow drainage during heavy precipitation. They can also be used at the top of slopes to prevent sheeting over the edge, and they can be used at the toe of slopes. Straw Wattles can also be used along sidewalks and curbs and around storm drains and inlets to prevent sediment pollution.
3. Straw Wattles can be used to replace silt fences, straw bale dikes and sand bag barriers. They can also be placed in drainage swales to slow flows and capture sediment: they can be used as level spreaders to prevent concentrated flow, and in place of earthen berms or dikes.
4. Straw Wattles should be installed on surface.
5. Lay the Wattle in the trench and stake with 3/4" X 3/4" X 18" or 24" wood stakes at each end and 4-foot on center. When installing running lengths, Straw Wattle ends should be buttoned firmly together to prevent leakage, and securely staked together but overlapping is acceptable.
6. When used on slopes, Straw Wattles do not require removal and can be abandoned in place. However, when used for temporary purposes such as along sidewalks or curbs, or around storm drains, they can be removed and reused.
7. Wattles installed on slopes that are steeper than 2:1 shall be spaced at 10' intervals rather than 20' intervals.

Title: Erosion Log  
 Project: Public Works Manual  
 Drawn: JB  
 Checked:    
 Sheet: Erosion Log.dwg Date: 1/18/2018

D5

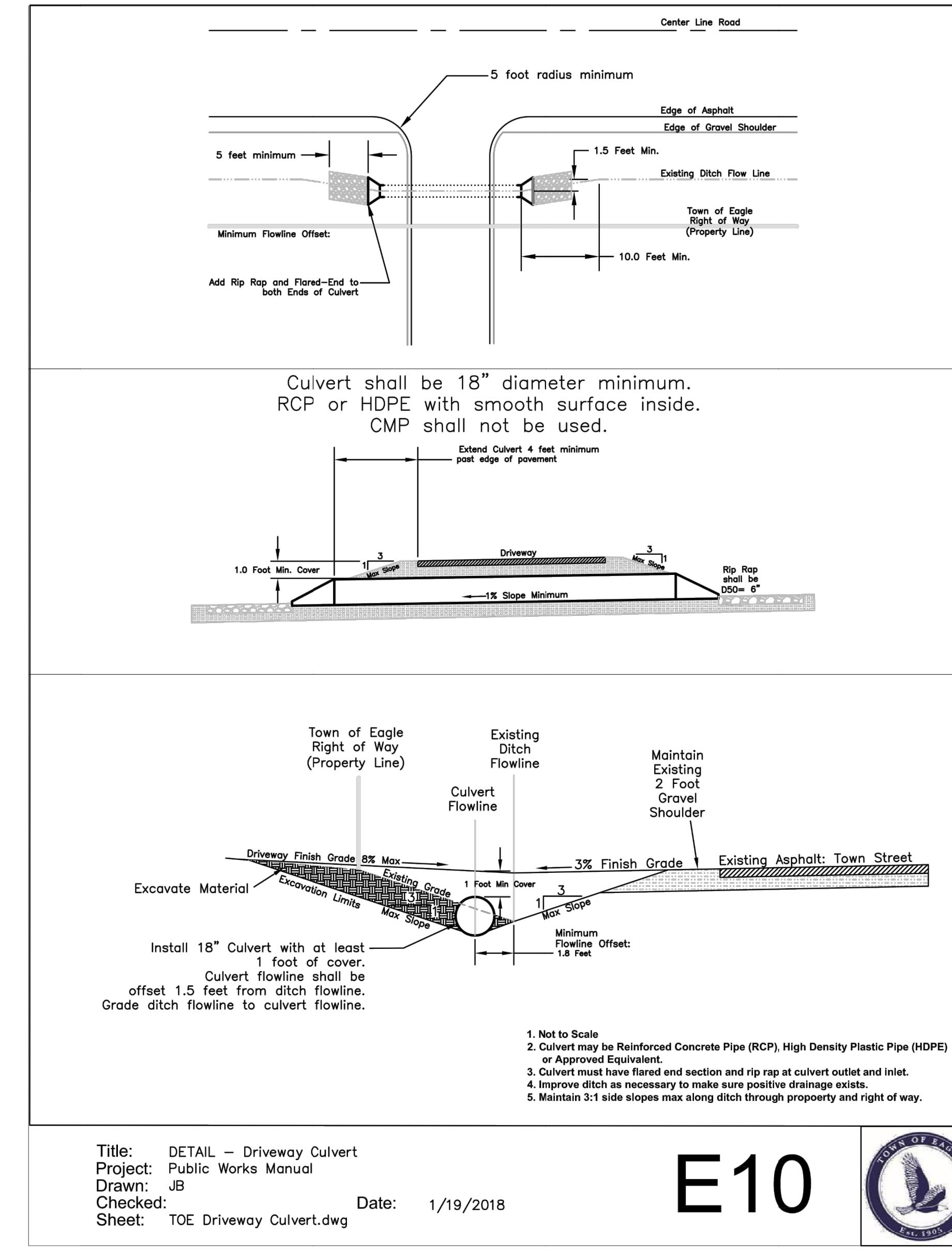
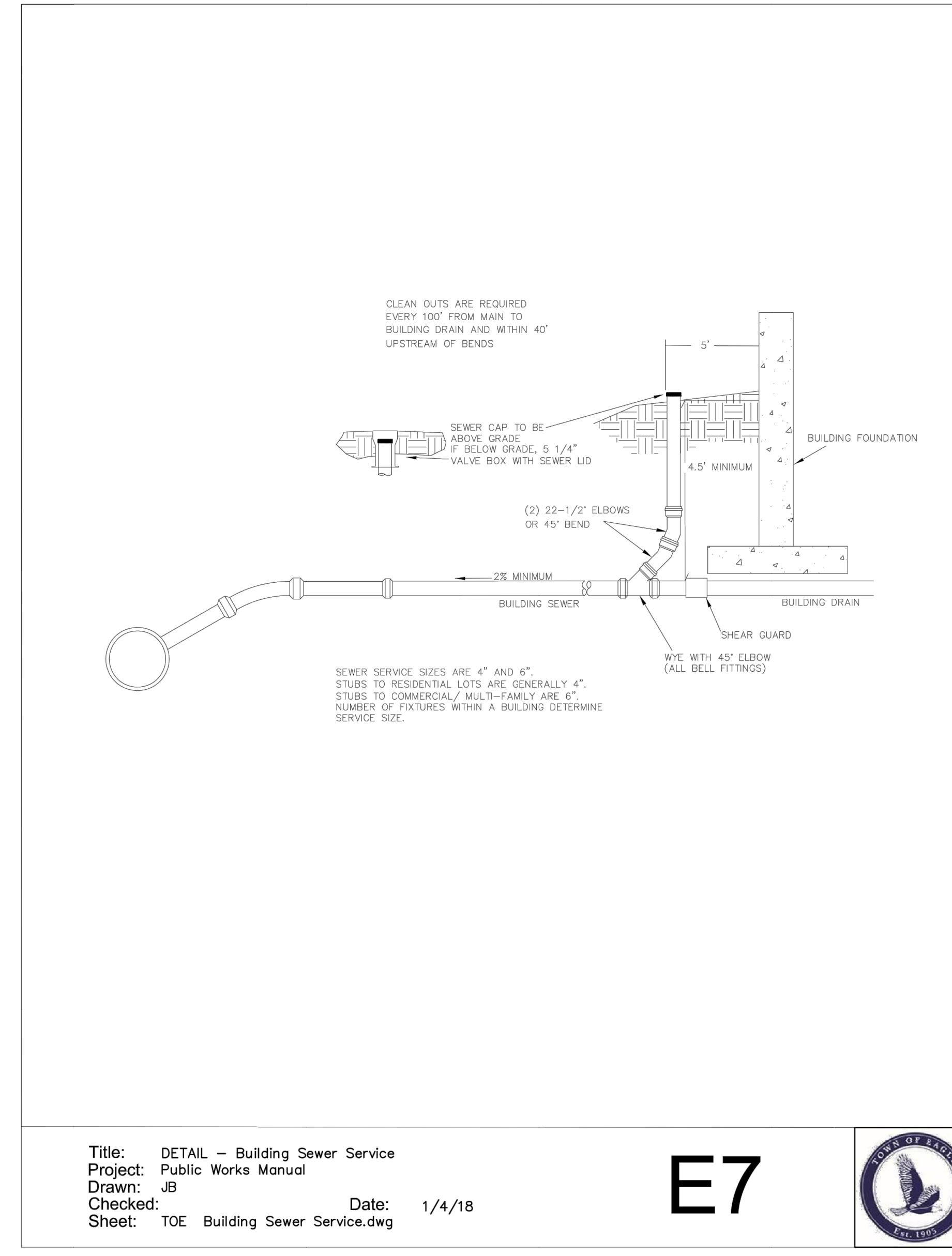
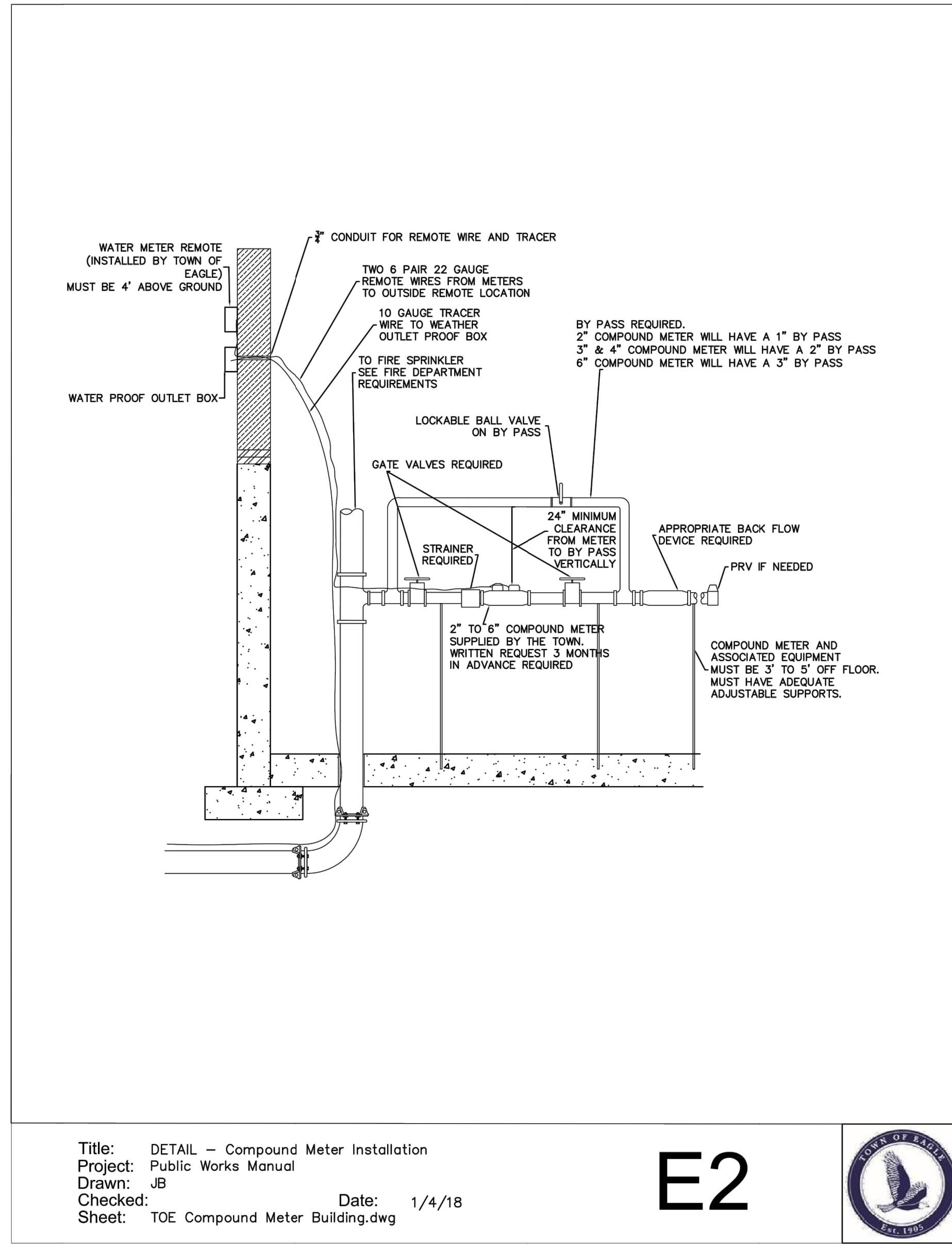


435 EBY CREEK APARTMENTS  
 435 EBY CREEK ROAD  
 LOT 3, PERRY SUBDIVISION PHASE 2  
 EAGLE, COLORADO

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DESIGN BY:	J. YARNELL	NO. ISSUE / REVISION	DATE	NAME
DRAWN BY:	J. YARNELL	1. SCHEMATIC DESIGN (NO CONST.)	4/15/22	J.Y
REVIEWED BY:	J. YARNELL	2. DESIGN DEVELOPMENT (NO CONST.)	5/19/22	J.Y
PROJECT NO.:	22-011	3. DEVELOPMENT PERMIT RESUBMISSION	6/24/22	J.Y
DATE:	6/24/2022	4.	J.Y	AND EXPRESS WRITTEN FROM CIVIL DESIGN, LLC.
5.			J.Y	

SHEET TITLE  
 TYPICAL STORM  
 SEWER DETAILS  
 SHEET NO.  
 C13.2



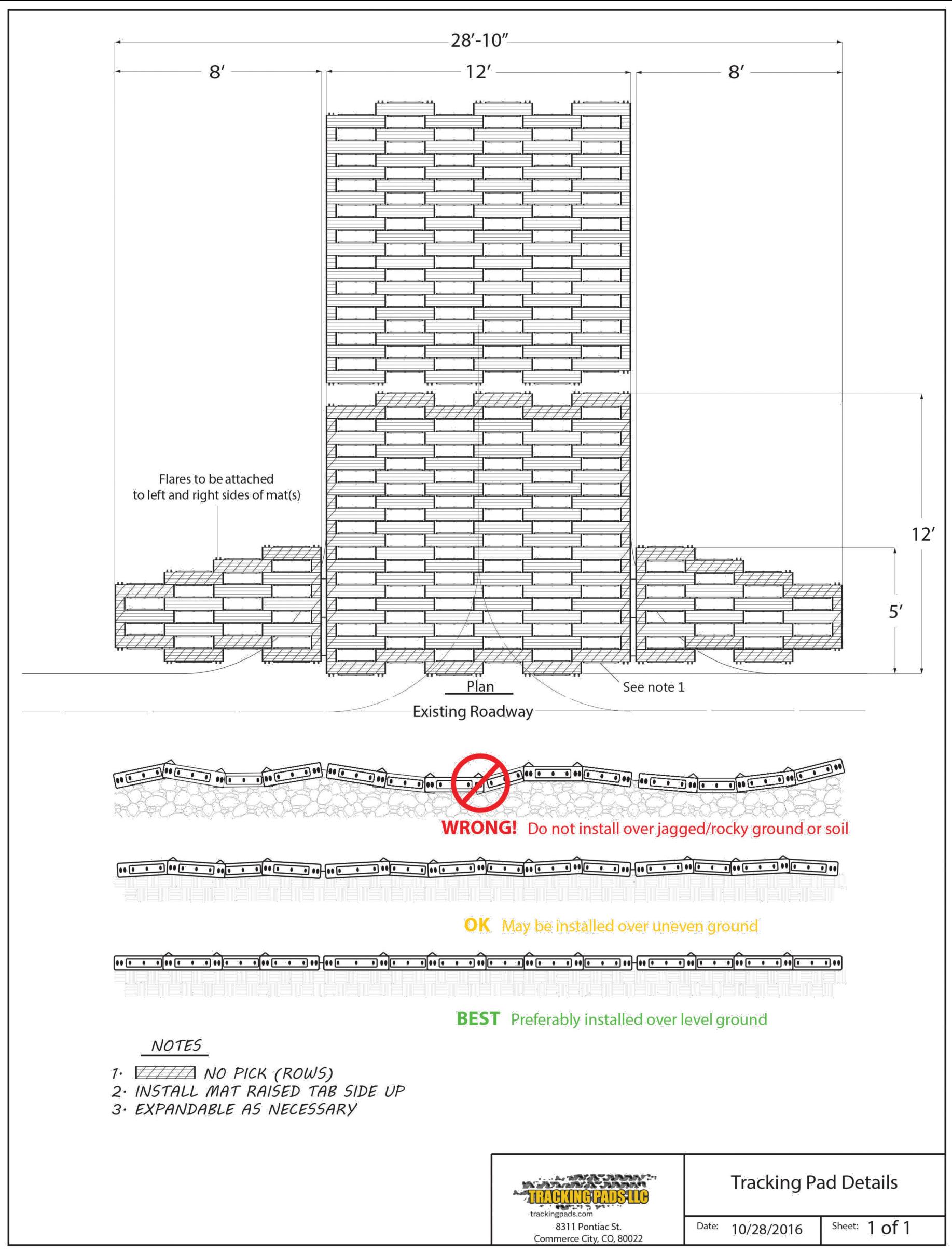
**.35 EBY CREEK APARTMENTS**

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NO.	ISSUE / REVISION	DATE	NAME
1.	SCHEMATIC DESIGN (NO CONST.)	4/15/22	JJY
2.	DESIGN DEVELOPMENT (NO CONST.)	5/19/22	JJY
3.	DEVELOPMENT PERMIT RESUBMISSION	6/24/22	JJY
4.			JJY
5.			JJY

DESIGN BY:	J. YARNELL
DRAWN BY:	J. YARNELL
REVIEWED BY:	J. YARNELL
PROJECT NO.:	22.011
DATE:	6/24/2022
<p><b>SHEET TITLE</b></p> <p><b>TYPICAL BUILDING DETAILS</b></p>	
<p><b>SHEET NO.</b></p> <p><b>C14.1</b></p>	



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TYPICAL  
BUILDING  
DETAILS

C14.2



