

# WANDERLUST DOG RANCH #2

45 EAGLE PARK EAST DRIVE  
EAGLE, COLORADO 81631

PARCEL 3, EAGLE PARK EAST  
TOWN OF EAGLE

PARCEL #1939-332-03-003

## PERMIT SET-INTERIOR REMODEL REV. PERMIT #5766 30 November 2022

ARCHITECT  
GIES ARCHITECTS, INC.  
PO BOX 2195  
EAGLE, COLORADO 81631  
970-328-9280

CONTRACTOR  
CHC MOUNTAIN STRUCTURES  
PO BOX 3026  
EAGLE, CO 81631  
970-328-3040

STRUCTURAL  
NA

OWNERS  
JASON HERSHAM  
WANDERLUST DOG RANCH  
PO BOX 5366  
EAGLE, CO 81631

MECHANICAL  
SKYLINE MECHANICAL INC  
16 ALPINE RANCH RD  
GYPSUM, CO 81631  
970-524-6809

PLANNING  
MAURIELLO PLANNING GROUP  
EAGL, CO 81631  
970-390-8530

### GENERAL CONDITIONS:

- LICENSES AND PERMITS: ALL WORK SHALL BE PERFORMED UNDER PERMIT FROM ALL GOVERNING AUTHORITIES AND SHALL BE INSPECTED BY THEIR PERSONNEL AND OBSERVED BY THE ARCHITECT.
- INSURANCE: CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY CONTRACTOR'S LIABILITY INSURANCE (PERSONAL AND PROPERTY) AND WORKER'S COMPENSATION MEETING MINIMUM COLORADO REQUIREMENTS, AND SHALL PROVIDE PROOF OF SAME UPON REQUEST.
- SAFETY: CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF EMPLOYEES, WORKERS, OCCUPANTS AND THE PROPERTY ITSELF. MUST MAINTAIN TWO (2) ABC FIRE EXTINGUISHERS ON THE JOB SITE FROM START TO FINISH.
- MEASUREMENTS: BEFORE ORDERING MATERIALS OR DOING ANY WORK, CONTRACTOR WILL VERIFY MEASUREMENTS ON SITE.
- MATERIALS: ALL MATERIALS TO BE NEW, IN GOOD CONDITION AND OF STANDARD GRADE OR BETTER AS CALLED OUT IN THE CONSTRUCTION DOCUMENTS. IF ANY SPECIFIED PRODUCT IS UNAVAILABLE OR IF THE CONTRACTOR WISHES TO SUGGEST AN ALTERNATIVE, CONTACT THE ARCHITECT FOR VERIFICATION.
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- DEBRIS: SITE AND BUILDING SHALL BE KEPT IN A NEAT AND SAFE CONDITION AT ALL TIMES. CONTRACTOR TO PROVIDE A DUMPSTER ON SITE OF A SIZE NECESSARY TO ACCOMMODATE ALL TRASH REMOVAL NEEDS.
- CHANGES: OWNER AND CONTRACTOR MAY NEGOTIATE ADDITIONS, DELETIONS, OR REVISIONS TO THE SCOPE OF WORK AND ADJUST THE CONTRACT SUM ACCORDINGLY. A WRITTEN RECORD OF EACH CHANGE SHALL BE KEPT BY CONTRACTOR FOR FINAL ACCOUNTING. THE ARCHITECT WILL BE MAILED A COPY OF ALL CHANGES.

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- SIGNAGE: CONTRACTOR AND ARCHITECT MAY ERECT A SIGN IDENTIFYING THEMSELVES FOR THE DURATION OF THE PROJECT. THE SIGN MUST BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL REGULATIONS AND SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- DESIGN: DRAWINGS AND DESIGN CONCEPT ARE PROPERTY OF THE ARCHITECT AND ANY USE OF SUCH DRAWINGS AND CONTENT FOR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT FROM THE ARCHITECT IS STRICTLY PROHIBITED BY LAW.
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### GENERAL NOTES:

- DO NOT SCALE DRAWINGS!
- ALL GENERAL NOTES & GENERAL CONDITIONS NOTES TO BE CONSIDERED PART OF THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR REQUIRED TO NOTIFY ARCHITECT OF ALL DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS AND AWAITS CLARIFICATION PRIOR TO COMMENCEMENT.
- CONTRACTOR TO VERIFY ALL UTILITY INFORMATION AT JOB SITE BEFORE COMMENCING CONSTRUCTION.
- REFER TO ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR COORDINATION OF ALL WORK AS REQUIRED TO PREVENT CONFLICTS BETWEEN VARIOUS TRADES DURING CONSTRUCTION.
- ALL WORK TO BE INSTALLED IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND REGULATIONS AS WELL AS SOILS TEST INFORMATION AND SOILS ENGINEERS RECOMMENDATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL TIMES.
- PROVIDE FLASHING AND/OR COUNTER FLASHING AND WATERPROOFING AT ALL CONDITIONS WHERE ROOFING ABUTS VERTICAL WALLS AND WATERPROOF ALL FLAT SURFACES AT THE BUILDING PERIMETER (18" MIN).
- PROVIDE WATERPROOF MEMBRANE 8'-0" (MIN) UP THE EAVES OVERHANG AT ALL ROOF CONDITIONS.
- ALL EXPOSED FLASHING AND GUTTERS TO BE COPPER.
- PROVIDE ONE HOUR RATED FLUE CHASES.

DRAWING INDEX	
T.I.	TITLE PAGE
C100	ILC/PARKING PLAN
A100	EXIST. MAIN & UPPER LEVEL PLANS
A101	PROPOSED MAIN LEVEL PLAN
A102	PROPOSED UPPER LEVEL PLAN
A103	DETAILS
E100	EXISTING ELECTRICAL PLANS
E101	PROPOSED ELECTRICAL PLANS

CODE SUMMARY	
CLASS OF WORK: INTERIOR REMODEL	
TYPE OF CONSTRUCTION: TYPE V-B	
USE AND OCCUPANCY: BUSINESS GROUP-B: DOG KENNEL DAY USE ONLY (3,302 SF) MECH'L EQUIP RM (149 SF) STAFF BREAK ROOM (724 SF) OFFICE (133 SF) MERCANTILE GROUP-M RETAIL/RECEPTION (814 SF) INDUSTRIAL-WAREHOUSE (3,120 SF)	
TOTAL AREA: 8,302 SF	
LEVELS: EXISTING 2 STORY	
LOAD OCCUPANCY:	
BUSINESS-B 100 GROSS 5,003 GFA / 100 GROSS-50 PEOPLE	
MECHANICAL EQUIP. ROOM 300 GROSS 149 GFA / 300+2 PEOPLE	
INDUSTRIAL WAREHOUSE 500 GROSS 3,120 GFA/500+6 PEOPLE	
TOTAL OCCUPANCY LOAD: 58 PEOPLE	
EXISTING BUILDING GROSS FLOOR AREA: MAIN LEVEL: 4,103 SF UPPER LEVEL: 4,199 SF TOTAL EXISTING AREA: 8,302 SF	
PROPOSED INTERIOR REMODEL GFA: MAIN LEVEL : 2,591 SF UPPER LEVEL: 2,591 SF TOTAL : 5,182 SF	

PARKING REQUIREMENTS: PARKING REQ. FOR WANDERLUST: MEDICAL/DENTAL/VET, OFFICE ONE PER 250 SF OF FLOOR AREA USED OR DESIGNED FOR OFFICE OR PUBLIC USE
WANDERLUST AREA FOR OFFICE OR PUBLIC USE=1,131 SF = 6,324 SPACES (RECEPTION/ RETAIL/814 SF/ OFFICE(33 SF/ STAFF BREAK RM(724)=1,131 SF)
PARKING REQ. FOR REMAINDER OF BUILDING: INDUSTRIAL, MANUFACTURING/WAREHOUSE/HOLE SALE BUSINESS ONE PER 1,000 SF OF FLOOR AREA USED
WORKSHOP/WAREHOUSE: 3,120 SF = 3,120 SPACES (UNIT 5 IS VACANT, THE AREA HAS BEEN AS STORAGE AS THAT IS IN USE IN UNIT #4. IF UNIT #5 BECOMES OCCUPIED WITH A DIFFERENT USE, THEN NEEDS TO COMPLY WITH THE PARKING REQ. FOR THAT USE. IT IS THE INTENTION OF THE OWNER THAT UNIT #4 AND #5 WILL BE USED FOR DOG PLAY AREA.
TOTAL PARKING REQUIRED: 1044 SPACES TOTAL PARKING PROVIDED: 18 SPACES.

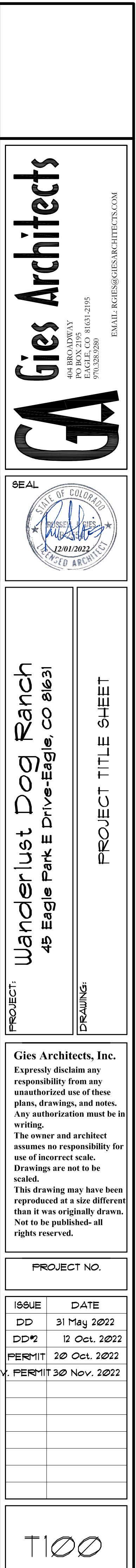
CODES	
TOWN OF EAGLE CODES:	
2015 IBC- INCLUDING "FIRE RESISTANCE MANUAL"	
2015 IEBC- CHAPTER 5-CLASSIFICATION OF WORK	
1. SECTION 505-ALTERATION-LEVEL 2	

2015 IRC-APPENDIX F & G
2015 IMC
2015 IPC
2020 NEC
2015 INT. ENERGY CODE
2015 INT. FUEL GAS

ZONING SUMMARY	
LOT SIZE: 0.423 ACRES (18,426 SF)	
ZONING: GENERAL COMMERCIAL-GC	
EXISTING SITE COVERAGE: 4103 SF (22%) NO CHANGE	
EXISTING IMPERVIOUS COVERAGE: 11,149 SF (60%) NO CHANGE	
HEIGHT: 35' MAX, EXISTING BUILDING 25'-0"	
SET BACK: FRONT: 11' STREET (50') EXISTING BUILDING 64'-0" SIDE: 12'-0" EXIST. BUILDING NORTH: 12'-0", SOUTH: 22'-0" REAR: 15'-0" EXISTING BUILDING 56'-0"	

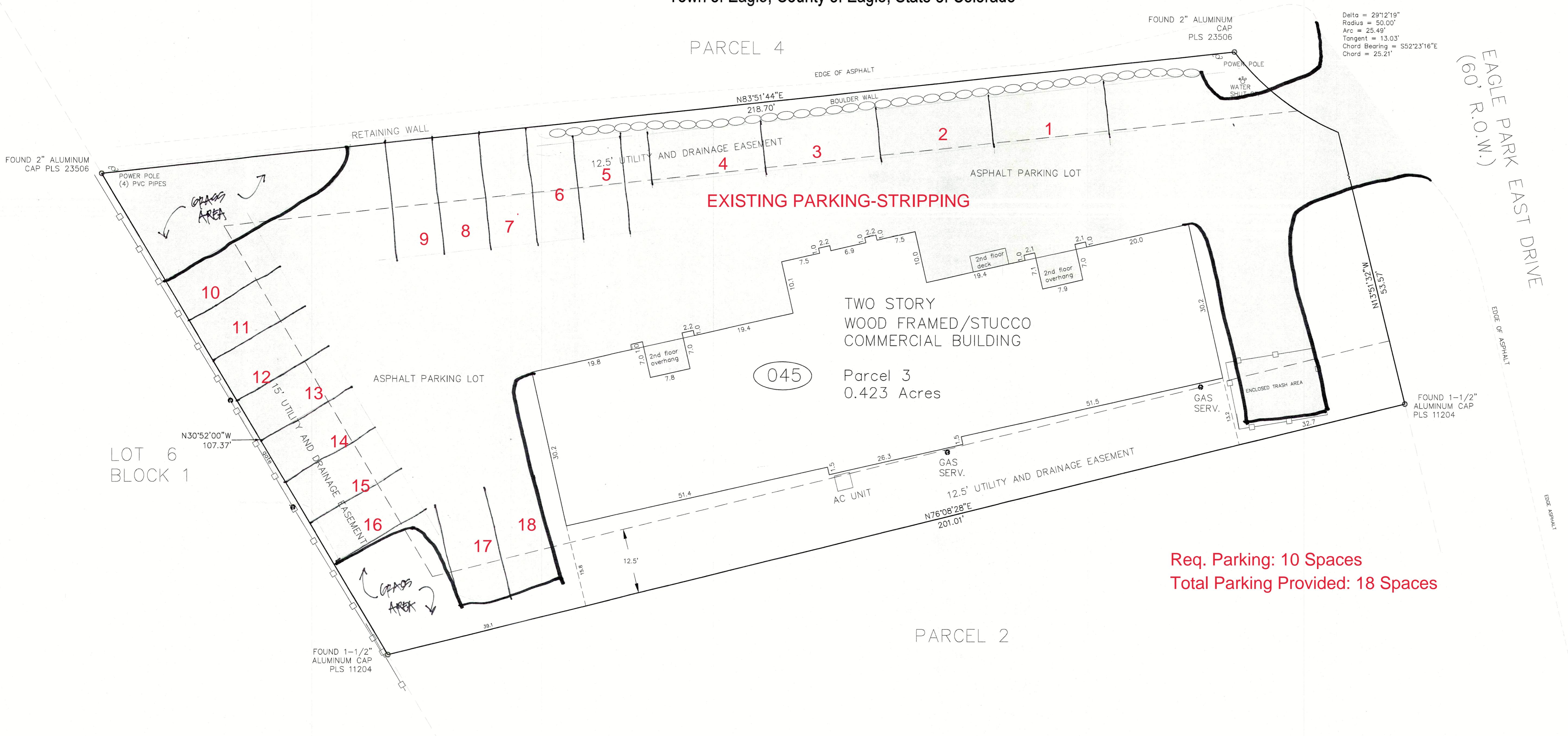
PLUMBING FIXTURE COUNT	
2015 IBC TABLE 2302.1	
BUSINESS "B"	
WATER CLOSETS (TOILETS): EXISTING: 1 PROPOSED: 0 TOTAL: 2	
LAVS (SINKS): EXISTING: 2 PROPOSED: 0 TOTAL: 2	
SERVICE SINK: EXISTING: 0 PROPOSED: 0 TOTAL: 0	

T100
PROJECT NO.
ISSUE DATE
DD 31 May 2022
DD#2 12 Oct. 2022
PERMIT 20 Oct. 2022
REV. PERMIT 30 Nov. 2022
SEAL
STATE OF COLORADO GIES ARCHITECTS 12/01/2022
PROJECT: Wanderlust Dog Ranch 45 Eagle Park E Drive-Eagle, CO 81631
PROJECT TITLE SHEET
DRAWING:



# IMPROVEMENT LOCATION CERTIFICATE PARCEL 3, EAGLE PARK EAST

## Town of Eagle, County of Eagle, State of Colorado



DESCRIPTION  
Parcel 3, Eagle Park East, Town of Eagle, according to the Final Plat of Eagle Park East recorded April 18th, 1983, as Reception No. 254242 in the Office of the Clerk and Recorder, Eagle County, State of Colorado.

## NOTES:

- 1) DATE OF SURVEY: May 5, 2022
- 2) STREET ADDRESS: 045 Eagle Park East Drive
- 3) Improvements and Apparent Deed Line locations are based upon monuments found at the time of this survey, as shown and described hereon.
- 4) A Title Commitment was provided by Land Title Guarantee Company with an Effective Date 4/28/2022.

**CERTIFICATION**  
I hereby certify that this Improvement Location Certificate was prepared for Land Title  
Guarantee Company and Old Republic National Title Insurance Company and that this is NOT  
Land Survey Plat or Improvement Survey Plat, and that it is not to be relied upon for the  
establishment of fence, building, or other future improvements lines.

I further certify that the improvements on the above described parcel on this date, May 5, 2022 except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no APPARENT evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.

Patrick J. Quenon P.L.S. 3792  
Colorado Registered Professional  
Land Surveyor

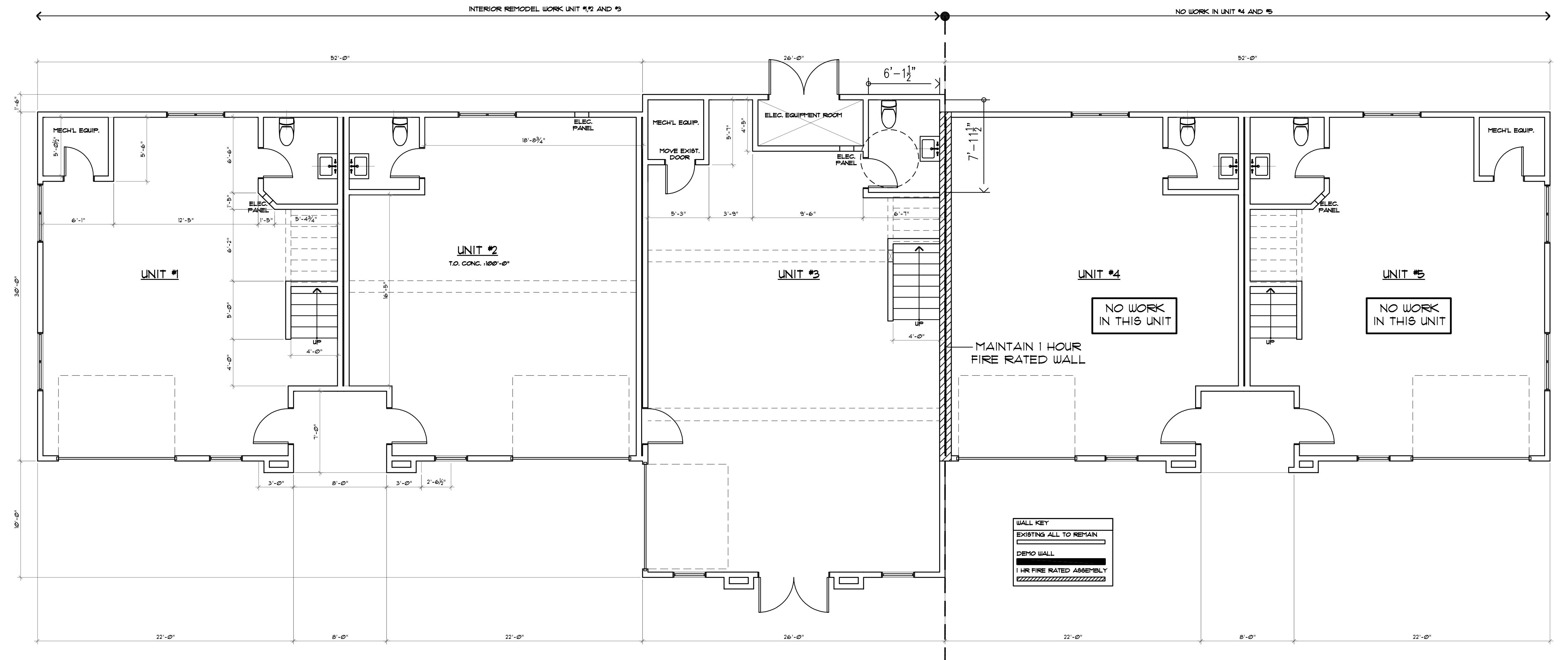


#### GRAPHIC SCALE

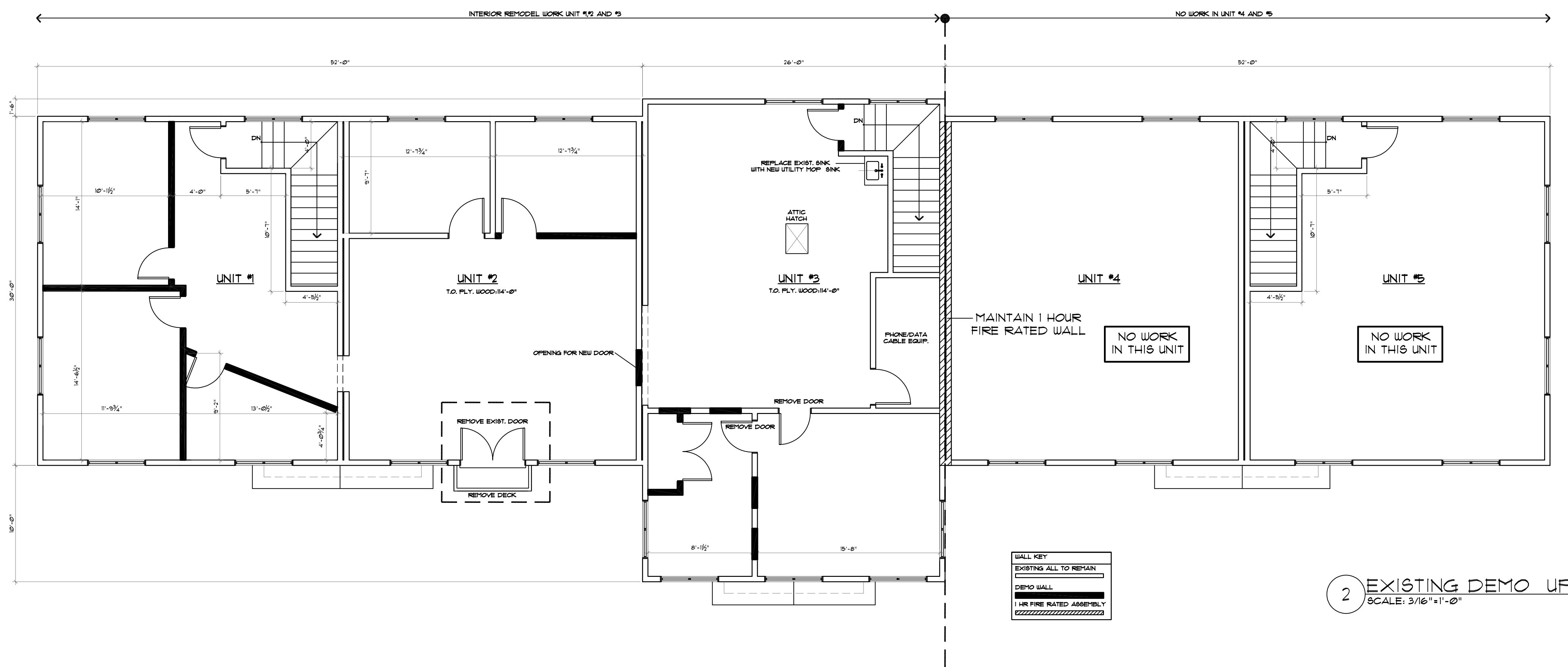
( IN FEET )

NOTICE: According to Colorado law you MUST commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

**IMPROVEMENT LOCATION CERTIFICATE  
PARCEL 3  
EAGLE PARK EAST  
Town of Eagle, County of Eagle, State of Colorado**

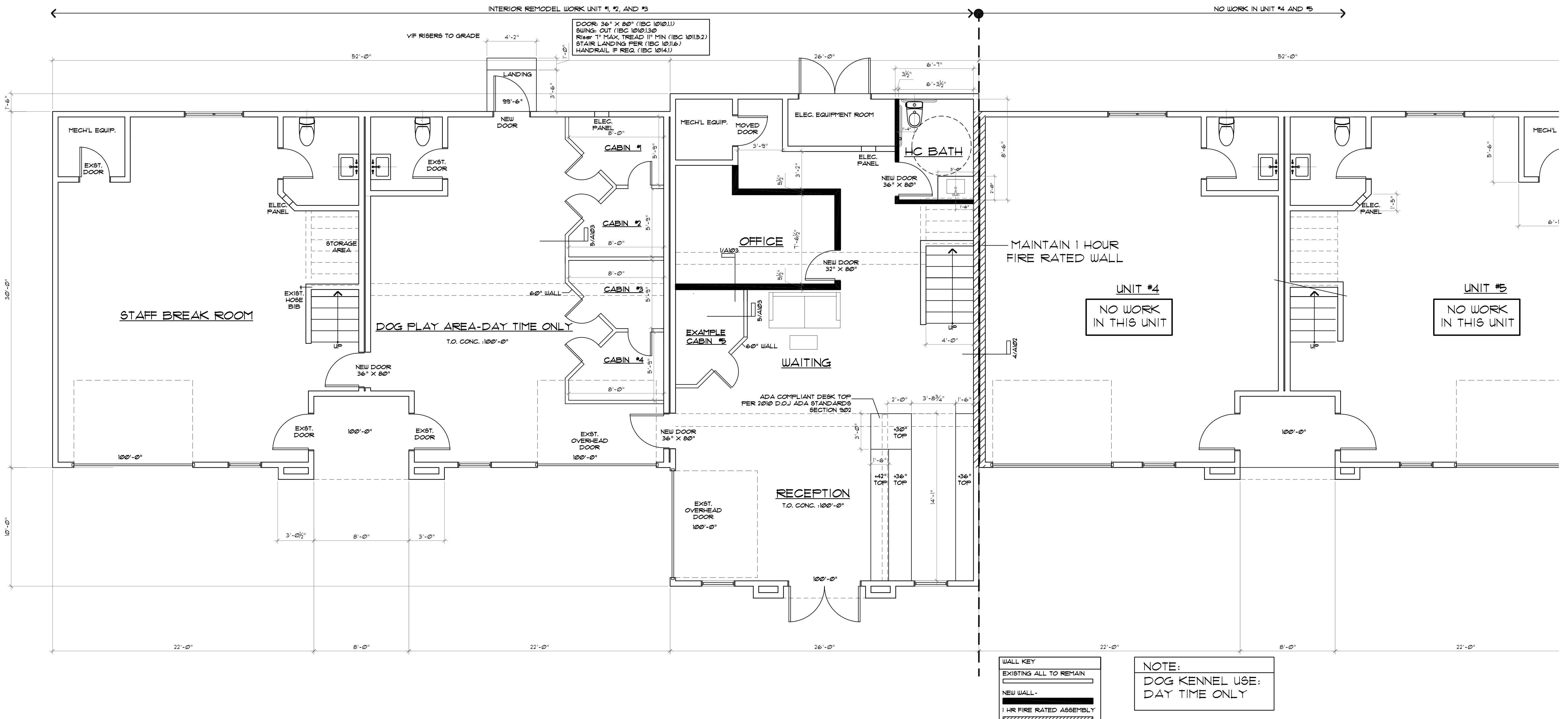


1 EXISTING DEMO MAIN LEVEL PLAN  
SCALE: 3/16"=1'-0"



2 EXISTING DEMO UPPER LEVEL PLAN  
SCALE: 3/16"=1'-0"





1 PROPOSED MAIN LEVEL PLAN  
SCALE: 1/4" = 1'-0"

ISSUE	DATE
DD	31 May 2022
DD#2	12 Oct. 2022
PERMIT	20 Oct. 2022

PERMIT 30 Nov. 2022

11. *What is the name of the author of the book?*

THE INFLUENCE OF CULTURE ON PARENTING

Table 1. Summary of the main characteristics of the four groups of patients.

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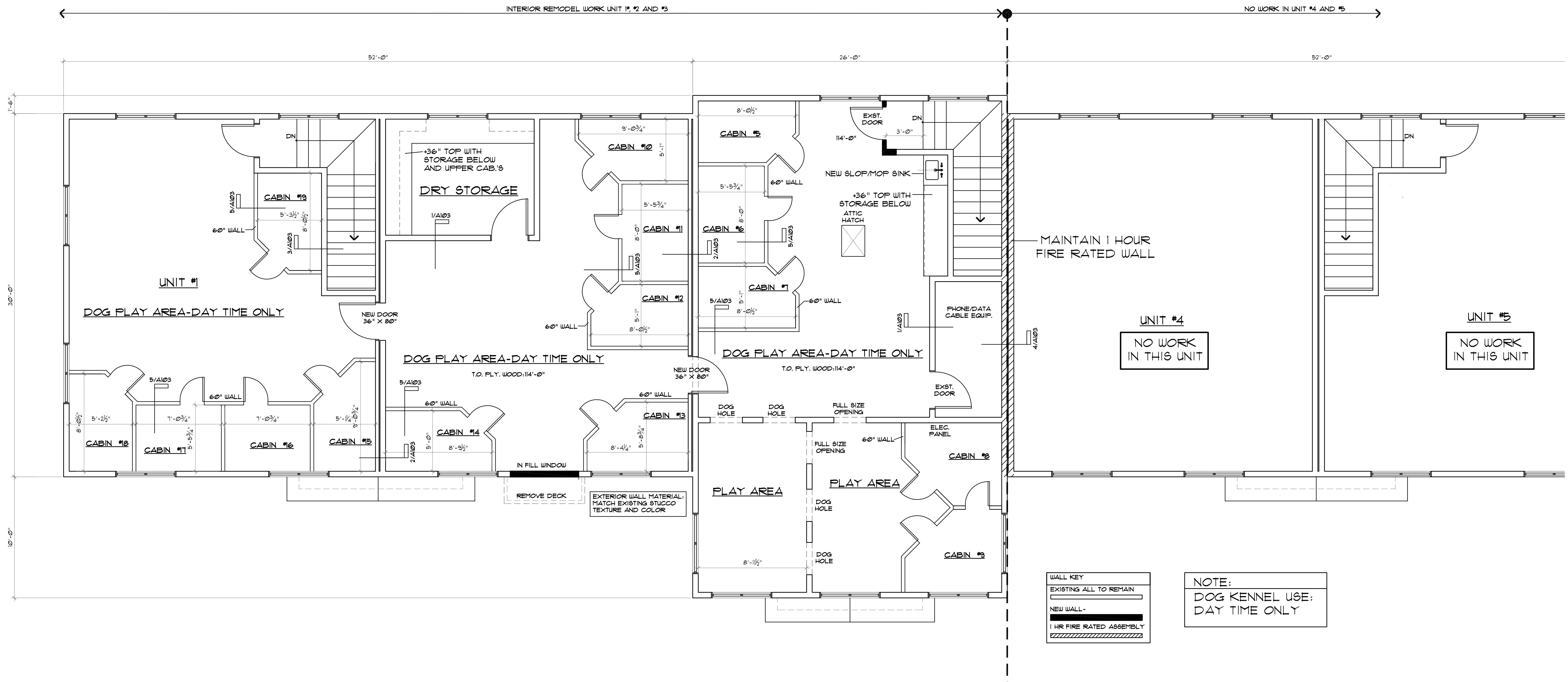
ANSWER

\_\_\_\_\_

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Any authorization must be in  
writing.  
The owner and architect

10

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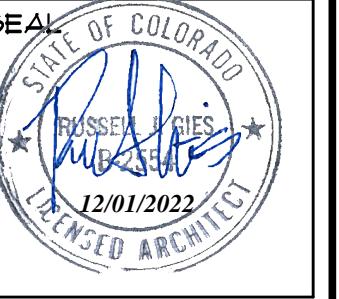
A1 ~~2~~

1 PROPOSED UPPER LEVEL PLAN  
SCALE 1/1000

BROADWAY  
BOX 2195  
FIE CO 81631-2195

404 BROADWAY  
PO BOX 2195  
EAGLE, CO 81631-2195

1



Wanderlust Dog Ranch  
45 Eagle Park E Drive-Eagle, CO 81631

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**Wanderlust Dog Ranch**

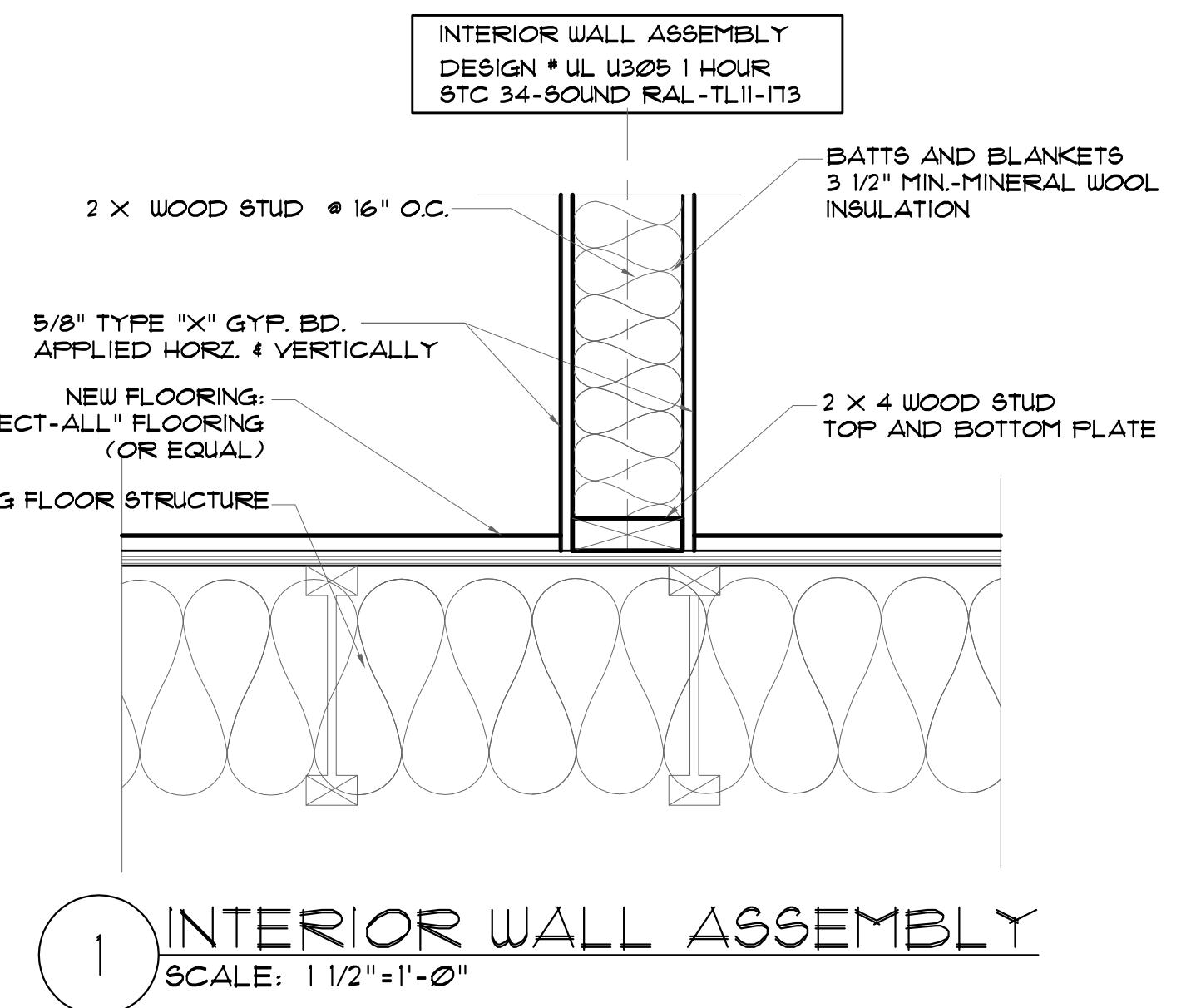
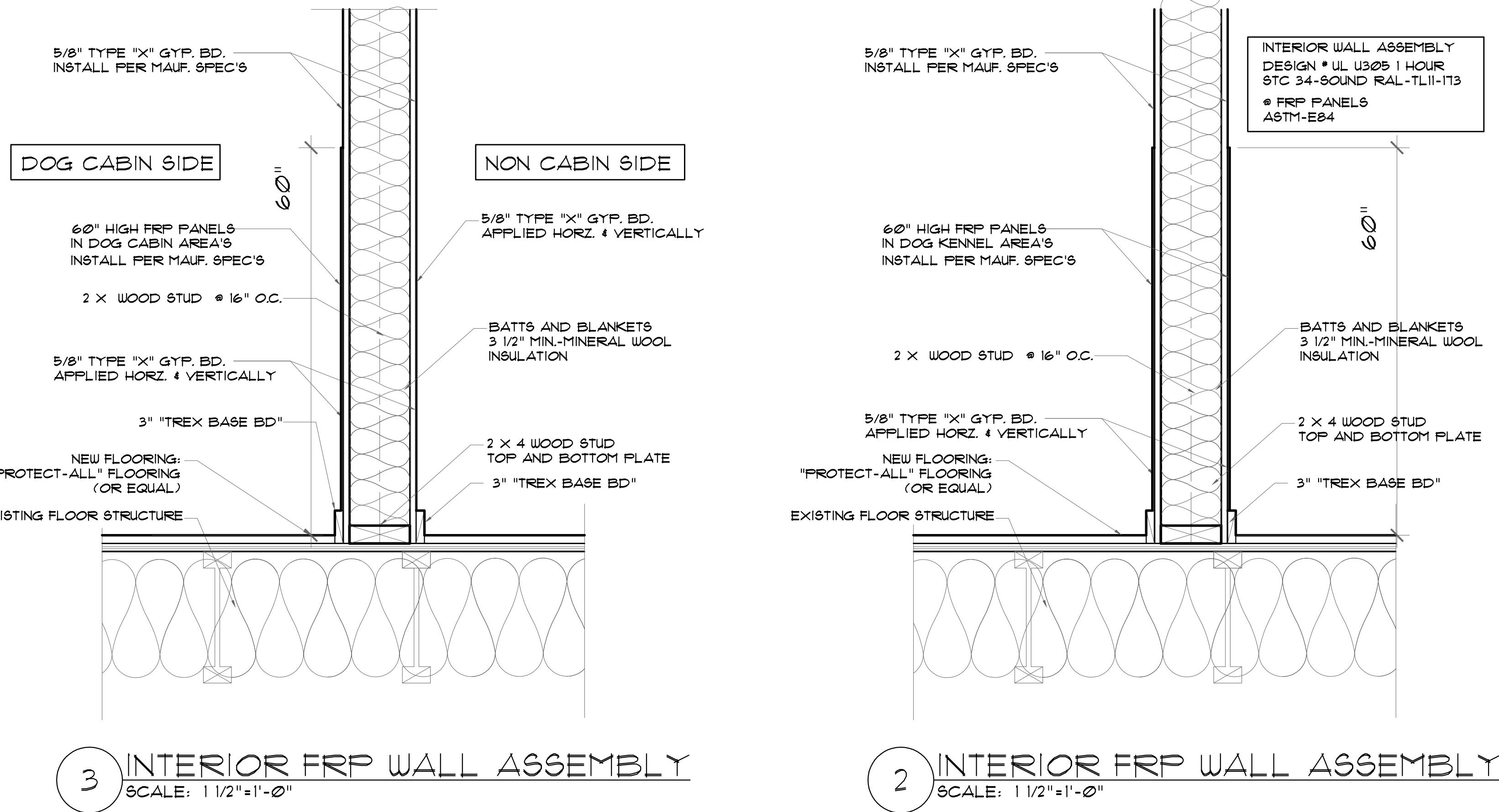
45 Eagle Park E Drive-Eagle, CO 81631

DETAILS

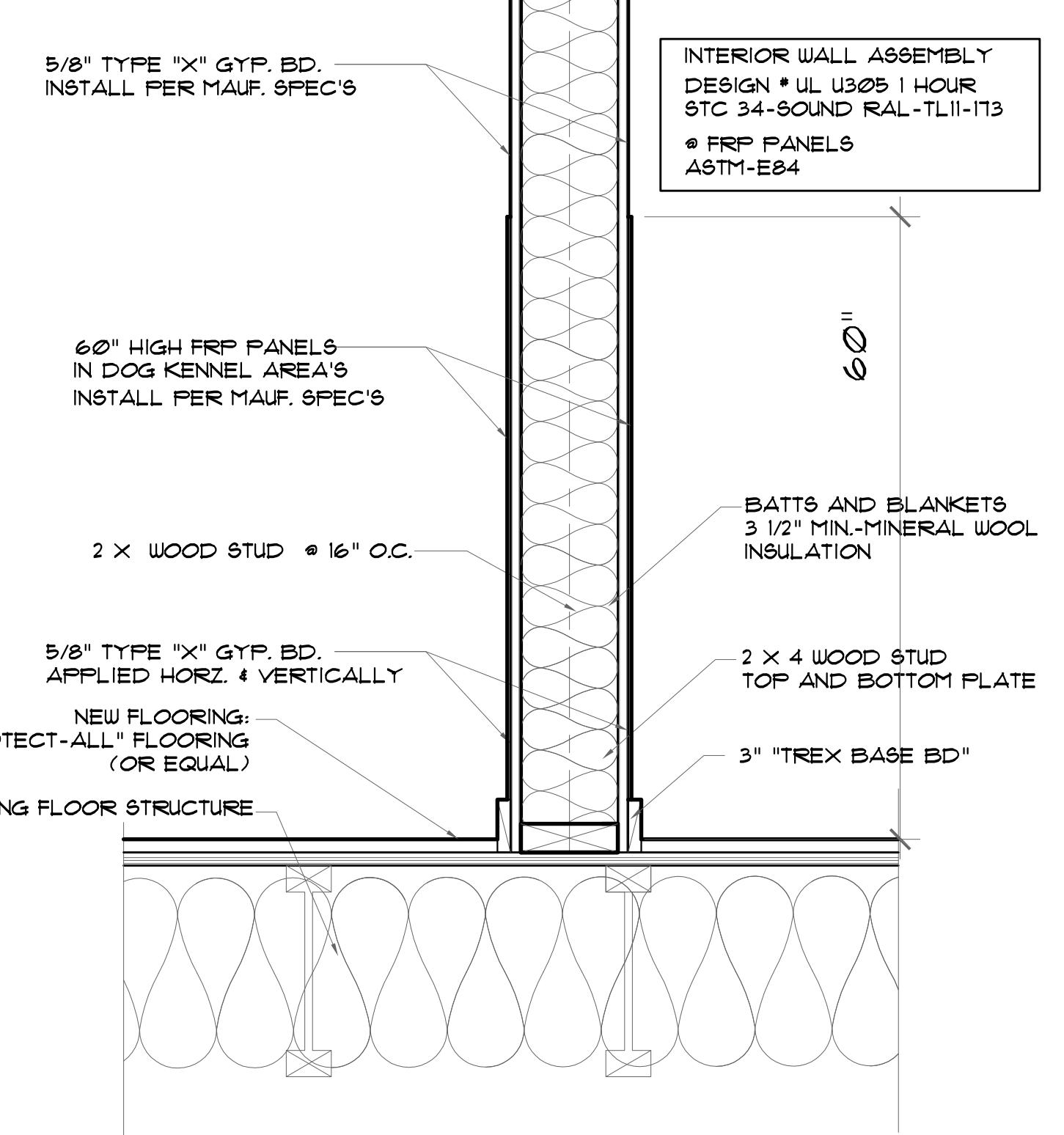
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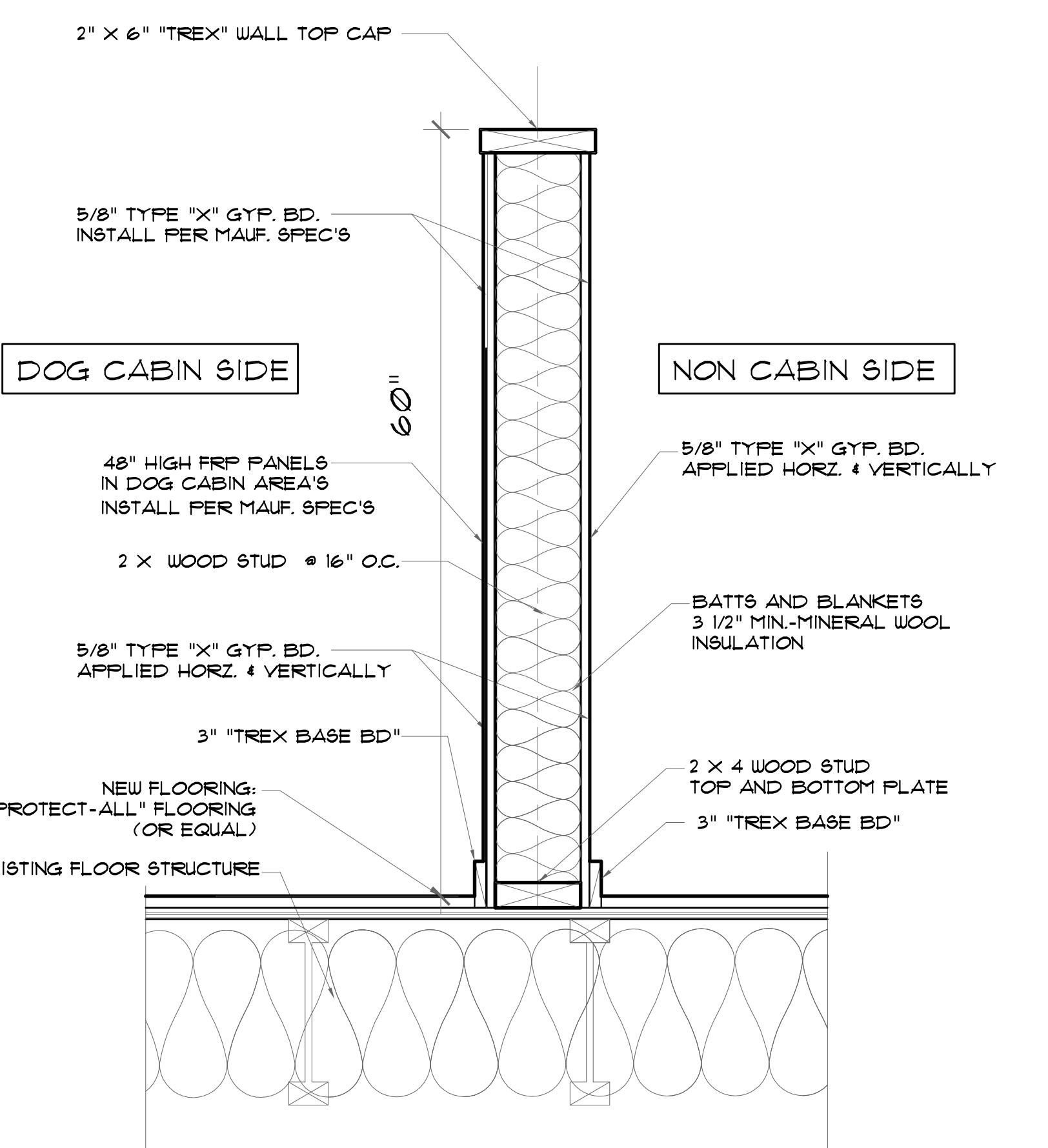
A103



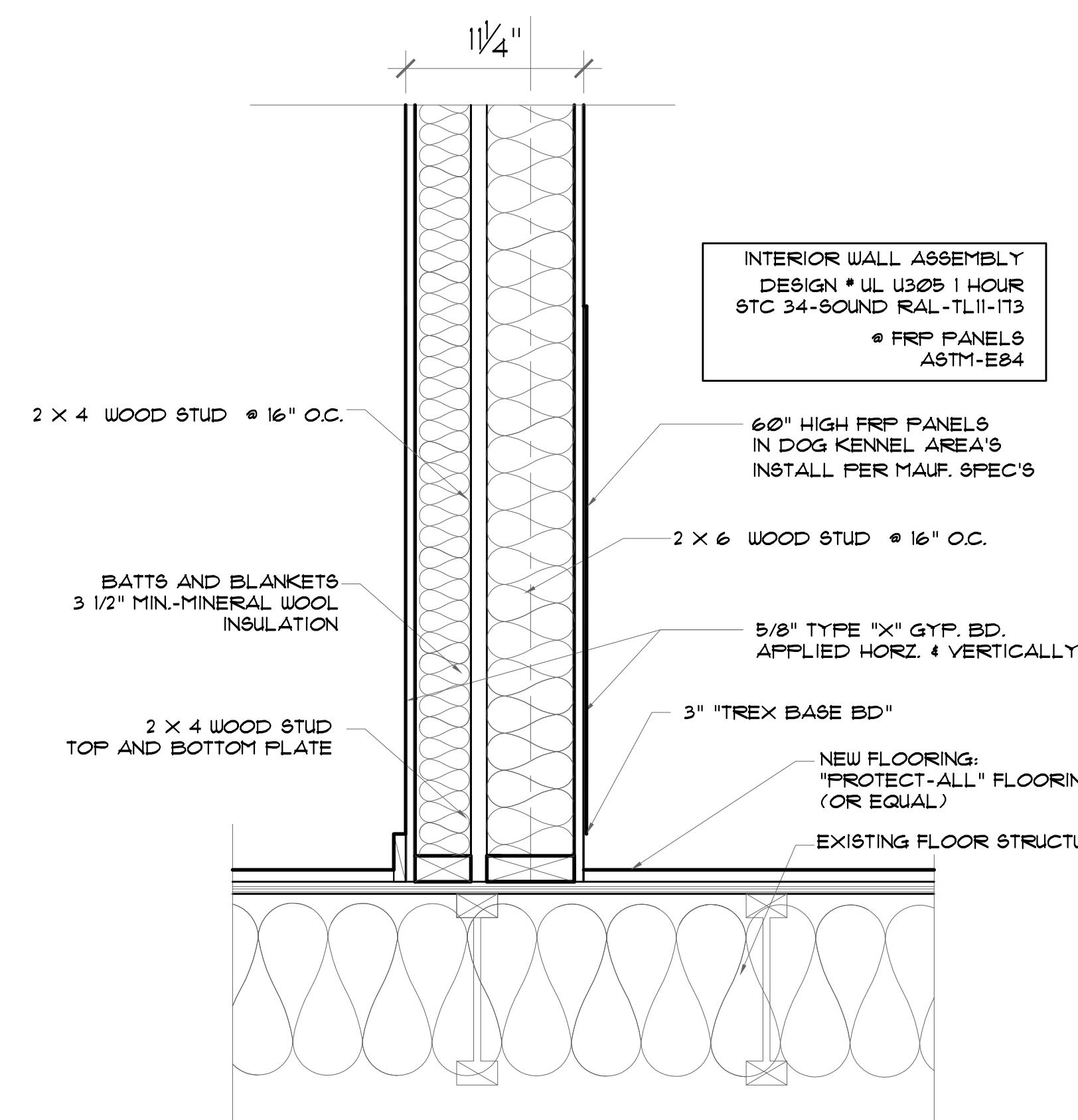
1 INTERIOR WALL ASSEMBLY  
SCALE: 1 1/2"=1'-0"



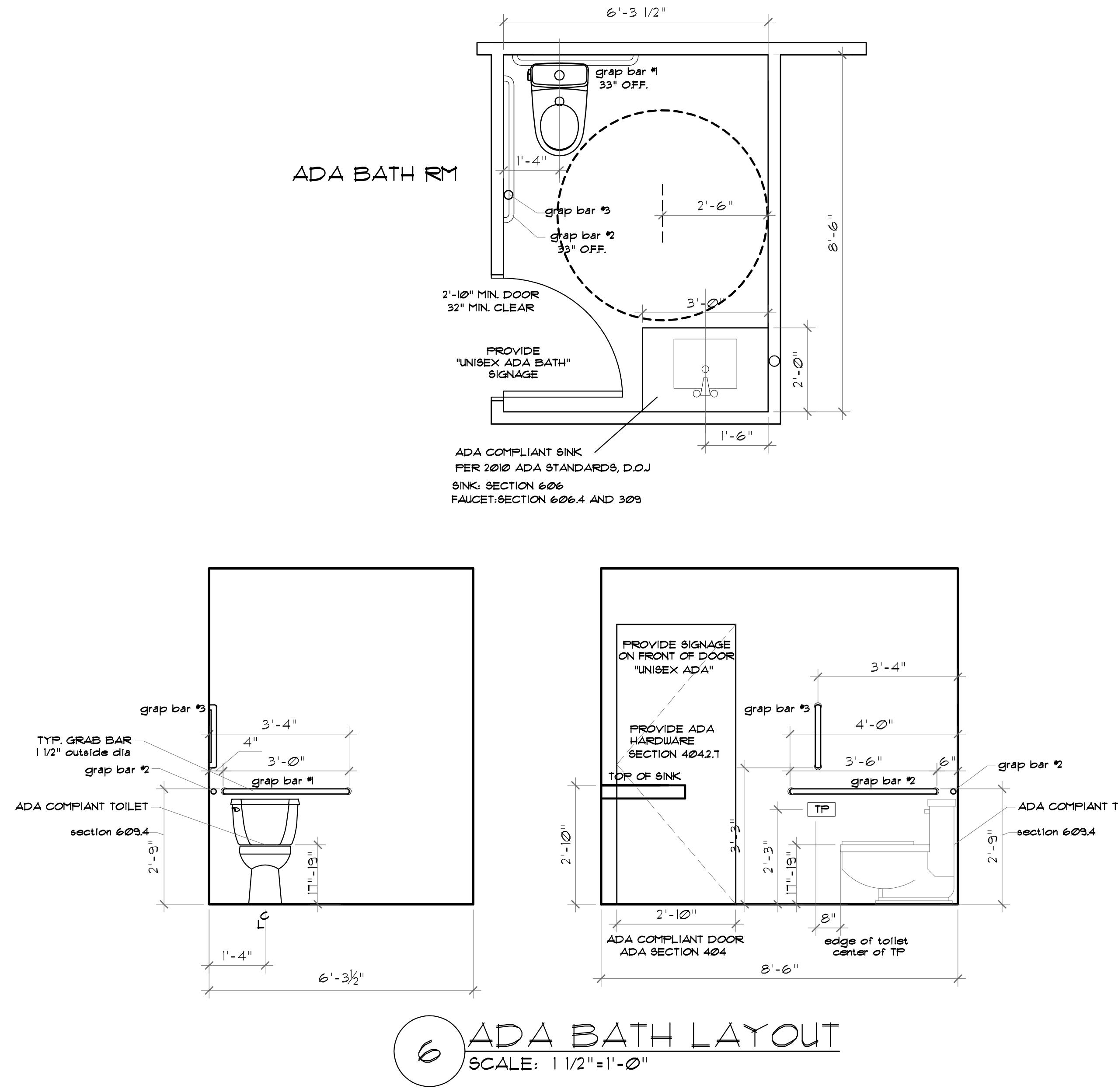
2 INTERIOR FRP WALL ASSEMBLY  
SCALE: 1 1/2"=1'-0"

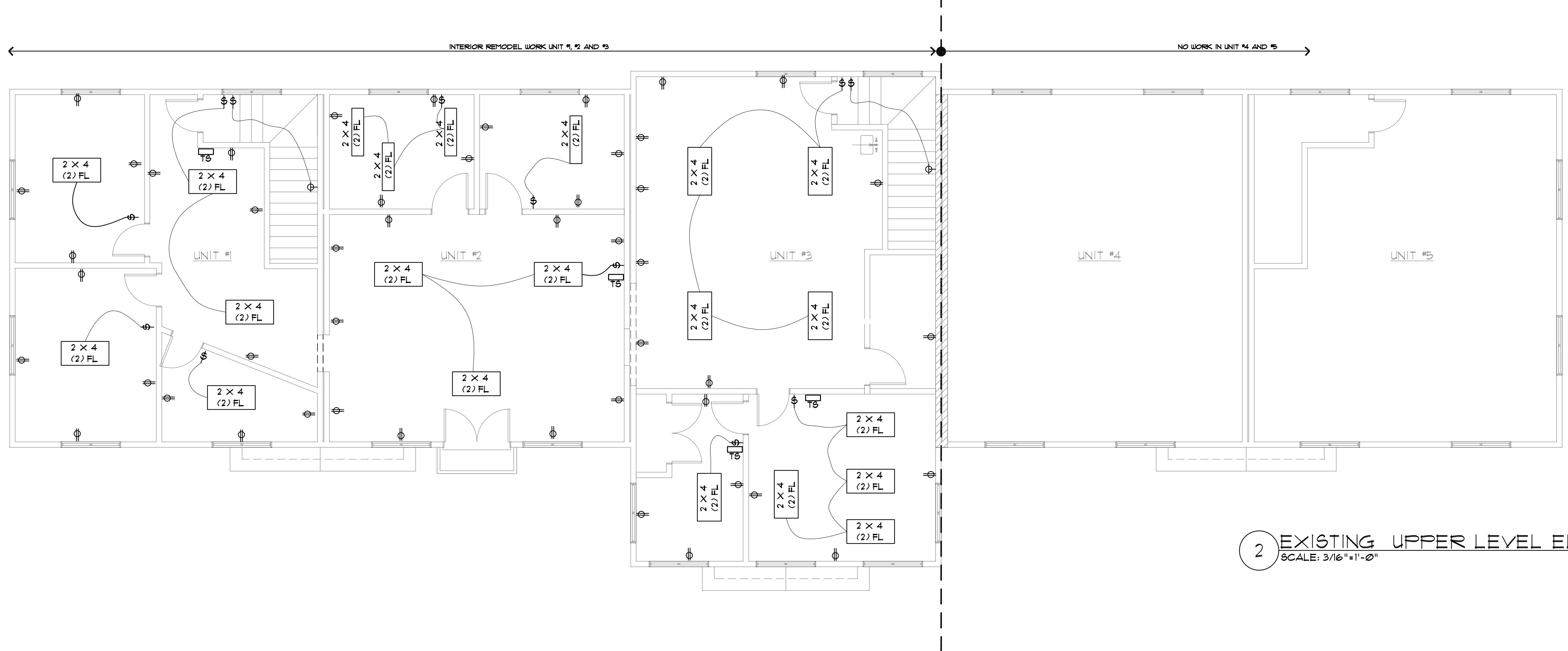
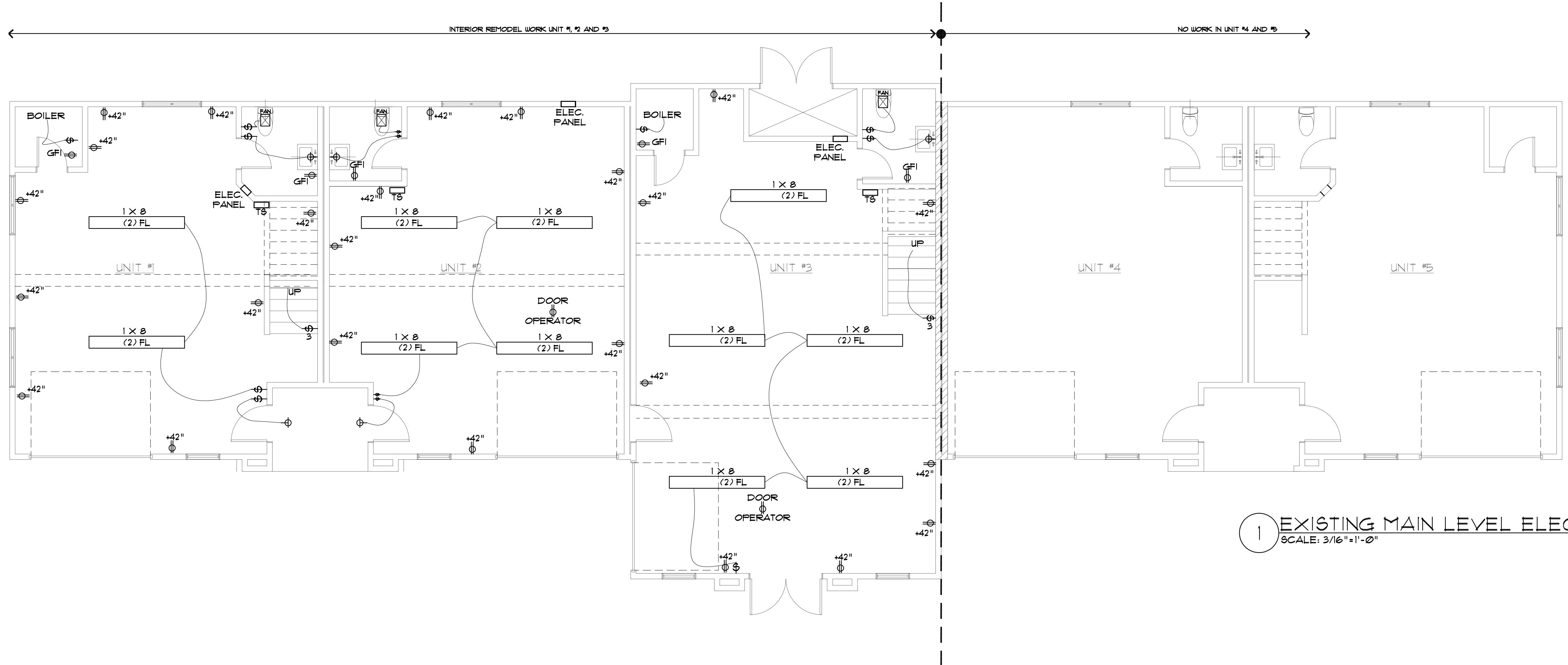


3 INTERIOR 60" CABIN FRP WALL ASSEMBLY  
SCALE: 1 1/2"=1'-0"



4 INTERIOR FIRE RATED PARTY WALL  
SCALE: 1 1/2"=1'-0"

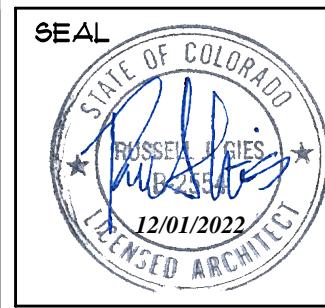




**Gies Architects**

440 BROADWAY  
PO BOX 2105  
EAGLE, CO 81631-2105  
970.328.3280

EMAIL: [GIES@GIESARCHITECTS.COM](mailto:GIES@GIESARCHITECTS.COM)



PROJECT: Wanderlust Dog Ranch  
45 Eagle Park E Drive-Eagle, CO 81631  
DRAWING: EXISTING ELECTRICAL PLANS

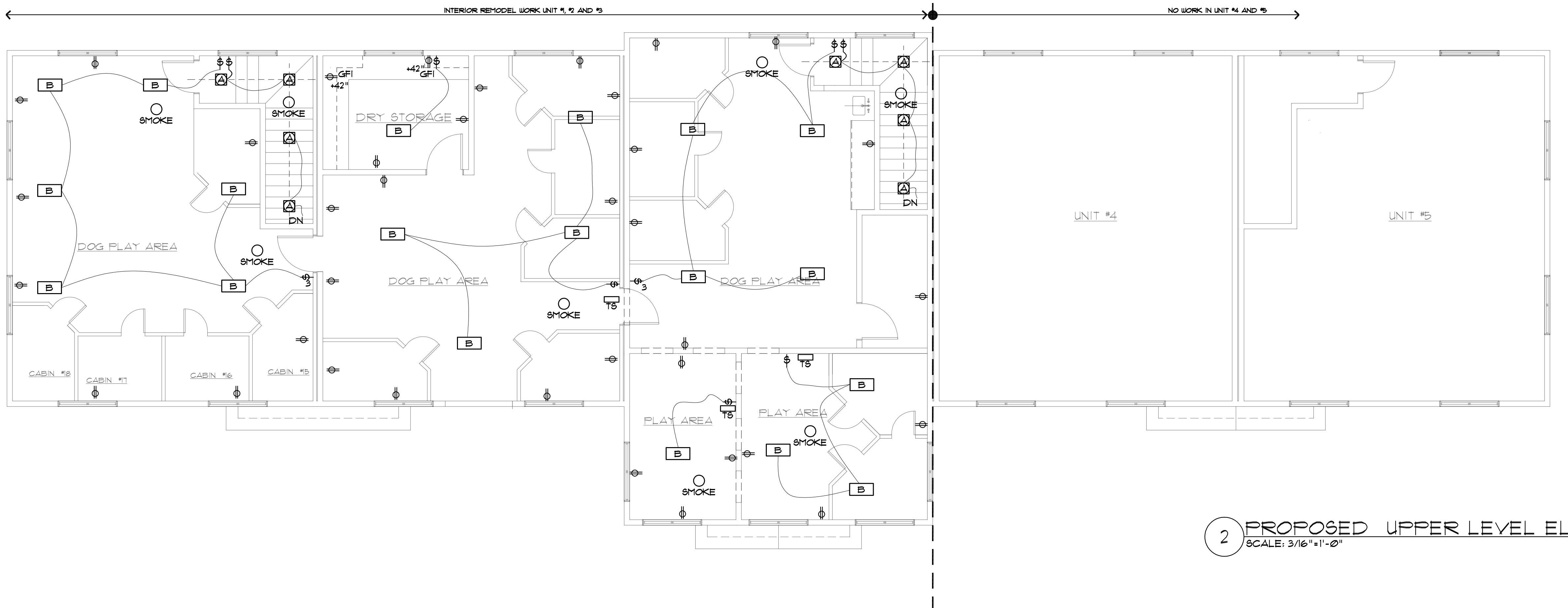
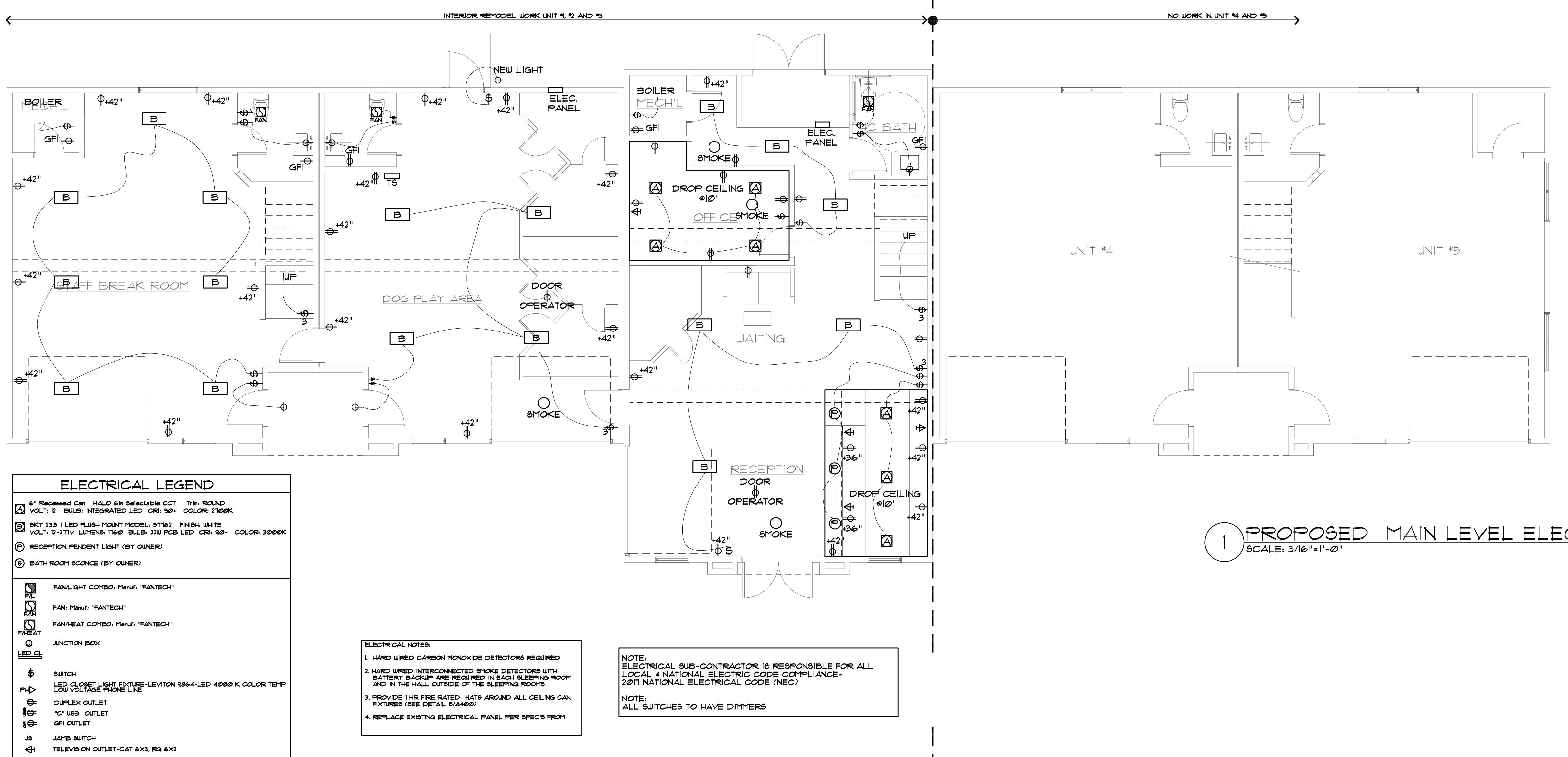
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## Town of Eagle

Box 609, Eagle, CO 81631

(970) 328-9655

Fax (970) 328-9656

Commercial Remodel C/O

19TEGL-4899

For Inspections: (970) 328-9626

Date Issued:	07/30/2019	Property Owner:	CARSON HOLDINGS LLC
Job Site Address:	0031 Eagle Park East, Eagle, CO 81631	Mailing Address:	PO BOX 1983 Eagle, CO 81631
Category:	Commercial Alteration	Phone:	
Permit Type:	Commercial Remodel C/O	Email:	
Valuation:	\$85,000.00		

### Description of Work:

Reconfigure space for use as dog kennel. New drywall/paint, install new floor coverings, upgrade bathrooms with grab bars and signage. Deferred mechanical submittal per Building Official.

Subdivision:	EAGLE PARK EAST PARCEL 2	Required Setbacks:	
Parcel ID:	193933203002		
Filing:			
Lot:		Actual Setbacks:	
Block:			
Total Sq Ft:			
Contractors:		Fee Items	Amount
Primary	Custom House Construction Corporation, (970) 328-3040	Building Permit Fees	\$1,047.30
Electric	RMK Electric LLC, (970) 331-4931	Building Permit Issue/Transfer Permit	\$25.00
		Use Tax	\$2,040.00
		Plan Check Fees	\$680.75
		Commercial Electrical <\$2000	\$103.50
		<b>Total:</b>	<b>\$3,896.55</b>

### NOTICE

The applicant, his agents and employees of, shall comply with all the rules, regulations and requirements of the Town Zoning Regulations and Building Codes governing all aspects of the above proposed work for which the permit is granted. The Town or its agents are authorized to order the immediate cessation of construction at anytime a violation of the codes or regulations appears to have occurred. Violation of any of the codes or regulations applicable may result in the revocation of this permit. Buildings MUST conform with the submitted and approved plans. Any changes of plans or layout must be approved prior to the changes being made. Any change in the use or occupancy must be approved prior to commencement of construction. Construction not commenced within 180 days of permit issuance voids this permit. Cessation of work for periods of 180 continuous days shall also void this permit. Permits are not transferable. Meritage Systems Inc. and the Town of Eagle are not liable for workmanship.

Signature of Applicant/Date

Building Department Signature/Date

**MUST BE POSTED ON JOB SITE**

# WANDERLUST DOG RANCH

31 EAGLE PARK EAST DRIVE  
EAGLE, COLORADO 81631

PARCEL 2, EAGLE PARK WEST

TOWN OF EAGLE

PARCEL #1939 = 332 = 3 2

# PERMIT SET-INTERIOR REMODEL

## 08 JULY 2019

# ARCHITECT

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GIES ARCHITECTS, INC.  
PO BOX 2195  
EAGLE, COLORADO 81631  
812 228 8280

## CONTRACTOR

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CHC MOUNTAIN STRUCTURES  
PO BOX 3026  
EAGLE, CO 81631  
870 328 3010

## STRUCTURAL

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NA

## OWNERS

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JASON HERSHAM  
WANDERLUST DOG RANCH  
PO BOX 5366  
EAGLE CO 81631

# MECHANICAL

SKYLINE MECHANICAL INC  
16 ALPINE RANCH RD  
GYPSUM, CO 81631  
303 521 6828

## GENERAL CONDITIONS:

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## GENERAL NOTES:

1. **DO NOT SCALE DRAWINGS!**
2. ALL GENERAL NOTES & GENERAL CONDITIONS NOTES TO BE CONSIDERED PART OF THE CONSTRUCTION DOCUMENTS.
3. CONTRACTOR REQUIRED TO NOTIFY ARCHITECT OF ALL DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS AND AWAIT CLARIFICATION PRIOR TO COMMENCEMENT.
4. CONTRACTOR TO VERIFY ALL UTILITY INFORMATION AT JOB SITE BEFORE COMMENCING CONSTRUCTION.
5. REFER TO ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR COORDINATION OF ALL WORK AS REQUIRED TO PREVENT CONFLICTS BETWEEN VARIOUS TRADES DURING CONSTRUCTION.
6. ALL WORK TO BE INSTALLED IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND REGULATIONS AS WELL AS SOILS TEST INFORMATION AND SOILS ENGINEERS RECOMMENDATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL TIMES.
8. PROVIDE FLASHING AND/OR COUNTER FLASHING AND WATERPROOFING AT ALL CONDITIONS WHERE ROOFING ABUTS VERTICAL WALLS AND WATERPROOF ALL FLAT SURFACES AT THE BUILDING PERIMETER (18" MIN.).
- 9 PROVIDE WATERPROOF MEMBRANE 8'-0" (MIN.) UP THE EAVES OVERHANG AT ALL ROOF CONDITIONS.
10. ALL EXPOSED FLASHING AND GUTTERS TO BE COPPER.
11. PROVIDE ONE HOUR RATED FLUE CHASES

# CODE SUMMARY

CLASS OF WORK: INTERIOR REMODEL

TYPE OF CONSTRUCTION: TYPE V-B

USE AND OCCUPANCY: BUSINESS GROUP-B  
ANIMAL KENNELS

LOAD OCCUPANCY: BUSINESS-B 100 GROSS

3836 GFA / 100 GROSS = 39 PEOPLE

LEVELS: EXISTING 2 STORY

PARKING SPACES REQ.: 1 CAR PER 300 SF

3836 GFA/300 = 13 CARS

PARKING PROVIDED:

16 SPACES (10' X 19')

HC REQUIRED: 1-25 SPACES = 1 HC SPACE

1 HC SPACE (20' X 19')

TOWN OF EAGLE CODES:

2015 IBC- INCLUDING "FIRE RESISTANCE MANUAL"

2015 IEBC- CHAPTER 5-CLASSIFICATION OF WORK

1. SECTION 501-ADDITIONS

2015 IRC- APPENDIX F & G

2015 IMC

2015 IPC

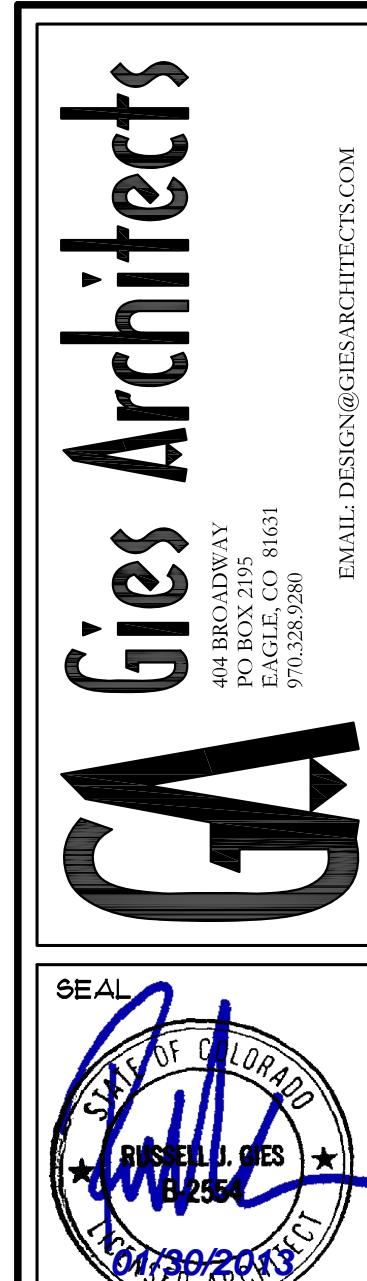
2017 NEC

2015 INT. ENERGY CODE

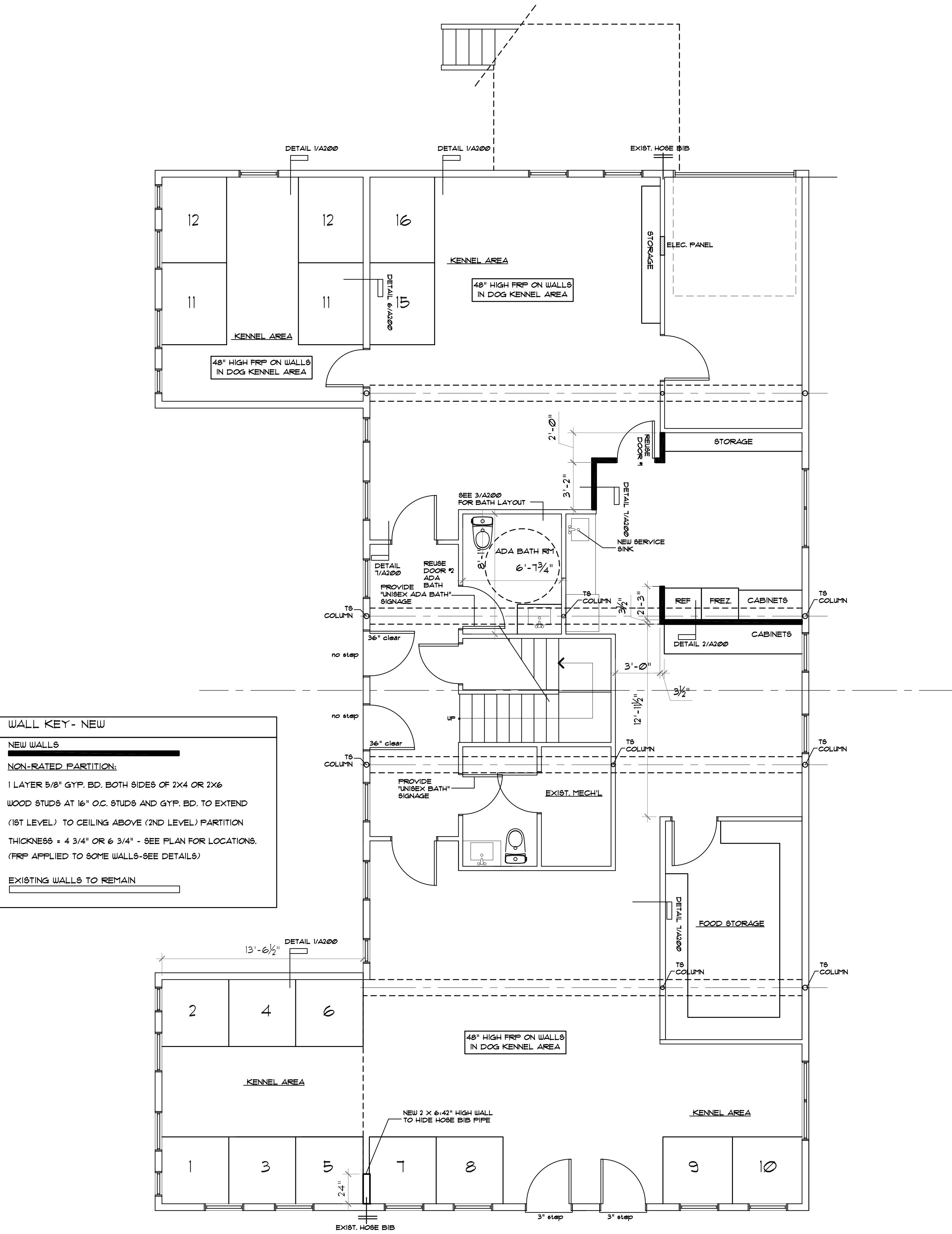
2015 INT. FUEL GAS

# PLUMBING FIXTURE COUNT

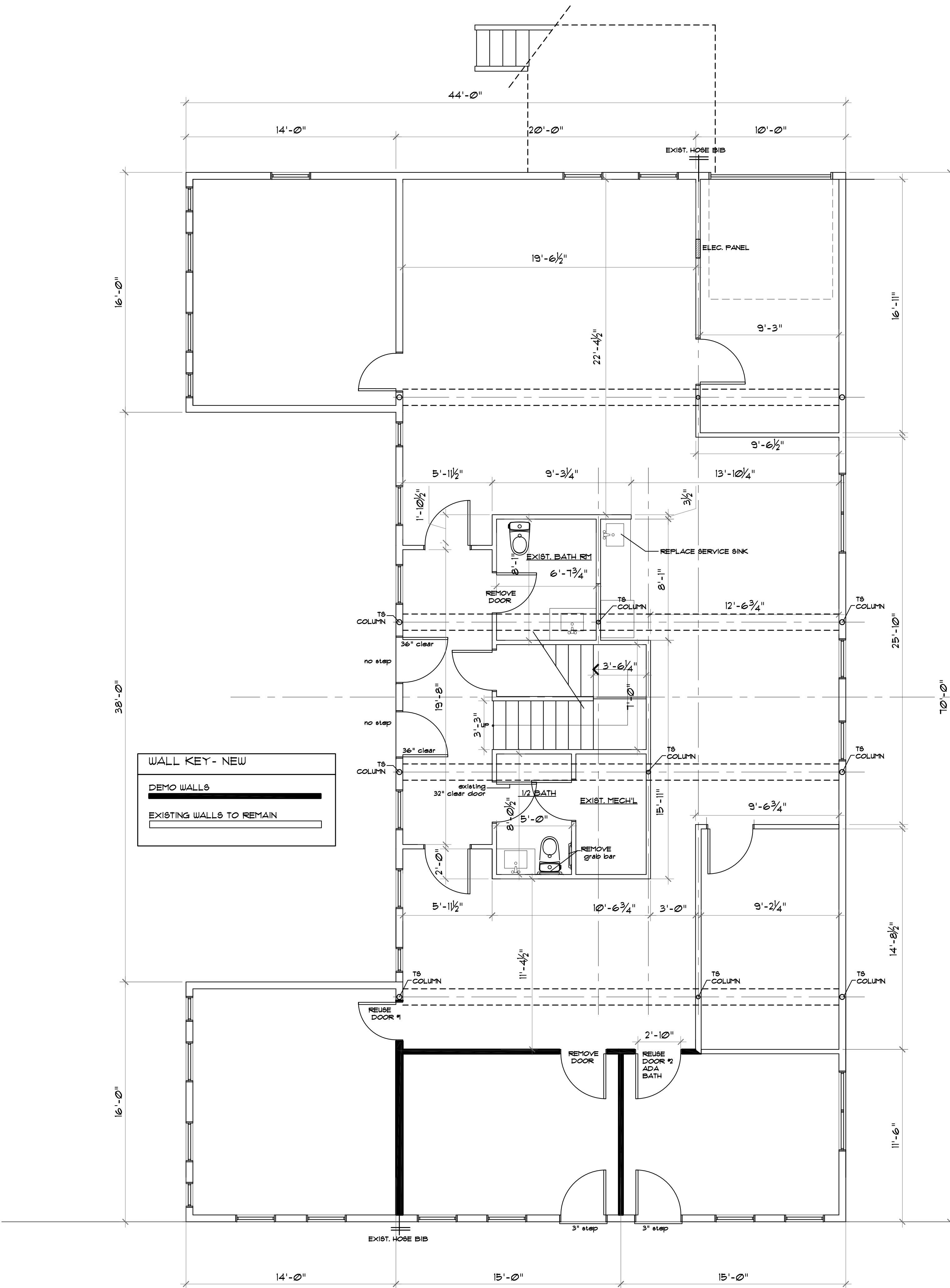
## 2015 IBC TABLE 2902.1



T1



1 PROPOSED MAIN LEVEL PLAN  
SCALE: 1/4" = 1'-0"



1 EXISTING-DEMO MAIN LEVEL PLAN  
SCALE: 1/4"=1'-0"

**Gies Architects**  
100 Broadway  
X 2195  
E, CO 81631  
970.928.0

EMAIL: DESIGN@GIESARCHITECTS.COM

WANDERLUST DOG RANCH  
31 East Park, Parcel 2, Eagle Park West Eagle, CO

**Gies Architects, Inc.**

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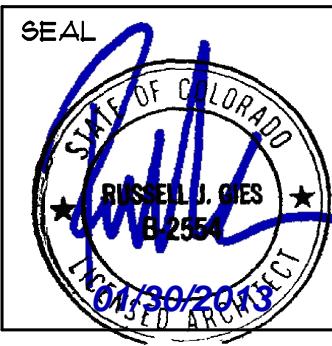
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**PROJECT NO.**  
**1905**

A 100

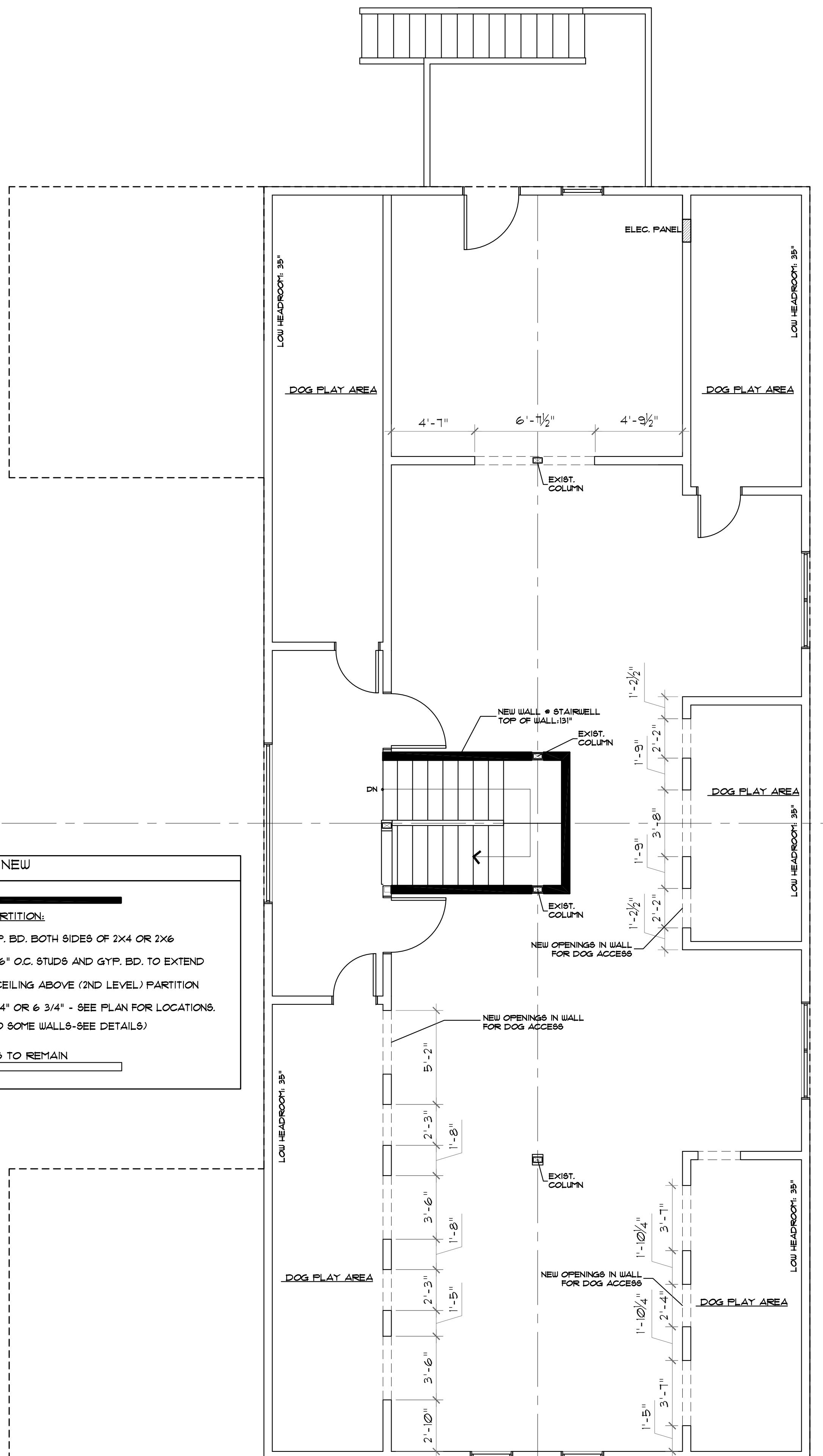


**PROJECT:** WANDERLUST DOG RANCH  
**31 East Park, Parcel 2, Eagle Park, CO**  
**DRAWING:** EXISTING & PROPOSED UPPER LEVEL

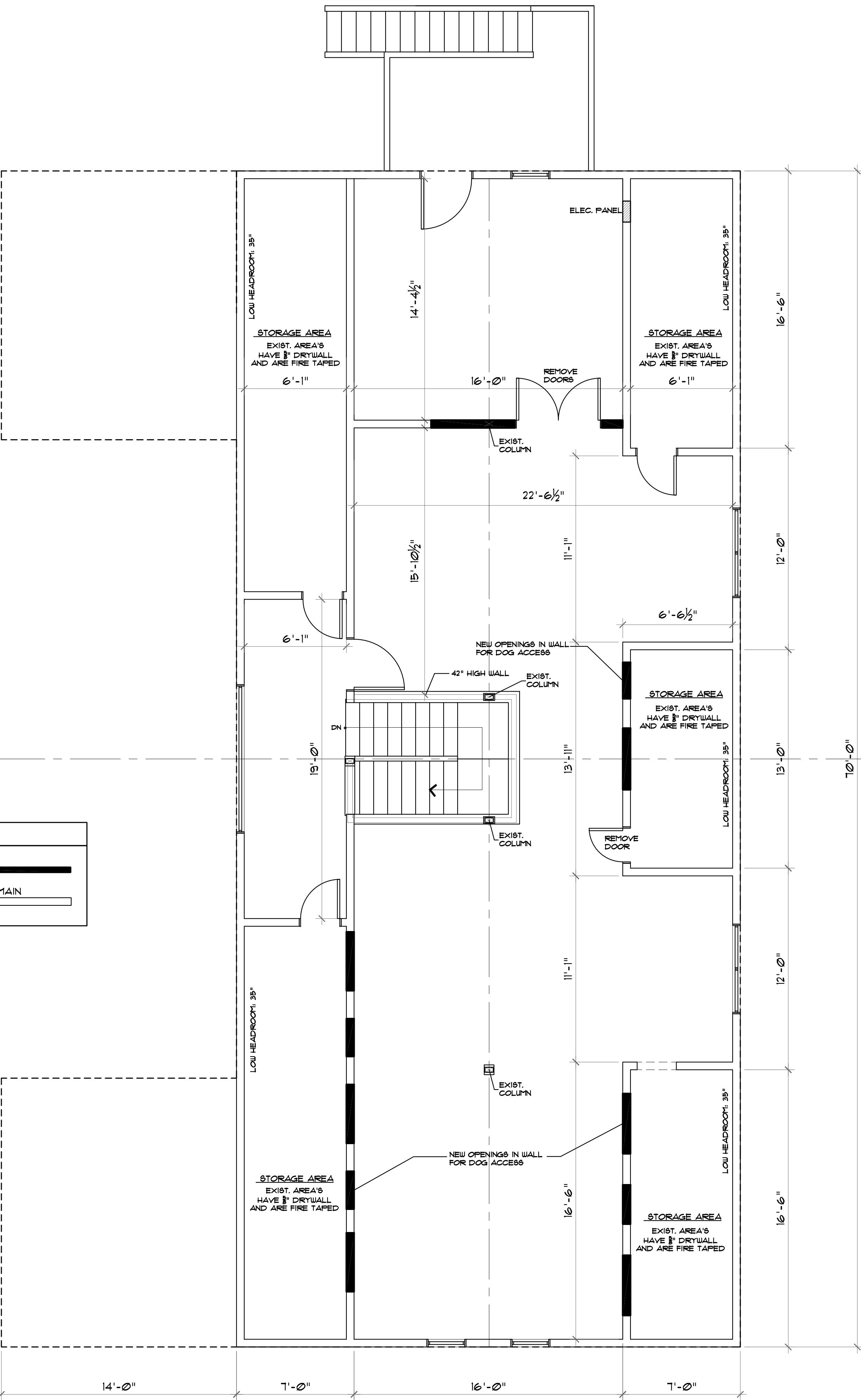
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PROJECT NO. 1905

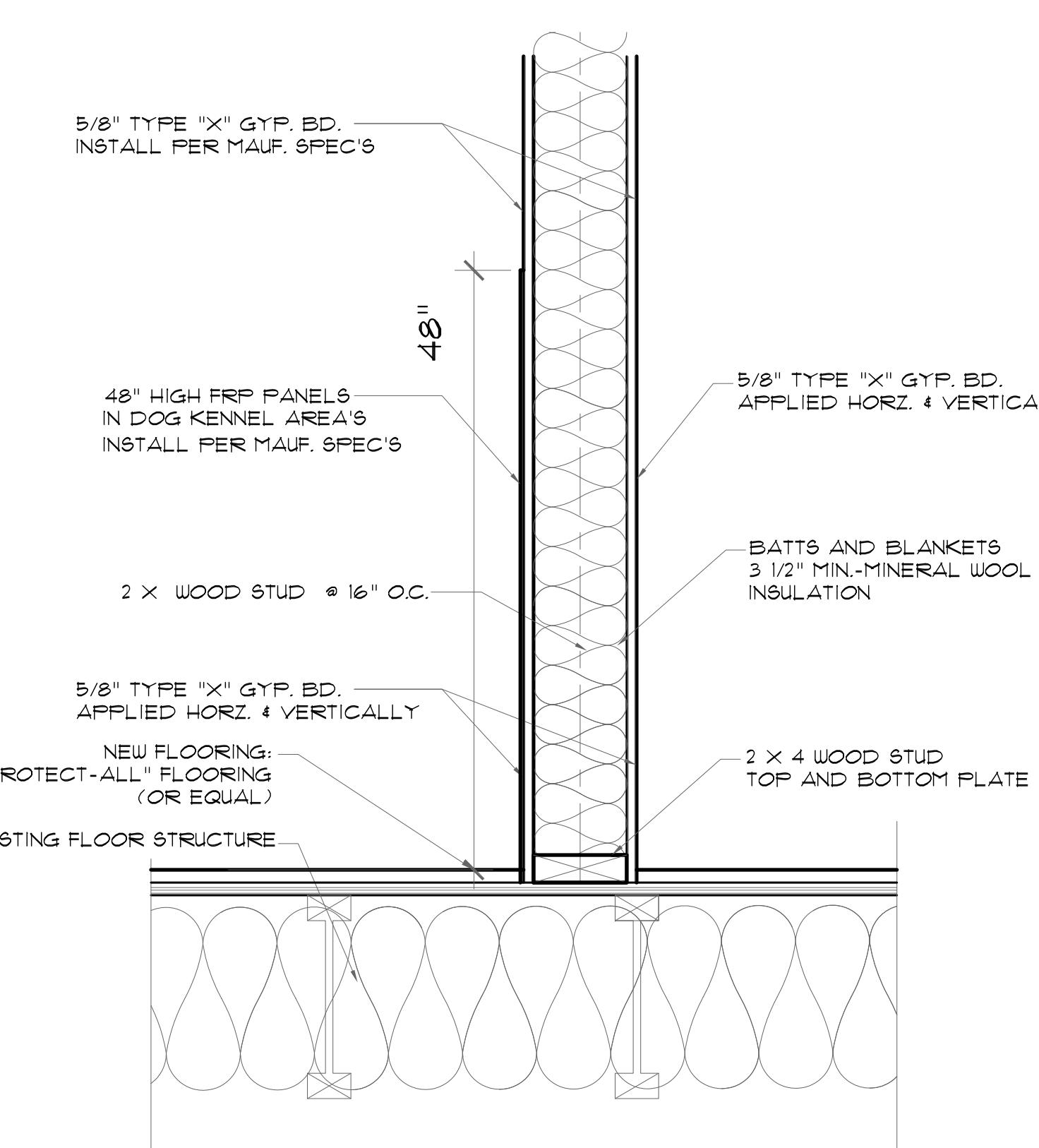
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PERMIT 08 JULY 2013



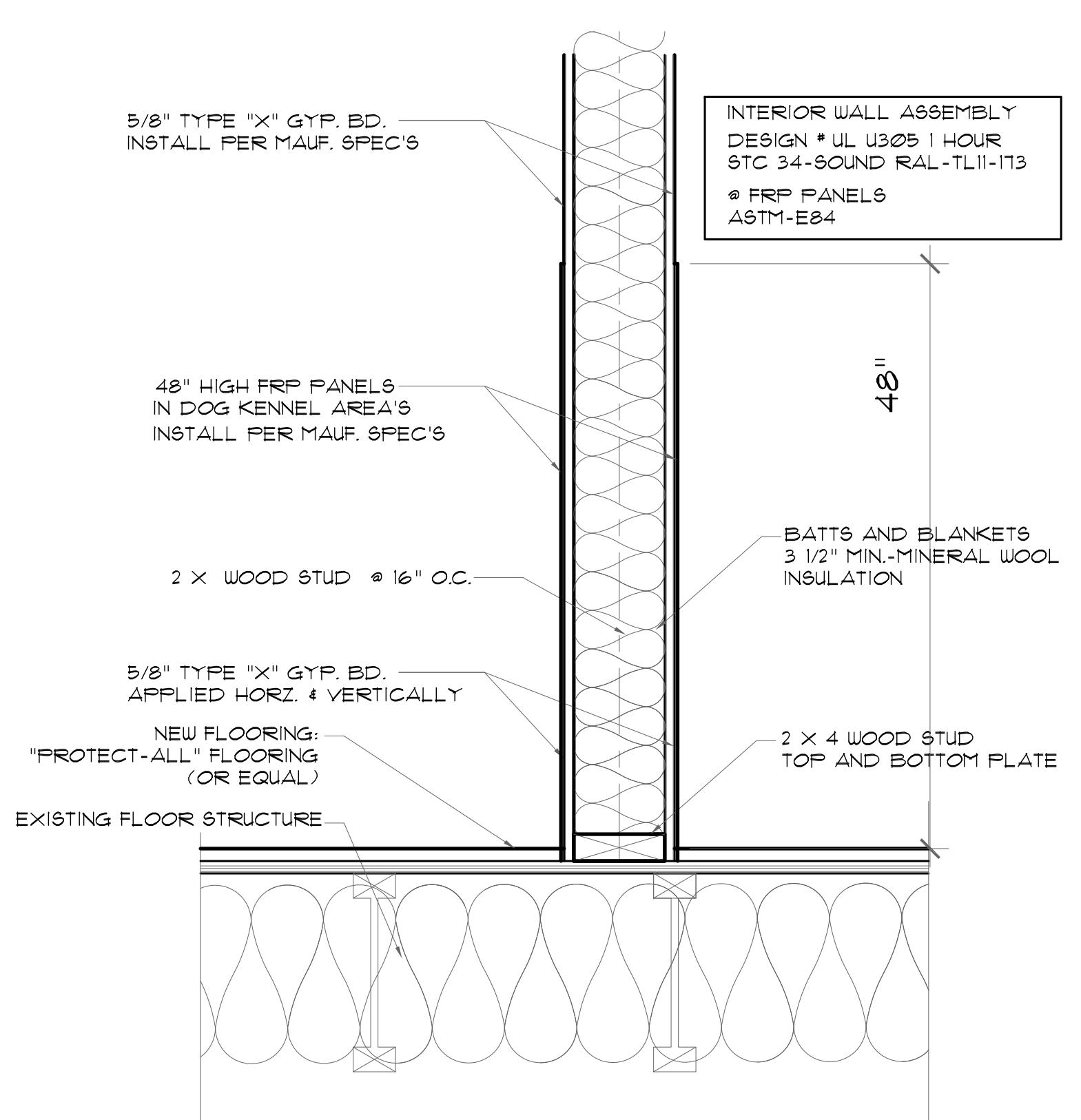
1 PROPOSED UPPER LEVEL PLAN  
SCALE: 1/4" = 1'-0"



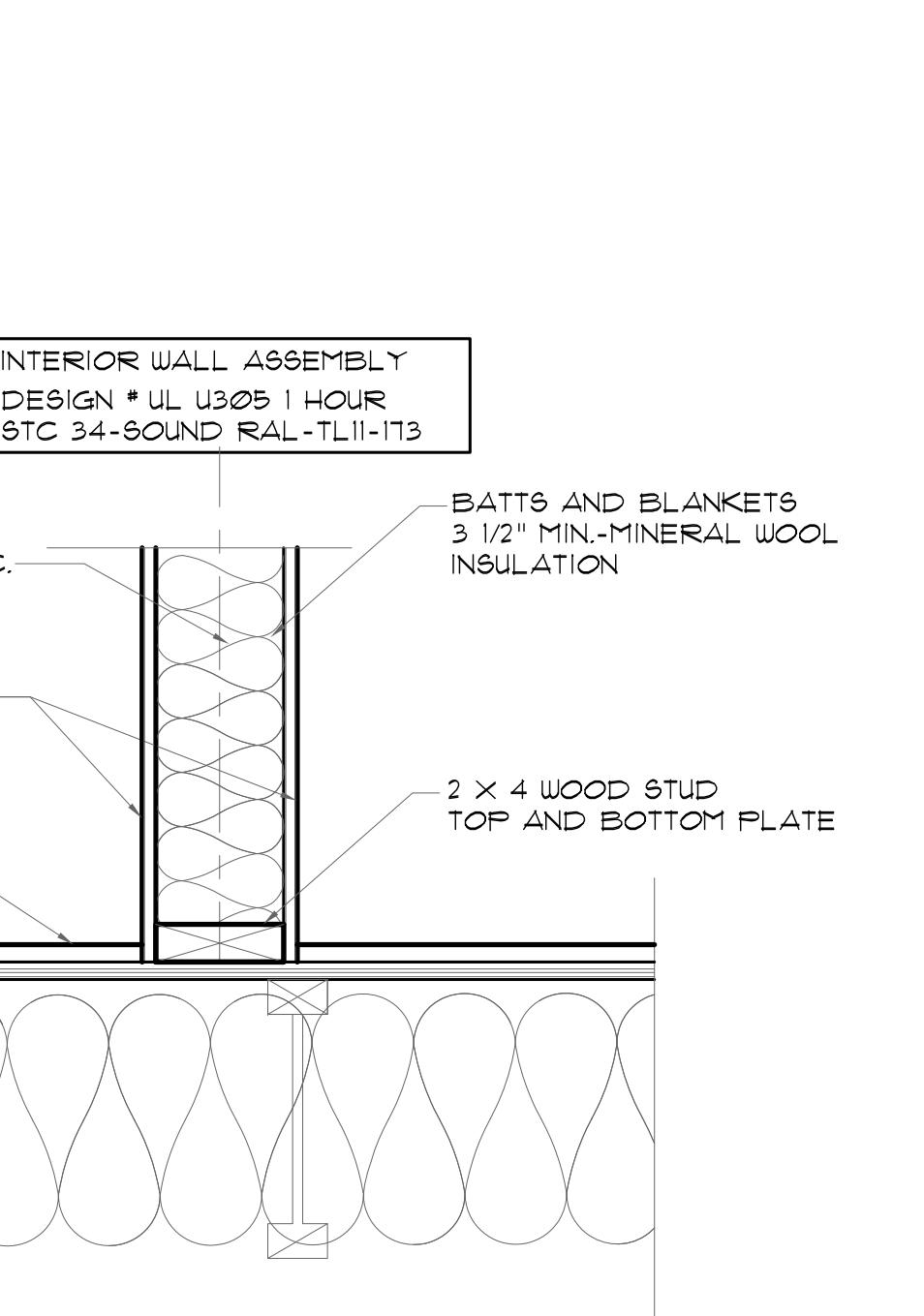
1 EXISTING-DEMO UPPER LEVEL PLAN  
SCALE: 1/4" = 1'-0"



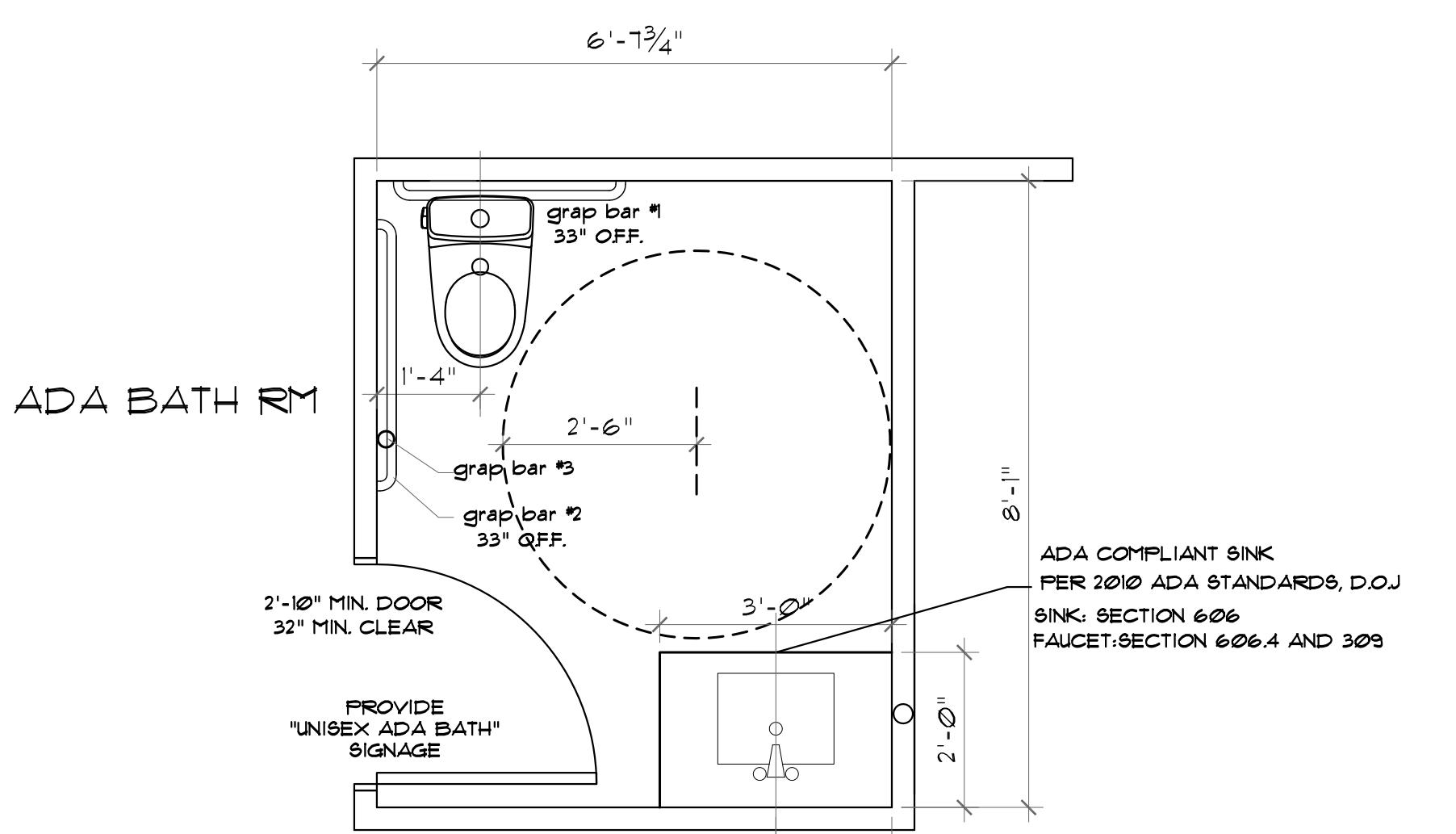
# INTERIOR FRP WALL ASSEMBLY



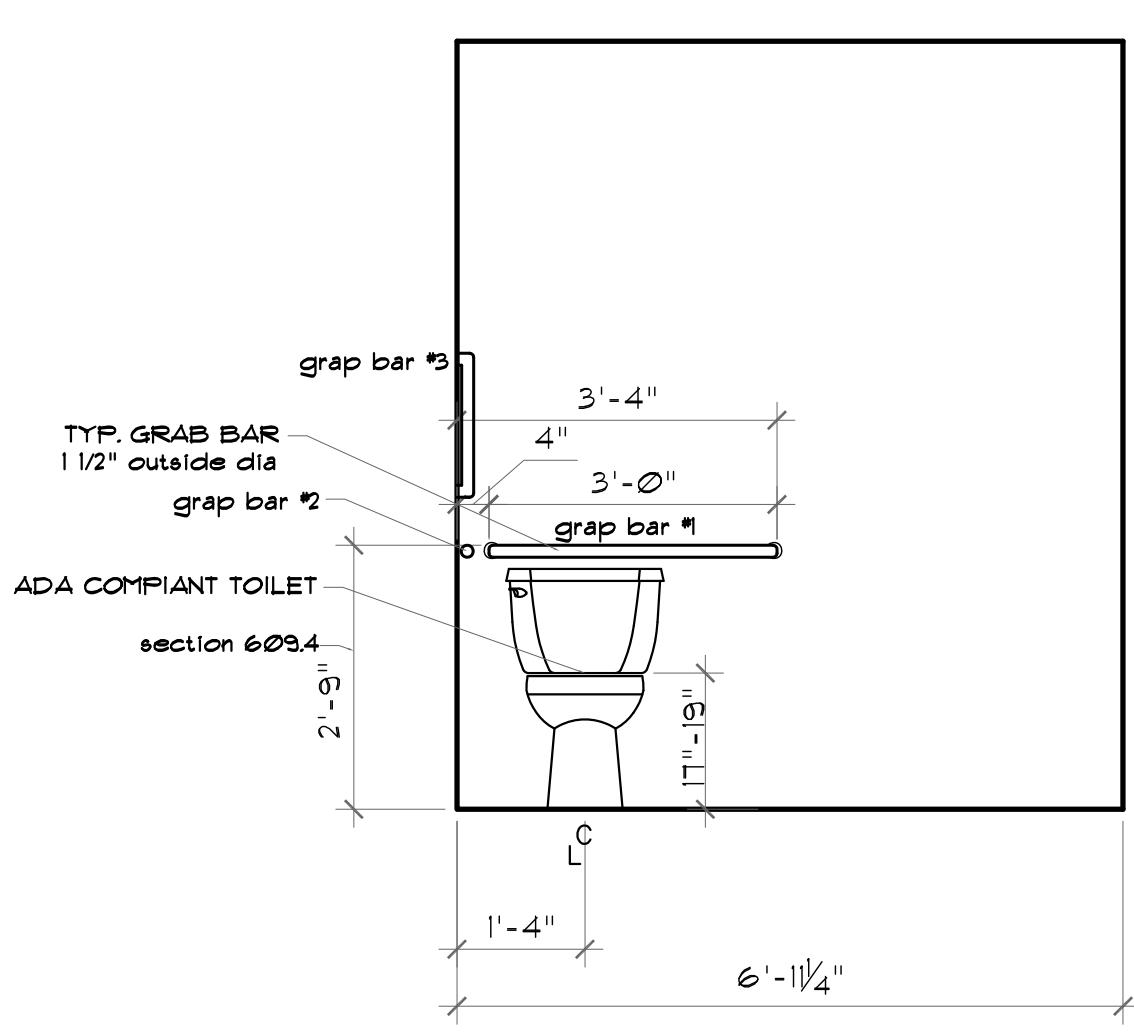
6 INTERIOR FRP WALL ASSEMBLY  
SCALE: 1 1/2" = 1'-0"



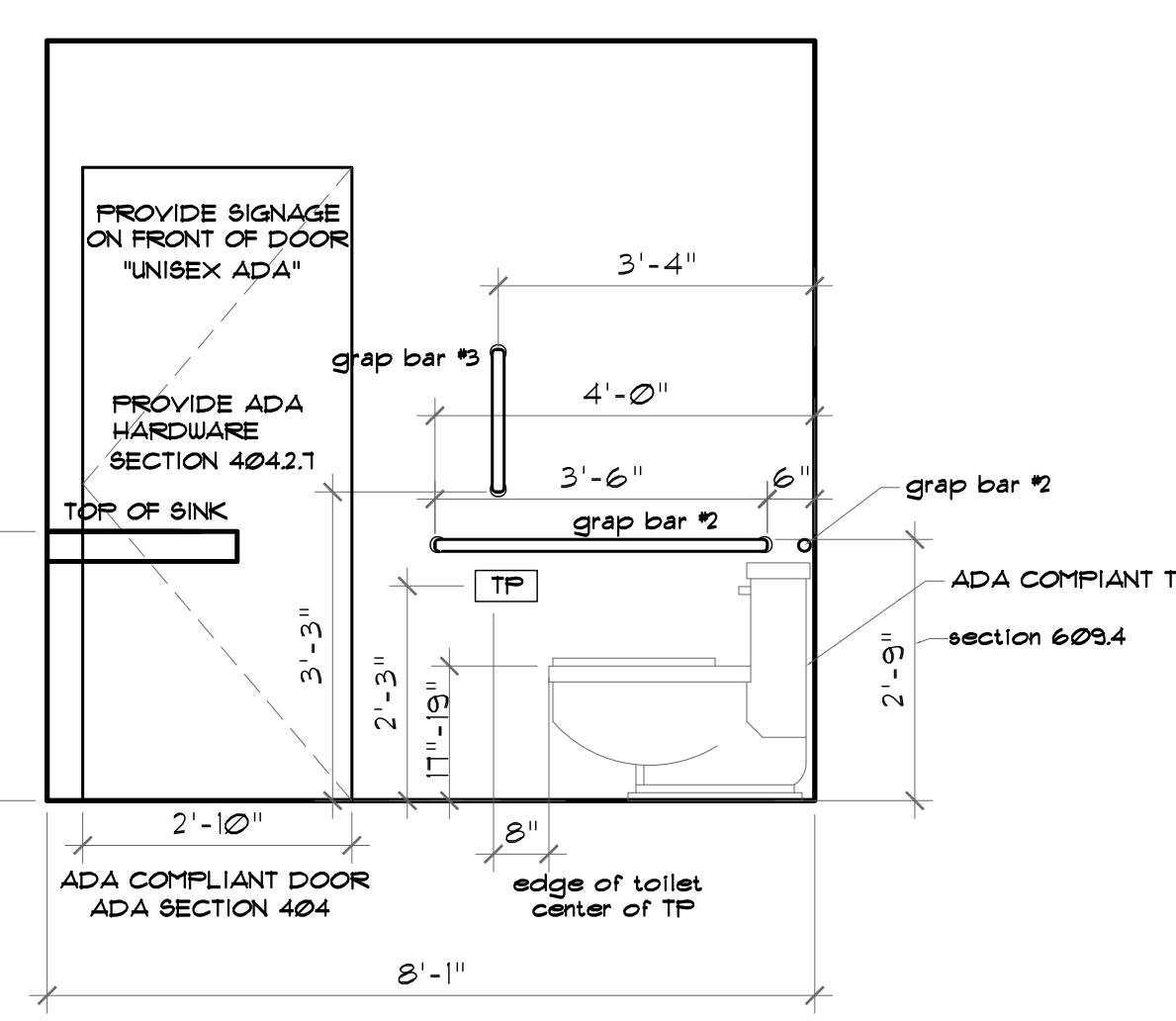
2 INTERIOR WALL ASSEMBLY  
SCALE: 1 1/2"=1'-0"



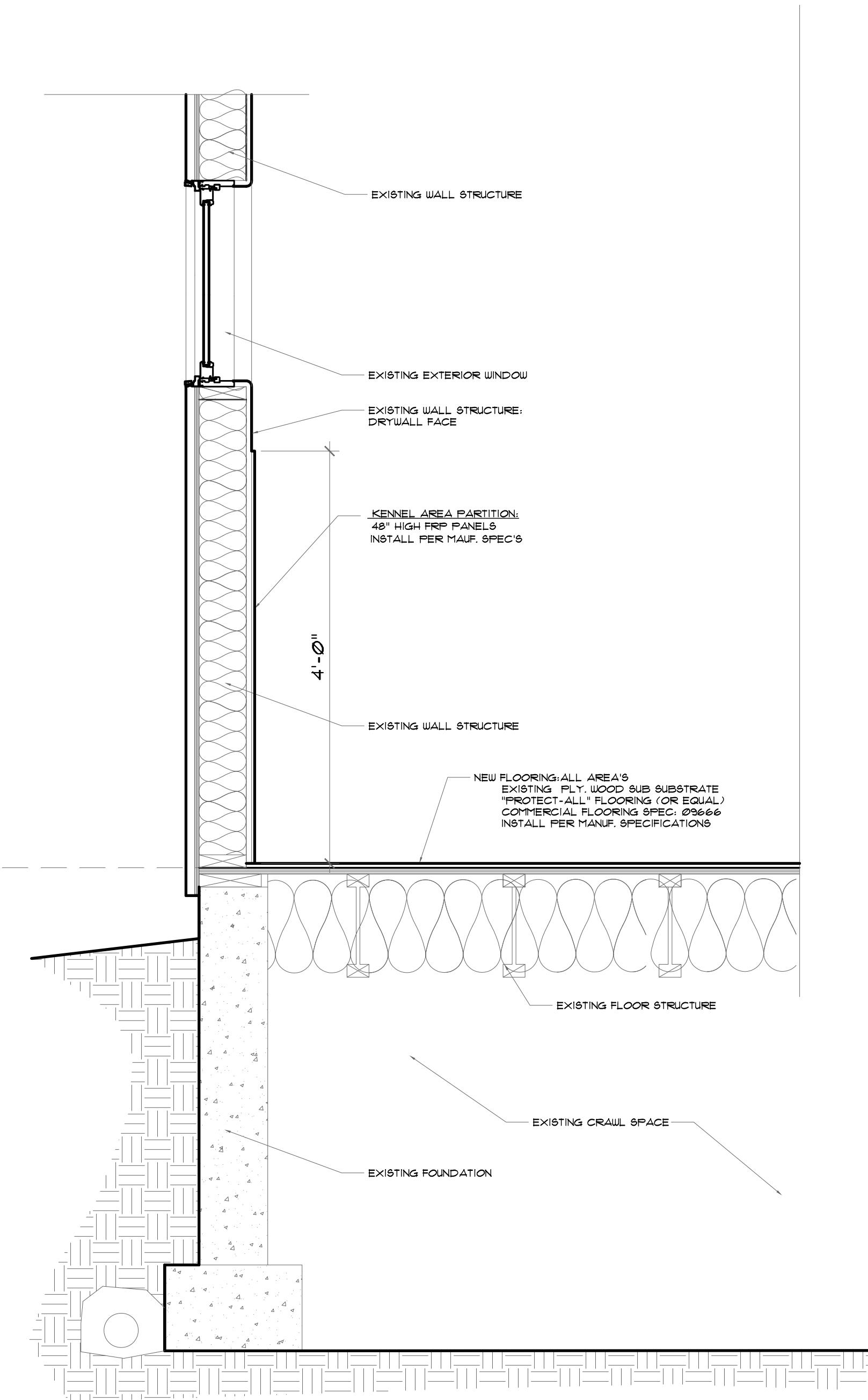
3 PROPOSED ADA BATH PLAN  
SCALE: 1/2" = 1'-0"



5 PROPOSED ADA BATH ELEVATION  
SCALE: 1/2"=1'-0"



4 PROPOSED ADA BATH ELEVATION  
SCALE: 1/2" = 1'-0"

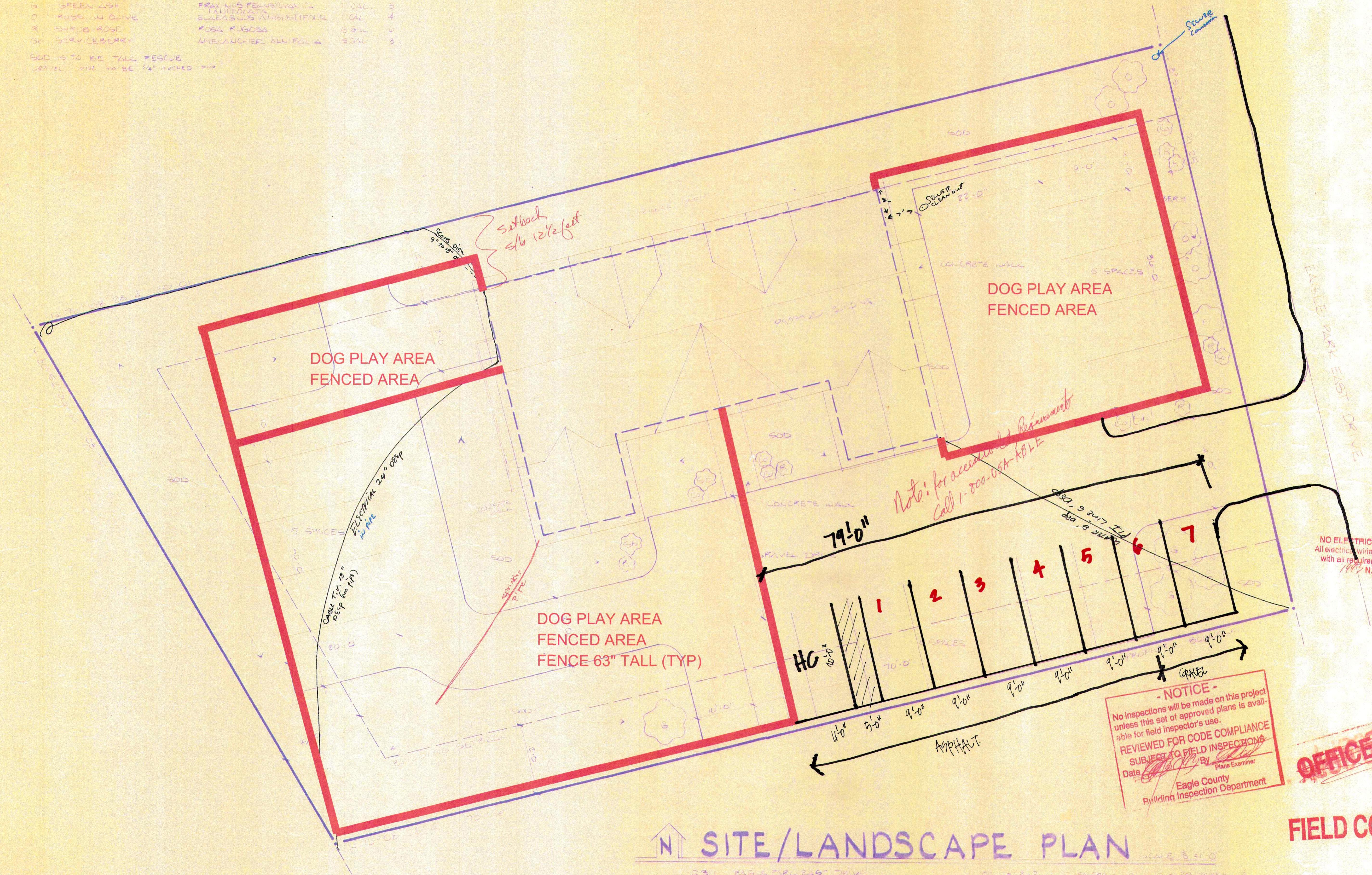


1 KENNEL ROOM WALL SECTIONS  
SCALE: 1" = 1'-0"

## PLANTING MATERIALS

REF.	COMM. NAME	BOTANICAL NAME	SIZE	QTY.
1	CRABAPPLE	MALUS DOLGO	2' CAL.	2
2	PEKING COTONEASTER	COTONEASTER LACIFOLIA	5' CAL.	6
3	GREEN ASH	FRAXINUS PENNSYLVANICA	1' CAL.	3
4	RUSSIAN OLIVE	TAXIPLASTA	1' CAL.	4
5	SHRUB ROSE	ROSACEA ANGUSTIFOLIA	5' CAL.	6
6	SERVICEBERRY	AMELANCHIER ALNIFOLIA	5' CAL.	3

SOD IS TO BE TALL FESCUE  
GRAVEL DRIVE TO BE 3/4" LASHED TYP.



## N SITE/LANDSCAPE PLAN

O31 EAGLE PARK EAST DRIVE  
0.123 AC / 18,426 SF  
COVERAGE: 30327 (100%)  
IMPERVIOUS COVERAGE: 1497 (40%)

SCALE: 1/8" = 1'-0"  
OUL = 3-2, LD = 10', FACTOR = 1.00 LD = 39' (40%)  
EUL = 1.00, TYPE = IN, L = 14', R = 22'  
TOTAL GFA = 38867  
PERIMETER = 305' = 3 min.