

# WANDERLUST DOG RANCH #2

45 EAGLE PARK EAST DRIVE

EAGLE, COLORADO 81631

PARCEL 3, EAGLE PARK EAST

TOWN OF EAGLE

PARCEL #1939-332-03-003

## PERMIT SET-INTERIOR REMODEL

# REV. PERMIT #5766

## 30 November 2022

### ARCHITECT

GIES ARCHITECTS, INC.  
PO BOX 2185  
EAGLE, COLORADO 81631  
970-328-9280

### CONTRACTOR

CHC MOUNTAIN STRUCTURES  
PO BOX 3026  
EAGLE, CO 81631  
970-328-3040

### STRUCTURAL

NA

### OWNERS

JASON HERSHAM  
WANDERLUST DOG RANCH  
PO BOX 5366  
EAGLE, CO. 81631

### MECHANICAL

SKYLINE MECHANICAL INC  
16 ALPINE RANCH RD  
GYP SUM, CO 81631  
970-524-6809

### PLANNING

MAURIELLO PLANNING GROUP  
EAGL, CO 81631  
970-390-8530

### GENERAL CONDITIONS:

- LICENSES AND PERMITS:** ALL WORK SHALL BE PERFORMED UNDER PERMIT FROM ALL GOVERNING AUTHORITIES AND SHALL BE INSPECTED BY THEIR PERSONNEL AND OBSERVED BY THE ARCHITECT.
- INSURANCE:** CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY CONTRACTOR'S LIABILITY INSURANCE (PERSONAL AND PROPERTY) AND WORKER'S COMPENSATION MEETING MINIMUM COLORADO REQUIREMENTS, AND SHALL PROVIDE PROOF OF SAME UPON REQUEST.
- SAFETY:** CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF EMPLOYEES, WORKERS, OCCUPANTS AND THE PROPERTY ITSELF. MUST MAINTAIN TWO (2) ABC FIRE EXTINGUISHERS ON THE JOB SITE FROM START TO FINISH.
- MEASUREMENTS:** BEFORE ORDERING MATERIALS OR DOING ANY WORK, CONTRACTOR WILL VERIFY MEASUREMENTS ON SITE.
- MATERIALS:** ALL MATERIALS TO BE NEW, IN GOOD CONDITION AND OF STANDARD GRADE OR BETTER AS CALLED OUT IN THE CONSTRUCTION DOCUMENTS. IF ANY SPECIFIED PRODUCT IS UNAVAILABLE OR IF THE CONTRACTOR WISHES TO SUGGEST AN ALTERNATIVE, CONTACT THE ARCHITECT FOR VERIFICATION.
- WORKSMANSHIP:** ALL WORK SHALL BE PERFORMED BY MECHANICS SKILLED IN THEIR RESPECTIVE TRADES IN ACCORDANCE WITH THE BEST PRACTICES OF THAT TRADE. CONTRACTOR IS TO COORDINATE, SUPERVISE AND TAKE RESPONSIBILITY FOR ALL WORK OF HIS EMPLOYEES AND SUBCONTRACTORS AND THEIR EMPLOYEES.
- DEBRIS:** SITE AND BUILDING SHALL BE KEPT IN A NEAT AND SAFE CONDITION AT ALL TIMES. CONTRACTOR TO PROVIDE A DUMPSTER ON SITE OF A SIZE NECESSARY TO ACCOMMODATE ALL TRASH REMOVAL NEEDS.
- CHANGES:** OWNER AND CONTRACTOR MAY NEGOTIATE ADDITIONS, DELETIONS, OR REVISIONS TO THE SCOPE OF WORK AND ADJUST THE CONTRACT SUM ACCORDINGLY. A WRITTEN RECORD OF EACH CHANGE SHALL BE KEPT BY CONTRACTOR FOR FINAL ACCOUNTING. THE ARCHITECT WILL BE MAILED A COPY OF ALL CHANGES.

- ARCHITECT'S ROLE:** THE ARCHITECT WILL HAVE NO RESPONSIBILITY TO SUPERVISE OR COORDINATE THE CONTRACTOR'S WORK, TO STOP WORK FOR ANY REASON OR TO INSURE CONSTRUCTION SAFETY. HIS SOLE FUNCTION SHALL BE TO ACT AS THE OWNER'S AGENT IN MAKING PERIODIC VISITS, AS SET UP WITH THE OWNER, TO OBSERVE WHETHER THE WORK IS PROCEEDING ACCORDING TO THE PLANS AND SPECIFICATIONS. THE ARCHITECT WISHES TO CONSULT WITH THE CONTRACTOR FREQUENTLY AND PROVIDE WHATEVER ASSISTANCE OR CLARIFICATION MIGHT BE NECESSARY TO KEEP THE JOB PROCEEDING ACCORDING TO SCHEDULE AND PLAN. SHOULD QUESTIONS ARISE, THE CONTRACTOR OR SUBCONTRACTOR MAY CALL THE ARCHITECT DURING NORMAL BUSINESS HOURS AT 970-328-9280.
- SIGNAGE:** CONTRACTOR AND ARCHITECT MAY ERECT A SIGN IDENTIFYING THEMSELVES FOR THE DURATION OF THE PROJECT. THE SIGN MUST BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL REGULATIONS AND SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- DESIGN:** DRAWINGS AND DESIGN CONCEPT ARE PROPERTY OF THE ARCHITECT AND ANY USE OF SUCH DRAWINGS AND CONTENT FOR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT FROM THE ARCHITECT IS STRICTLY PROHIBITED BY LAW.
- CHANGES:** CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT FROM THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

### GENERAL NOTES:

- DO NOT SCALE DRAWINGS!
- ALL GENERAL NOTES & GENERAL CONDITIONS NOTES TO BE CONSIDERED PART OF THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR REQUIRED TO NOTIFY ARCHITECT OF ALL DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS AND AWAIT CLARIFICATION PRIOR TO COMMENCEMENT.
- CONTRACTOR TO VERIFY ALL UTILITY INFORMATION AT JOB SITE BEFORE COMMENCING CONSTRUCTION.
- REFER TO ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR COORDINATION OF ALL WORK AS REQUIRED TO PREVENT CONFLICTS BETWEEN VARIOUS TRADES DURING CONSTRUCTION.
- ALL WORK TO BE INSTALLED IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND REGULATIONS AS WELL AS SOILS TEST INFORMATION AND SOILS ENGINEERS RECOMMENDATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL TIMES.
- PROVIDE FLASHING AND/OR COUNTER FLASHING AND WATERPROOFING AT ALL CONDITIONS WHERE ROOFING ABUTS VERTICAL WALLS AND WATERPROOF ALL FLAT SURFACES AT THE BUILDING PERIMETER (18" MIN).
- PROVIDE WATERPROOF MEMBRANE 8'-0" (MIN) UP THE EAVE OVERHANG AT ALL ROOF CONDITIONS.
- ALL EXPOSED FLASHING AND GUTTERS TO BE COPPER.
- PROVIDE ONE HOUR RATED FLUE CHASES.

DRAWING INDEX	
TLJ	TITLE PAGE
C100	ILC/PARKING PLAN
A100	EXIST. MAIN & UPPER LEVEL PLANS
A101	PROPOSED MAIN LEVEL PLAN
A102	PROPOSED UPPER LEVEL PLAN
A103	DETAILS
E100	EXISTING ELECTRICAL PLANS
E101	PROPOSED ELECTRICAL PLANS

CODE SUMMARY	
CLASS OF WORK: INTERIOR REMODEL	
TYPE OF CONSTRUCTION: TYPE V-B	
USE AND OCCUPANCY: BUSINESS GROUP-B DOG KENNEL DAY USE ONLY (3,302 SF) MECH'L-EQUIP. RM (149 SF) STAFF BREAK ROOM (124 SF) OFFICE (193 SF) MERCANTILE GROUP-M RETAIL/RECEPTION (814 SF) INDUSTRIAL-WAREHOUSE (3120 SF)	
TOTAL AREA:	8,302 SF
LEVELS: EXISTING 2 STORY	
LOAD OCCUPANCY:	
BUSINESS-B 100 GROSS 5,033 GFA / 100 GROSS+50 PEOPLE	
MECHANICAL EQUIP. ROOM 300 GROSS 149 GFA /300+2 PEOPLE	
INDUSTRIAL/WAREHOUSE 500 GROSS 3,120 GFA/500+6 PEOPLE	
TOTAL OCCUPANCY LOAD: 58 PEOPLE	
EXISTING BUILDING GROSS FLOOR AREA: MAIN LEVEL: 4,103 SF UPPER LEVEL: 4,199 SF TOTAL EXISTING AREA: 8,302 SF	
PROPOSED INTERIOR REMODEL GFA: MAIN LEVEL : 2,591 SF UPPER LEVEL: 2,591 SF TOTAL : 5,182 SF	
PARKING REQUIREMENTS: PARKING REQ. FOR WANDERLUST: MEDICAL,DENTAL,VET. OFFICE ONE PER 250 SF OF FLOOR AREA USED OR DESIGNED FOR OFFICE OR PUBLIC USE  WANDERLUST AREA FOR OFFICE OR PUBLIC USE=1,131 SF +6,924 SPACES (RECEPTION/ RETAIL/814)/OFFICE/193)/STAFF BREAK RM/124)/=1,131 SF)  PARKING REQ. FOR REMAINDER OF BUILDING: INDUSTRIAL, MANUFACTURING/WAREHOUSE/WHOLE SALE BUSINESS ONE PER 1,000 SF OF FLOOR AREA USED  WORKSHOP/WAREHOUSE: 3,120 SF + 312 SPACES (UNIT #5 IS VACANT, THE AREA HAS BEEN AS STORAGE AS THAT IS IN USE IN UNIT #4, IF UNIT #5 BECOMES OCCUPIED WITH A DIFFERENT USE, THEN NEEDS TO COMPLY WITH THE PARKING REQ. FOR THAT USE. IT IS THE INTENTION OF THE OWNER THAT UNIT #4 AND #5 WILL BE USED FOR DOG PLAY AREA.	
TOTAL PARKING REQUIRED: 10,44 SPACES TOTAL PARKING PROVIDED: 18 SPACES.	

CODES	
TOWN OF EAGLE CODES:	
2015 IBC-INCLUDING "FIRE RESISTANCE MANUAL"	
2015 IBC- CHAPTER 5-CLASSIFICATION OF WORK	
I. SECTION 505-ALTERATION-LEVEL 2	
2015 IRC-APPENDIX F & G	
2015 IMC	
2015 IPC	
2020 NEC	
2015 INT. ENERGY CODE	
2015 INT. FUEL GAS	

ZONING SUMMARY	
LOT SIZE: 0.423 ACRES (18,426 SF)	
ZONING: GENERAL COMMERCIAL-GC	
EXISTING SITE COVERAGE: 4103 SF (22%) NO CHANGE	
EXISTING IMPERVIOUS COVERAGE: 11,149 SF(60%) NO CHANGE	
HEIGHT: 35' MAX, EXISTING BUILDING 25'-0"	
SET BACK: FRONT: "A" STREET (50') EXISTING BUILDING: 64'-0" SIDE: 15'-0' EXISTING BUILDING: 12'-0', SOUTH: 22'-0" REAR: 15'-0' EXISTING BUILDING 36'-0"	

PLUMBING FIXTURE COUNT 2015 IBC TABLE 2902.1	
BUSINESS "B"	SHOWERS: EXISTING: 0 PROPOSED: 0 TOTAL: 0
WATER CLOSETS (TOILETS): EXISTING: 1 PROPOSED: 0 TOTAL: 2	WATER FOUNTAIN: EXISTING: 0 PROPOSED: 0 TOTAL: 0
LAV'S (SINKS): EXISTING: 2 PROPOSED: 0 TOTAL: 2	SERVICE SINK: EXISTING: 1 PROPOSED: 1 TOTAL: 1

Gies Architects

404 BROADWAY  
PO BOX 2185  
EAGLE, CO 81631-2185  
970.328.9280

EMAIL: ROIES@GIESARCHITECTS.COM

SEAL



Wanderlust Dog Ranch  
45 Eagle Park E Drive-Eagle, CO 81631

PROJECT TITLE SHEET

Gies Architects, Inc.  
Expressly disclaim any responsibility from any unauthorized use of these plans, drawings, and notes. Any authorization must be in writing.  
The owner and architect assumes no responsibility for use of incorrect scale. Drawings are not to be scaled.  
This drawing may have been reproduced at a size different than it was originally drawn. Not to be published-all rights reserved.

PROJECT NO.

ISSUE	DATE
DD	31 May 2022
DD#2	12 Oct. 2022
PERMIT	20 Oct. 2022
REV. PERMIT	30 Nov. 2022

T100



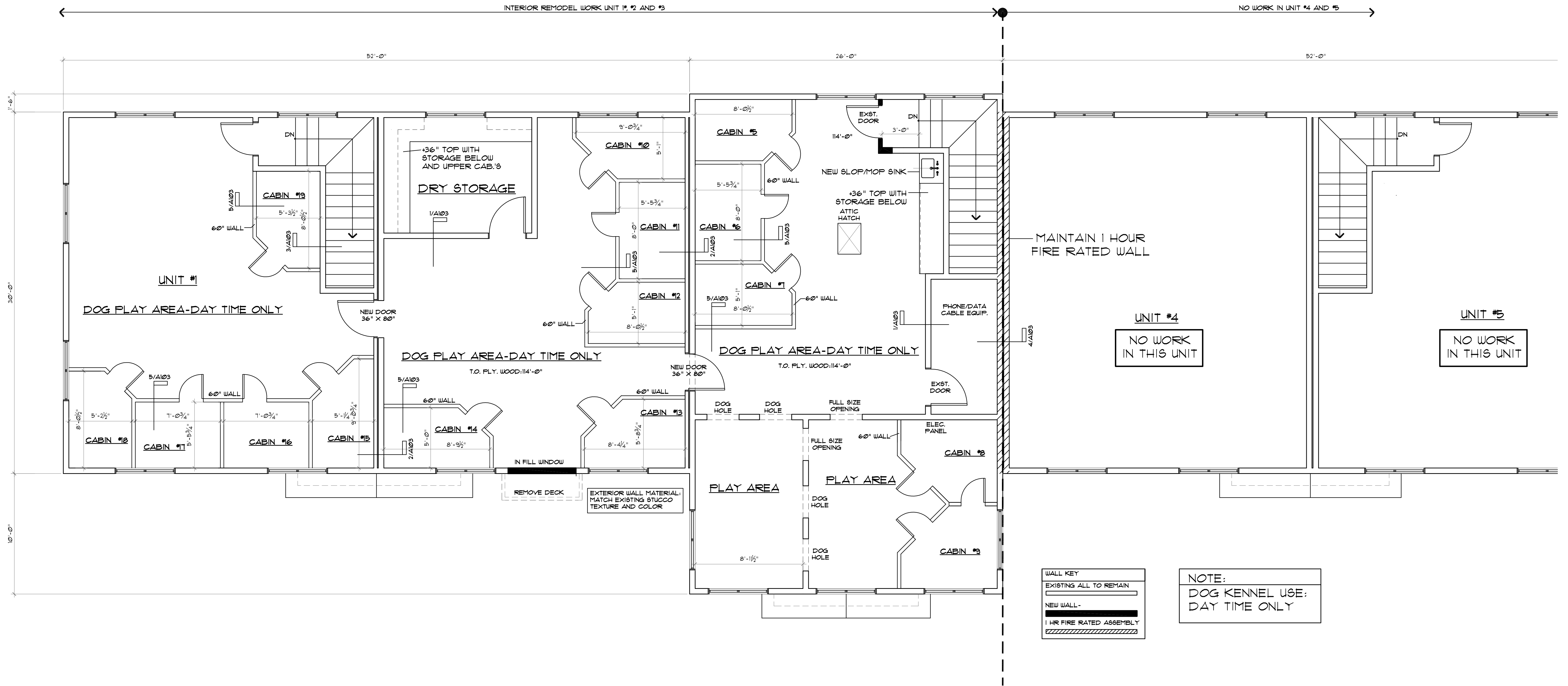
NOTICE: According to Colorado law you MUST commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.









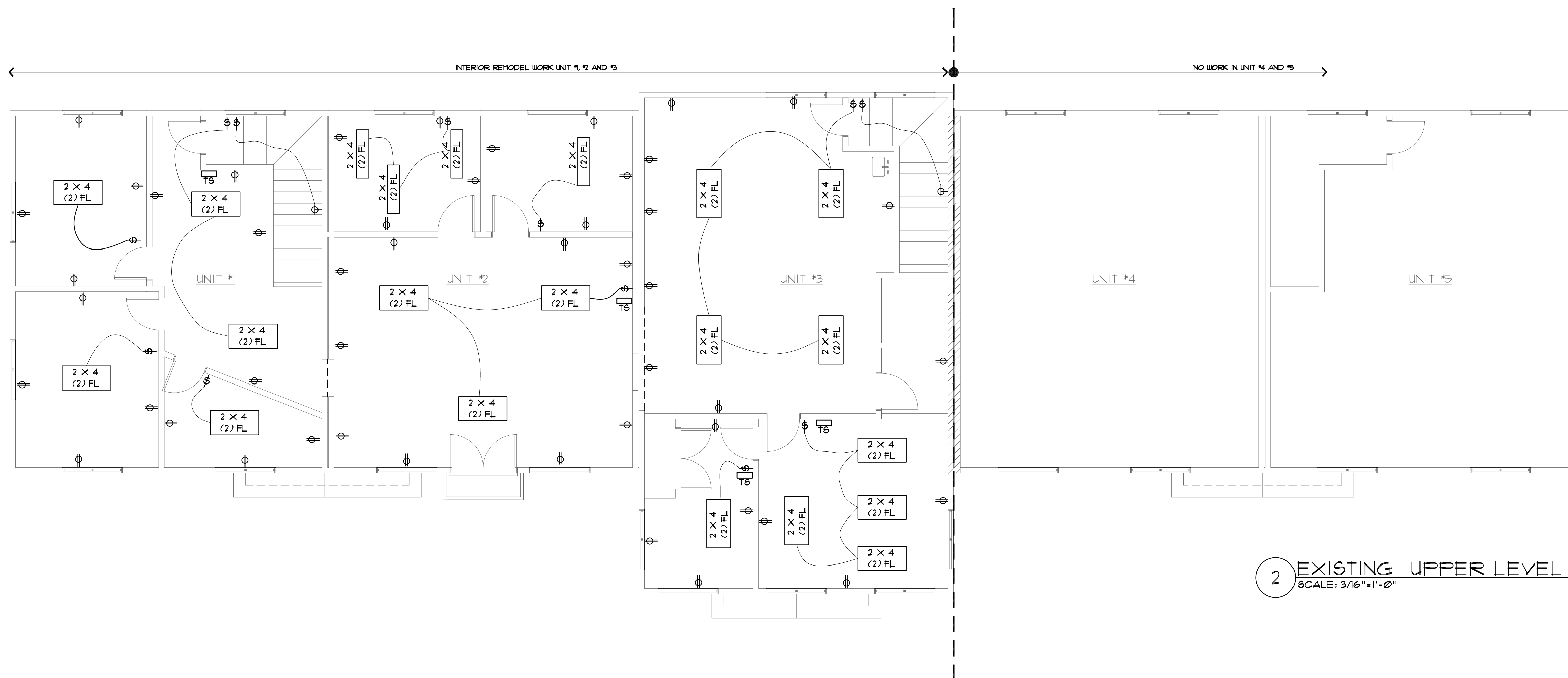
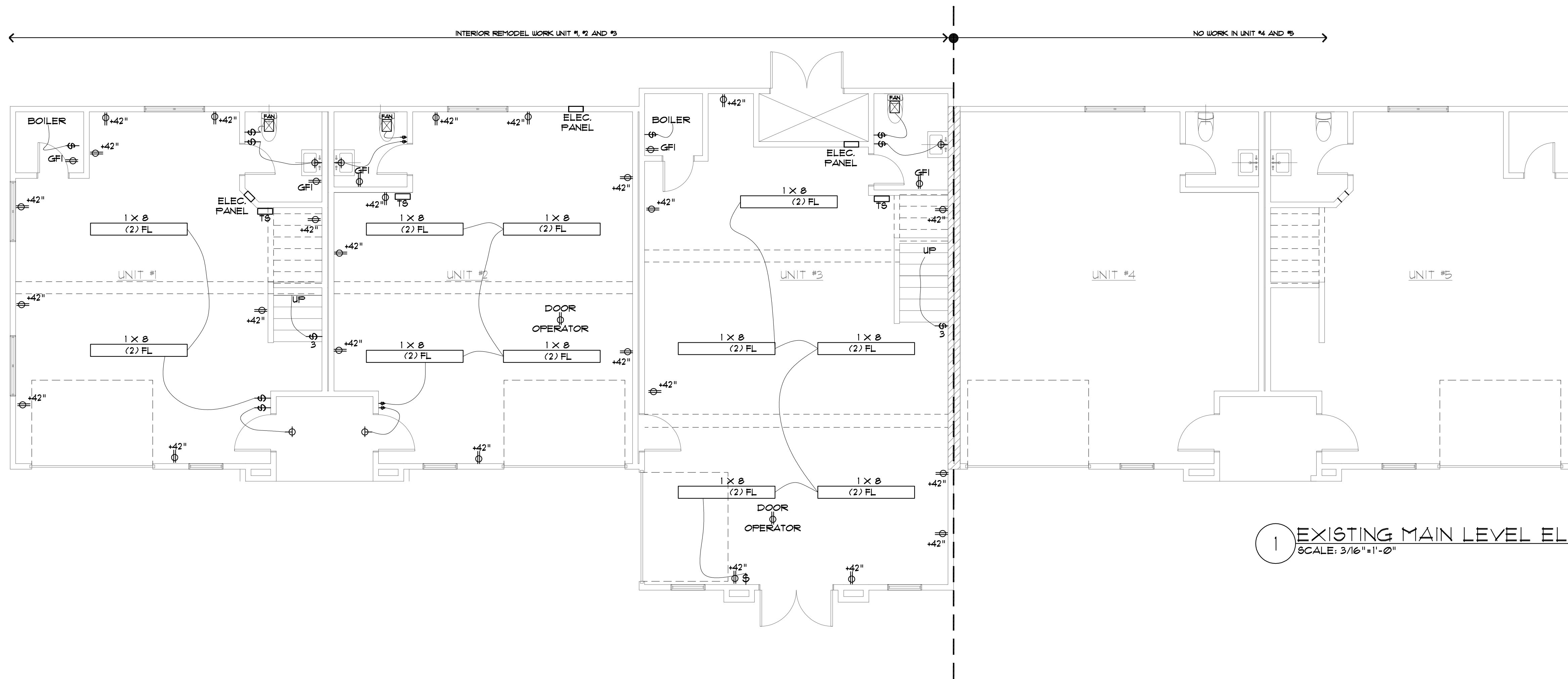


1 PROPOSED UPPER LEVEL PLAN  
SCALE: 1/4"=1'-0"

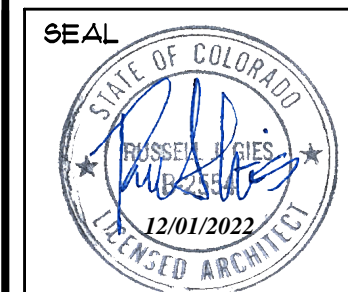








**GA** Gies Architects  
404 BRICKWAY  
PO BOX 2195  
EAGLE CO 81631-2195  
970.326.2280  
EMAIL: RGIES@GIESARCHITECTS.COM



PROJECT: Wanderlust Dog Ranch  
45 Eagle Park E Drive-Eagle, CO 81631

DRAWING: EXISTING ELECTRICAL PLANS

**Gies Architects, Inc.**  
Expressly disclaim any responsibility from any unauthorized use of these plans, drawings, and notes. Any authorization must be in writing.  
The owner and architect assumes no responsibility for use of incorrect scale. Drawings are not to be scaled.  
This drawing may have been reproduced at a size different than it was originally drawn.  
Not to be published—all rights reserved.

PROJECT NO.	
ISSUE	DATE
DD	31 May 2022
DD*	12 Oct. 2022
PERMIT	20 Oct. 2022
PERMIT	30 Nov. 2022

E 100









## Town of Eagle

Box 609, Eagle, CO 81631

(970) 328-9655

Fax (970) 328-9656

Commercial Remodel C/O

19TEGL-4899

**For Inspections: (970) 328-9626**

<b>Date Issued:</b> 07/30/2019	<b>Property Owner:</b> CARSON HOLDINGS LLC
<b>Job Site Address:</b> 0031 Eagle Park East, Eagle, CO 81631	<b>Mailing Address:</b> PO BOX 1983 Eagle, CO 81631
<b>Category:</b> Commercial Alteration	<b>Phone:</b>
<b>Permit Type:</b> Commercial Remodel C/O	<b>Email:</b>
<b>Valuation:</b> \$85,000.00	
<b>Description of Work:</b> Reconfigure space for use as dog kennel. New drywall/paint, install new floor coverings, upgrade bathrooms with grab bars and signage. Deferred mechanical submittal per Building Official.	
<b>Subdivision:</b> EAGLE PARK EAST PARCEL 2	<b>Required Setbacks:</b>
<b>Parcel ID:</b> 193933203002	
<b>Filing:</b>	
<b>Lot:</b>	<b>Actual Setbacks:</b>
<b>Block:</b>	
<b>Total Sq Ft:</b>	
<b>Contractors:</b>	<b>Fee Items</b> <b>Amount</b>
<b>Primary</b> Custom House Construction Corporation, (970) 328-3040	Building Permit Fees \$1,047.30
<b>Electric</b> RMK Electric LLC, (970) 331-4931	Building Permit Issue/Transfer Permit \$25.00
	Use Tax \$2,040.00
	Plan Check Fees \$680.75
	Commercial Electrical <\$2000 \$103.50
	<b>Total:</b> \$3,896.55
<b>NOTICE</b>	
The applicant, his agents and employees of, shall comply with all the rules, regulations and requirements of the Town Zoning Regulations and Building Codes governing all aspects of the above proposed work for which the permit is granted. The Town or its agents are authorized to order the immediate cessation of construction at anytime a violation of the codes or regulations appears to have occurred. Violation of any of the codes or regulations applicable may result in the revocation of this permit. Buildings MUST conform with the submitted and approved plans. Any changes of plans or layout must be approved prior to the changes being made. Any change in the use or occupancy must be approved prior to commencement of construction. Construction not commenced within 180 days of permit issuance voids this permit. Cessation of work for periods of 180 continuous days shall also void this permit. Permits are not transferable. Meritage Systems Inc. and the Town of Eagle are not liable for workmanship.	
Signature of Applicant/Date	Building Department Signature/Date

**MUST BE POSTED ON JOB SITE**



# WANDERLUST DOG RANCH

31 EAGLE PARK EAST DRIVE

EAGLE, COLORADO 81631

PARCEL 2, EAGLE PARK WEST

TOWN OF EAGLE

PARCEL #1939-332-03-002

# PERMIT SET-INTERIOR REMODEL

## 08 JULY 2019

### ARCHITECT

GIES ARCHITECTS, INC.  
PO BOX 2195  
EAGLE, COLORADO 81631  
970-328-9280

### CONTRACTOR

CHC MOUNTAIN STRUCTURES  
PO BOX 3026  
EAGLE, CO 81631  
970-328-3040

### STRUCTURAL

NA

### OWNERS

JASON HERSHAM  
WANDERLUST DOG RANCH  
PO BOX 5366  
EAGLE, CO. 81631

### MECHANICAL

SKYLINE MECHANICAL INC  
16 ALPINE RANCH RD  
GYP SUM, CO 81631  
970-524-6809

## GENERAL CONDITIONS:

- LICENSES AND PERMITS:** ALL WORK SHALL BE PERFORMED UNDER PERMIT FROM ALL GOVERNING AUTHORITIES AND SHALL BE INSPECTED BY THEIR PERSONNEL AND OBSERVED BY THE ARCHITECT.
- INSURANCE:** CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY CONTRACTOR'S LIABILITY INSURANCE (PERSONAL AND PROPERTY) AND WORKER'S COMPENSATION MEETING MINIMUM COLORADO REQUIREMENTS. AND SHALL PROVIDE PROOF OF SAME UPON REQUEST.
- SAFETY:** CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF EMPLOYEES, WORKERS, OCCUPANTS AND THE PROPERTY ITSELF. MUST MAINTAIN TWO (2) ABC FIRE EXTINGUISHERS ON THE JOB SITE FROM START TO FINISH.
- MEASUREMENTS:** BEFORE ORDERING MATERIALS OR DOING ANY WORK, CONTRACTOR WILL VERIFY MEASUREMENTS ON SITE.
- MATERIALS:** ALL MATERIALS TO BE NEW, IN GOOD CONDITION AND OF STANDARD GRADE OR BETTER AS CALLED OUT IN THE CONSTRUCTION DOCUMENTS. IF ANY SPECIFIED PRODUCT IS UNAVAILABLE OR IF THE CONTRACTOR WISHES TO SUGGEST AN ALTERNATIVE, CONTACT THE ARCHITECT FOR VERIFICATION.
- WORKMANSHIP:** ALL WORK SHALL BE PERFORMED BY MECHANICS SKILLED IN THEIR RESPECTIVE TRADES IN ACCORDANCE WITH THE BEST PRACTICES OF THAT TRADE. CONTRACTOR IS TO COORDINATE, SUPERVISE AND TAKE RESPONSIBILITY FOR ALL WORK OF HIS EMPLOYEES AND SUBCONTRACTORS AND THEIR EMPLOYEES.
- DEBRIS:** SITE AND BUILDING SHALL BE KEPT IN A NEAT AND SAFE CONDITION AT ALL TIMES. CONTRACTOR TO PROVIDE A DUMPSTER ON SITE OF A SIZE NECESSARY TO ACCOMMODATE ALL TRASH REMOVAL NEEDS.
- CHANGES:** OWNER AND CONTRACTOR MAY NEGOTIATE ADDITIONS, DELETIONS, OR REVISIONS TO THE SCOPE OF WORK AND ADJUST THE CONTRACT SUM ACCORDINGLY. A WRITTEN RECORD OF EACH CHANGE SHALL BE KEPT BY CONTRACTOR FOR FINAL ACCOUNTING. THE ARCHITECT WILL BE MAILED A COPY OF ALL CHANGES.

- ARCHITECT'S ROLE:** THE ARCHITECT WILL HAVE NO RESPONSIBILITY TO SUPERVISE OR COORDINATE THE CONTRACTOR'S WORK, TO STOP WORK FOR ANY REASON OR TO INSURE CONSTRUCTION SAFETY. HIS SOLE FUNCTION SHALL BE TO ACT AS THE OWNER'S AGENT IN MAKING PERIODIC VISITS, AS SET UP WITH THE OWNER, TO OBSERVE WHETHER THE WORK IS PROCEEDING ACCORDING TO THE PLANS AND SPECIFICATIONS. THE ARCHITECT WISHES TO CONSULT WITH THE CONTRACTOR FREQUENTLY AND PROVIDE WHATEVER ASSISTANCE OR CLARIFICATION MIGHT BE NECESSARY TO KEEP THE JOB PROCEEDING ACCORDING TO SCHEDULE AND PLAN. SHOULD QUESTIONS ARISE, THE CONTRACTOR OR SUBCONTRACTOR MAY CALL THE ARCHITECT DURING NORMAL BUSINESS HOURS AT 970-328-9280.
- SIGNAGE:** CONTRACTOR AND ARCHITECT MAY ERECT A SIGN IDENTIFYING THEMSELVES FOR THE DURATION OF THE PROJECT. THE SIGN MUST BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL REGULATIONS AND SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- DESIGN:** DRAWINGS AND DESIGN CONCEPT ARE PROPERTY OF THE ARCHITECT AND ANY USE OF SUCH DRAWINGS AND CONTENT FOR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT FROM THE ARCHITECT IS STRICTLY PROHIBITED BY LAW.
- CHANGES:** CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT FROM THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

## GENERAL NOTES:

- DO NOT SCALE DRAWINGS!**
- ALL GENERAL NOTES & GENERAL CONDITIONS NOTES TO BE CONSIDERED PART OF THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR REQUIRED TO NOTIFY ARCHITECT OF ALL DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS AND AWAIT CLARIFICATION PRIOR TO COMMENCEMENT.
- CONTRACTOR TO VERIFY ALL UTILITY INFORMATION AT JOB SITE BEFORE COMMENCING CONSTRUCTION.
- REFER TO ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR COORDINATION OF ALL WORK AS REQUIRED TO PREVENT CONFLICTS BETWEEN VARIOUS TRADES DURING CONSTRUCTION.
- ALL WORK TO BE INSTALLED IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND REGULATIONS AS WELL AS SOILS TEST INFORMATION AND SOILS ENGINEERS RECOMMENDATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL TIMES.
- PROVIDE FLASHING AND/OR COUNTER FLASHING AND WATERPROOFING AT ALL CONDITIONS WHERE ROOFING ABUTS VERTICAL WALLS AND WATERPROOF ALL FLAT SURFACES AT THE BUILDING PERIMETER (18" MIN.).
- PROVIDE WATERPROOF MEMBRANE 8'-0" (MIN.) UP THE EAVE OVERHANG AT ALL ROOF CONDITIONS.
- ALL EXPOSED FLASHING AND GUTTERS TO BE COPPER.
- PROVIDE ONE HOUR RATED FLUE CHASES.

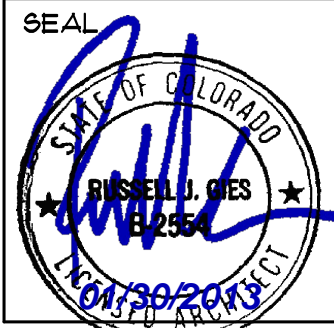
DRAWING INDEX	
TITLE	TITLE PAGE
A100	PROPOSED-EXIST. MAIN LEVEL PLANS
A101	PROPOSED-EXIST. UPPER LEVEL PLANS
A200	DETAIL

CODE SUMMARY
CLASS OF WORK: INTERIOR REMODEL
TYPE OF CONSTRUCTION: TYPE V-B USE AND OCCUPANCY: BUSINESS GROUP-B ANIMAL KENNELS
LOAD OCCUPANCY: BUSINESS-B 100 GROSS 3836 GFA / 100 GROSS=39 PEOPLE
LEVELS: EXISTING 2 STORY
PARKING SPACES REQ.: 1 CAR PER 300 SF 3836 GFA/300= 13 CARS
PARKING PROVIDED: 16 SPACES (10' X 19') HC REQUIRED: 1-25 SPACES+1 HC SPACE 1 HC SPACE (20' X 19')
TOWN OF EAGLE CODES:
2015 IBC-INCLUDING "FIRE RESISTANCE MANUAL" 2015 IEBC- CHAPTER 5-CLASSIFICATION OF WORK 1. SECTION 507-ADDITIONS
2015 IRC-APPENDIX F & G
2015 IMC
2015 IPC
2017 NEC
2015 INT. ENERGY CODE
2015 INT. FUEL GAS

ZONING SUMMARY
LOT SIZE: 0.423 ACRES (18,426 SF)
ZONING: GENERAL COMMERCIAL-GC
EXISTING SITE COVERAGE: 3032 SF (16%) NO CHANGE EXISTING IMPERVIOUS COVERAGE: 11,149 SF(60%) NO CHANGE
SET BACK: FRONT: 14' STREET (50') EXISTING BUILDING: 64'-0" SIDE: 12'-0', EXIST. BUILDING NORTH: 12'-0', SOUTH: 22'-0" REAR: 15'-0' EXISTING BUILDING 56'-0"
HEIGHT: 35' MAX, EXISTING BUILDING 25'-0"

PLUMBING FIXTURE COUNT 2015 IBC TABLE 2902.1	
WATER CLOSETS (TOILETS):	
EXISTING: 2 (1 ADA COMPLIANT)	
PROPOSED: 0	
TOTAL: 2	
LAVS (SINKS):	
EXISTING: 3 (1 ADA COMPLIANT)	
PROPOSED: 0	
TOTAL: 3	
SHOWERS:	
EXISTING: 0	
PROPOSED: 0	
TOTAL: 0	
WATER FOUNTAIN:	
EXISTING: 0	
PROPOSED: 0	
TOTAL: 0	
SERVICE SINK:	
EXISTING: 1	
PROPOSED: 0	
TOTAL: 1	

Gies Architects



WANDERLUST DOG RANCH  
31 East Park, Parcel 2, Eagle Park West Eagle, CO

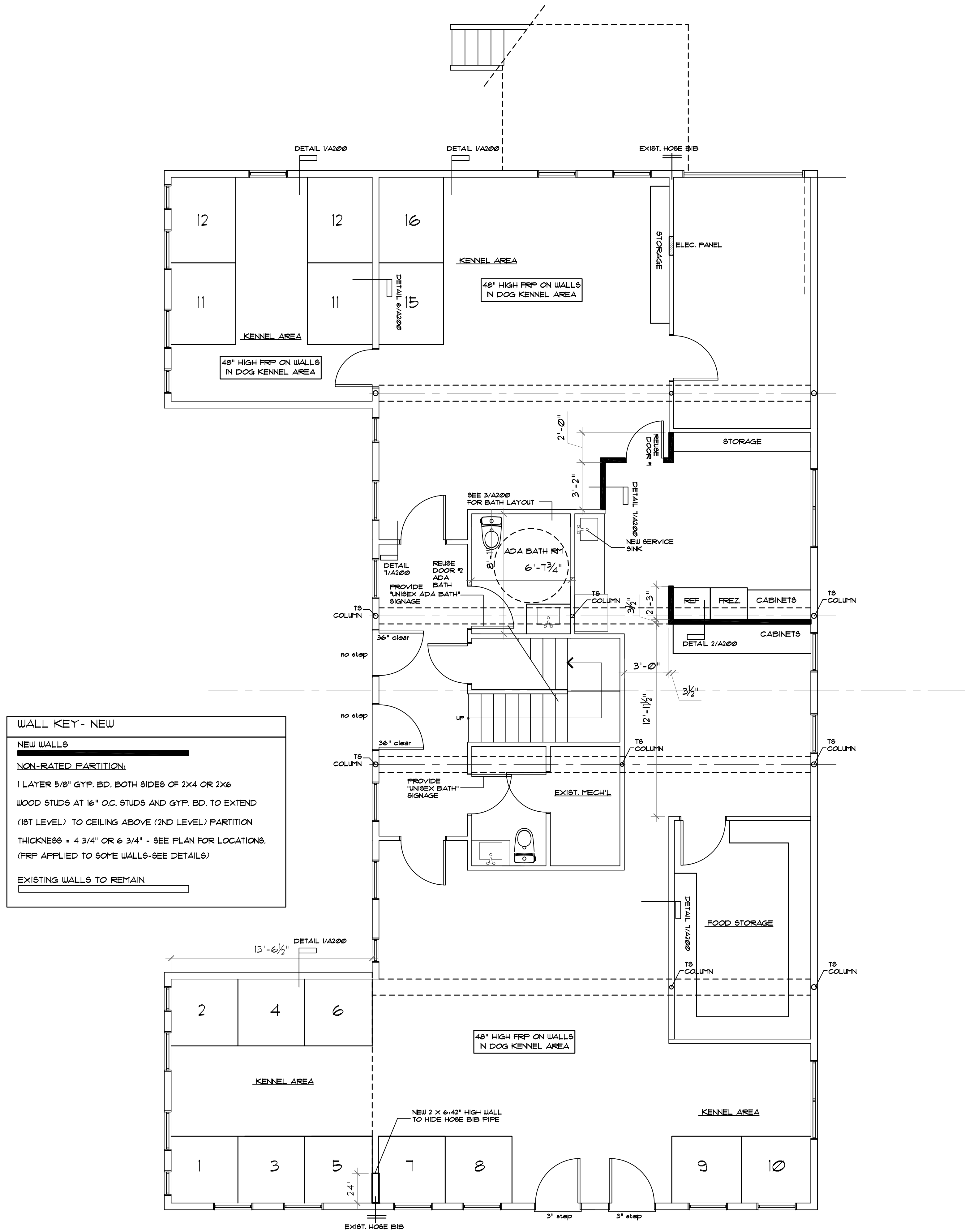
PROJECT TITLE SHEET

Gies Architects, Inc.  
Expressly disclaim any responsibility from any unauthorized use of these plans, drawings, and notes. Any authorization must be in writing.  
The owner and architect assumes no responsibility for use of incorrect scale. Drawings are not to be scaled.  
This drawing may have been reproduced at a size different than it was originally drawn. Not to be published-all rights reserved.

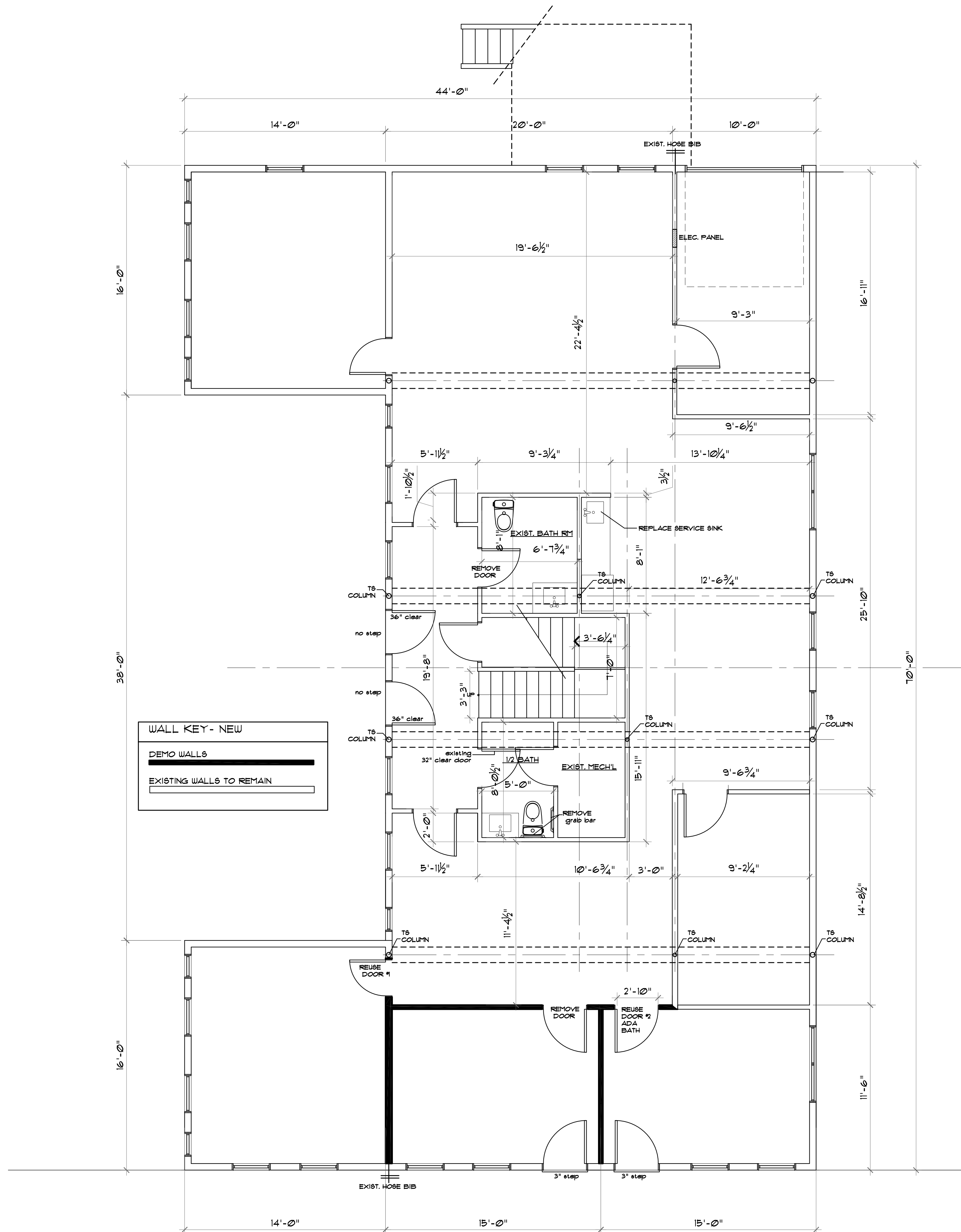
PROJECT NO. 1905	
ISSUE	DATE
PERMIT	08 JULY 2019

T100





1 PROPOSED MAIN LEVEL PLAN  
SCALE: 1/4" = 1'-0"



1 EXISTING-DEMO MAIN LEVEL PLAN  
SCALE: 1/4" = 1'-0"

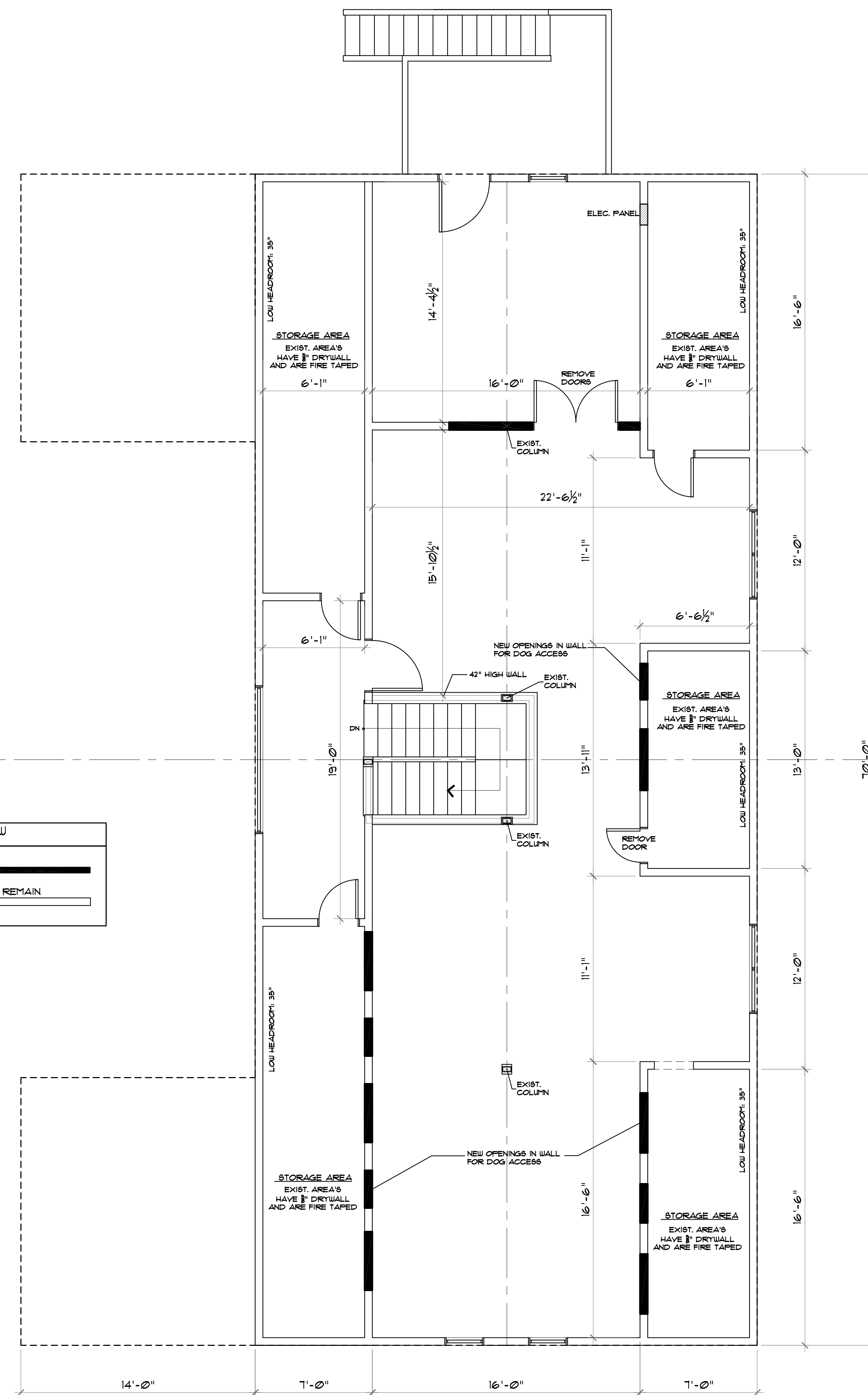
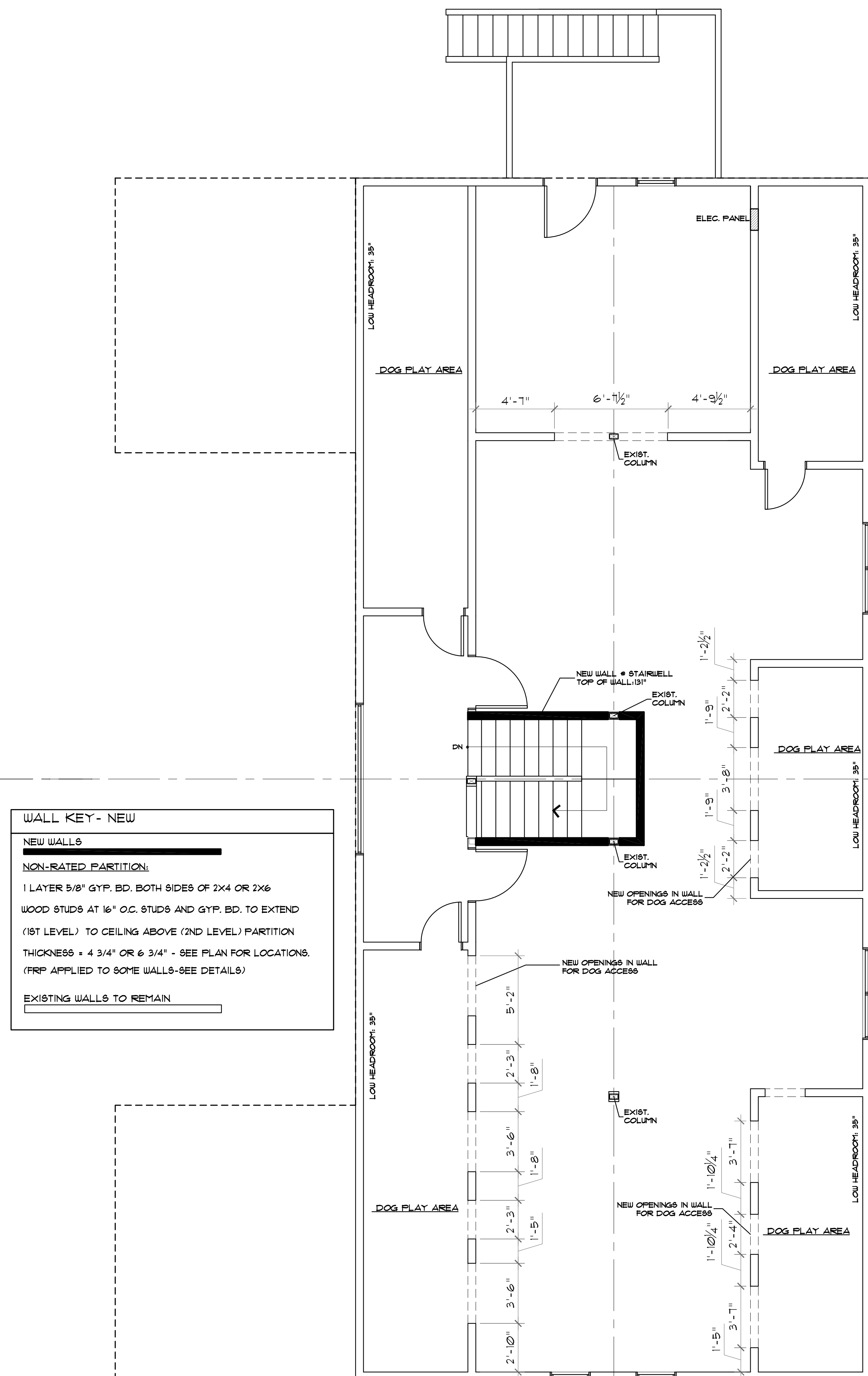


**Gies Architects, Inc.**  
Expressly disclaim any responsibility from any unauthorized use of these plans, drawings, and notes. Any authorization must be in writing.  
The owner and architect assumes no responsibility for use of incorrect scale. Drawings are not to be scaled.  
This drawing may have been reproduced at a size different than it was originally drawn. Not to be published-all rights reserved.

PROJECT NO.  
1905

ISSUE	DATE
PERMIT	08 JULY 2019

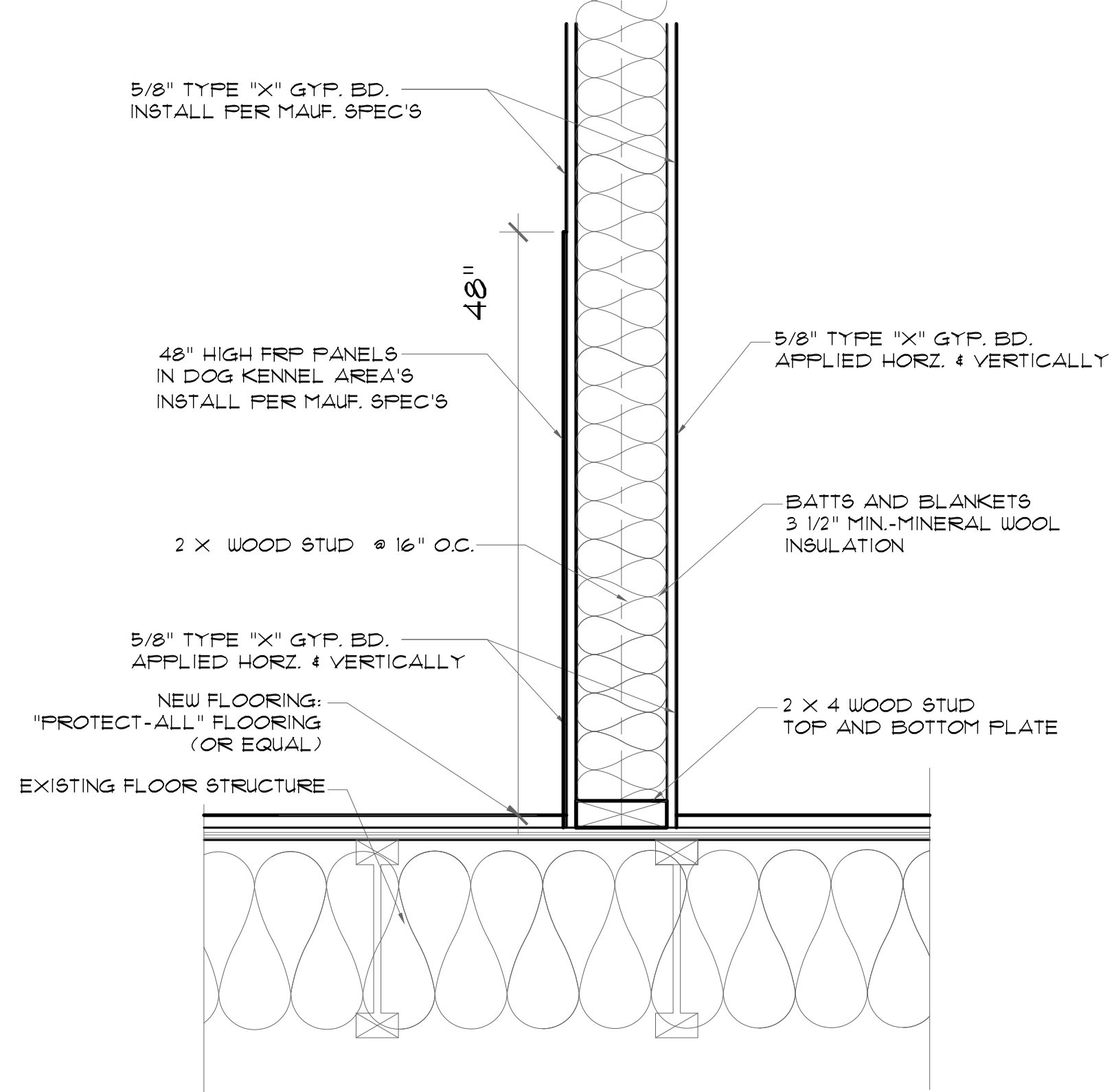




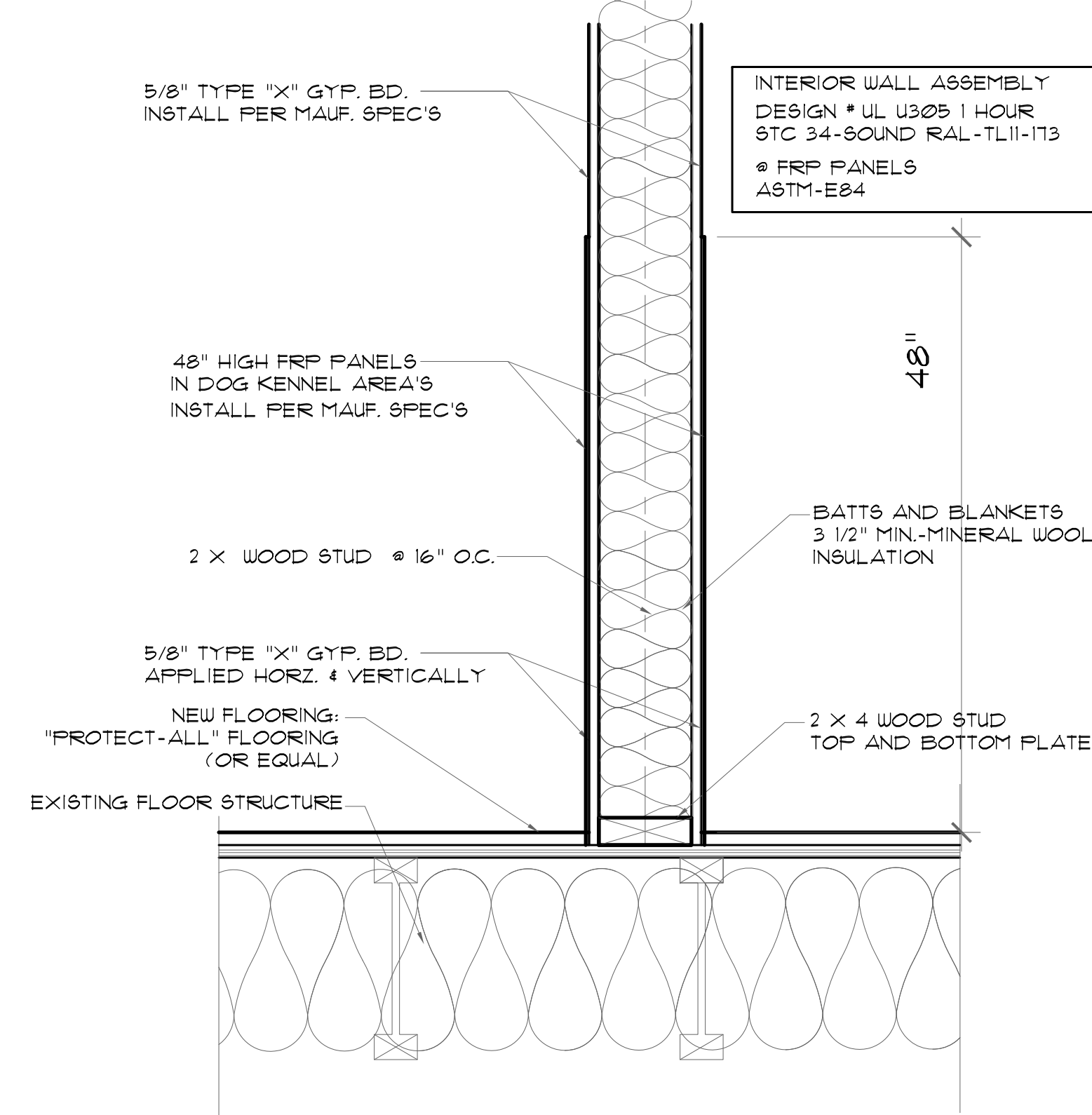
1 PROPOSED UPPER LEVEL PLAN  
SCALE: 1/4" = 1'-0"

1 EXISTING-DEMO UPPER LEVEL PLAN  
SCALE: 1/4" = 1'-0"

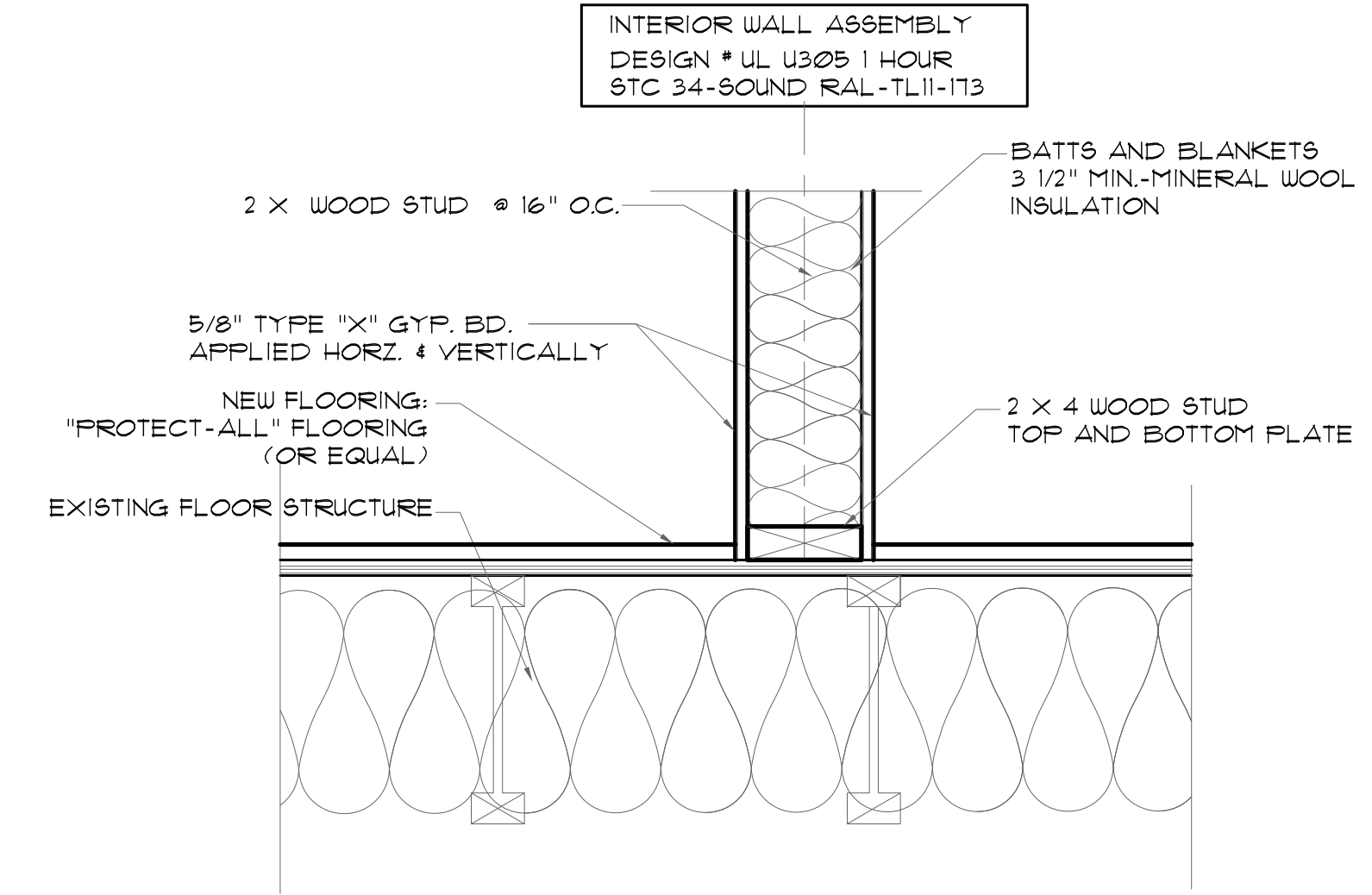




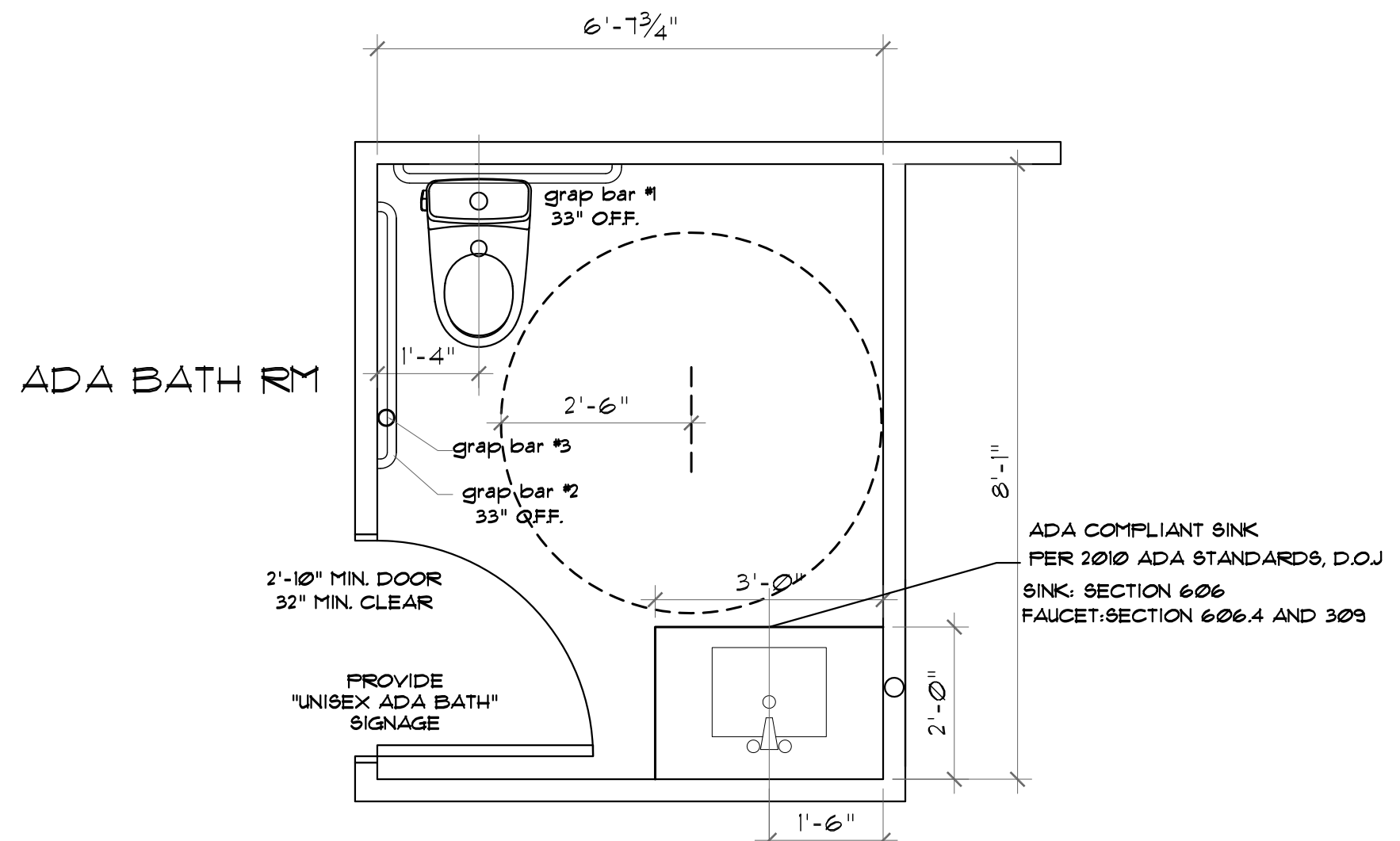
1 INTERIOR FRP WALL ASSEMBLY  
SCALE: 1 1/2"=1'-0"



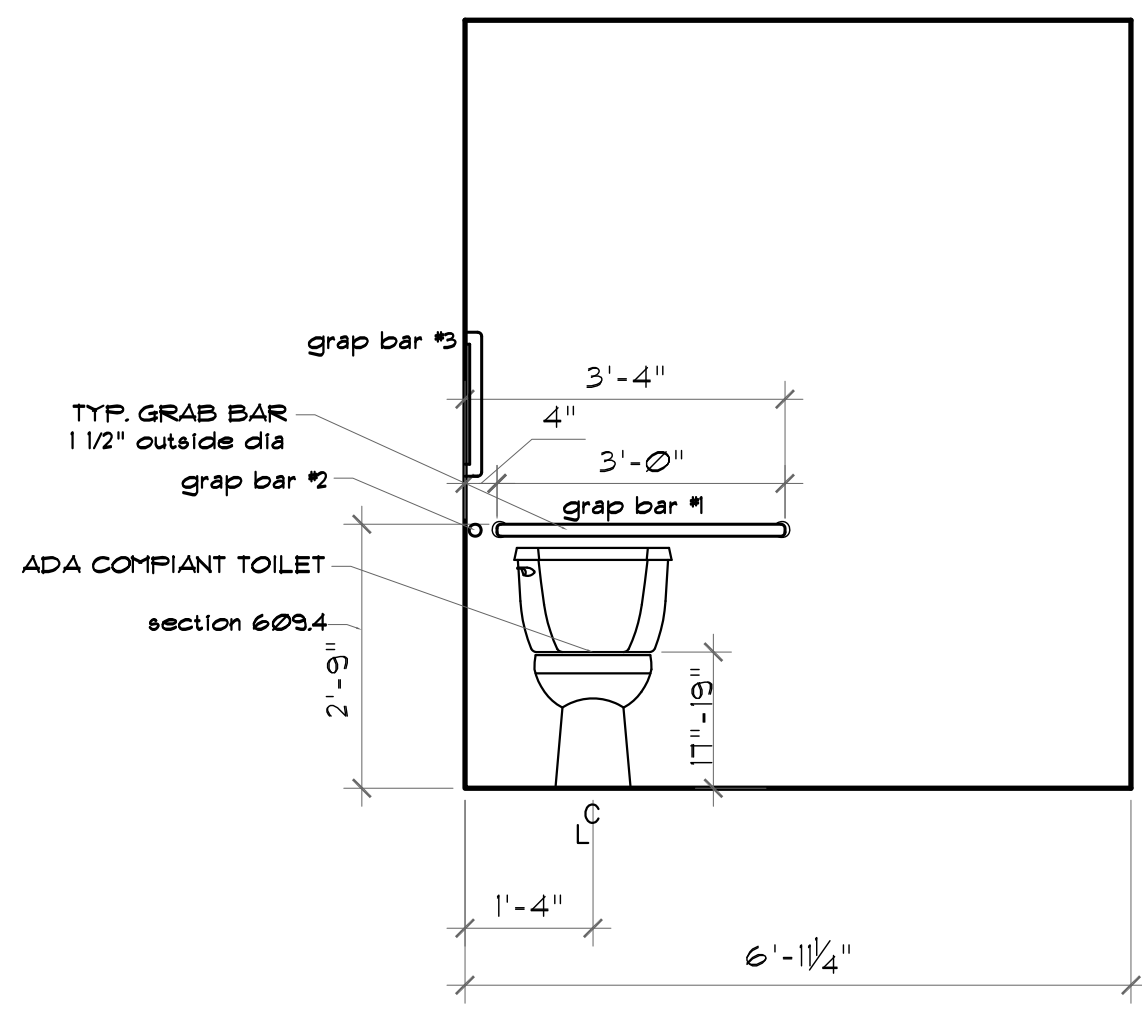
6 INTERIOR FRP WALL ASSEMBLY  
SCALE: 1 1/2"=1'-0"



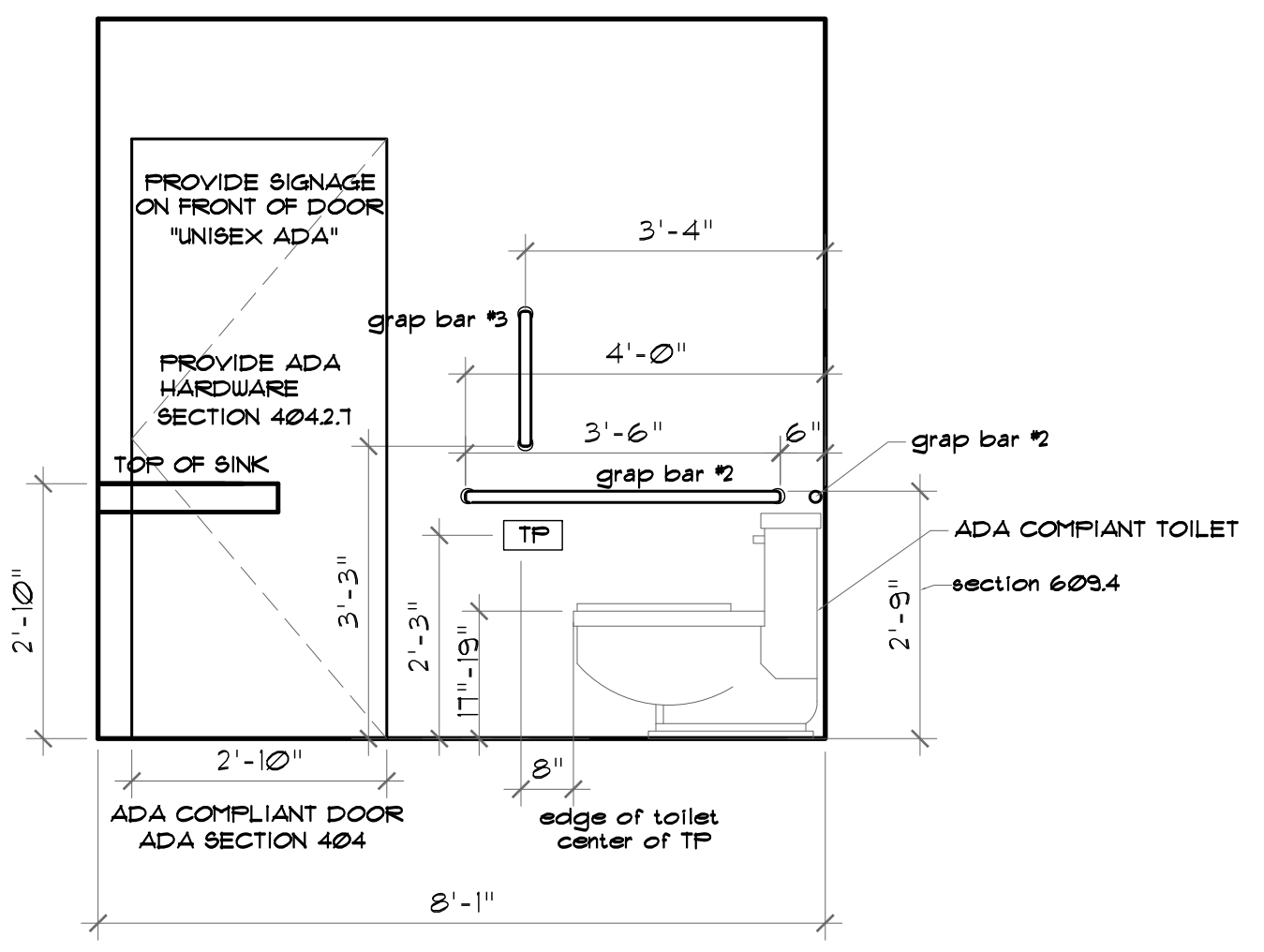
2 INTERIOR WALL ASSEMBLY  
SCALE: 1 1/2"=1'-0"



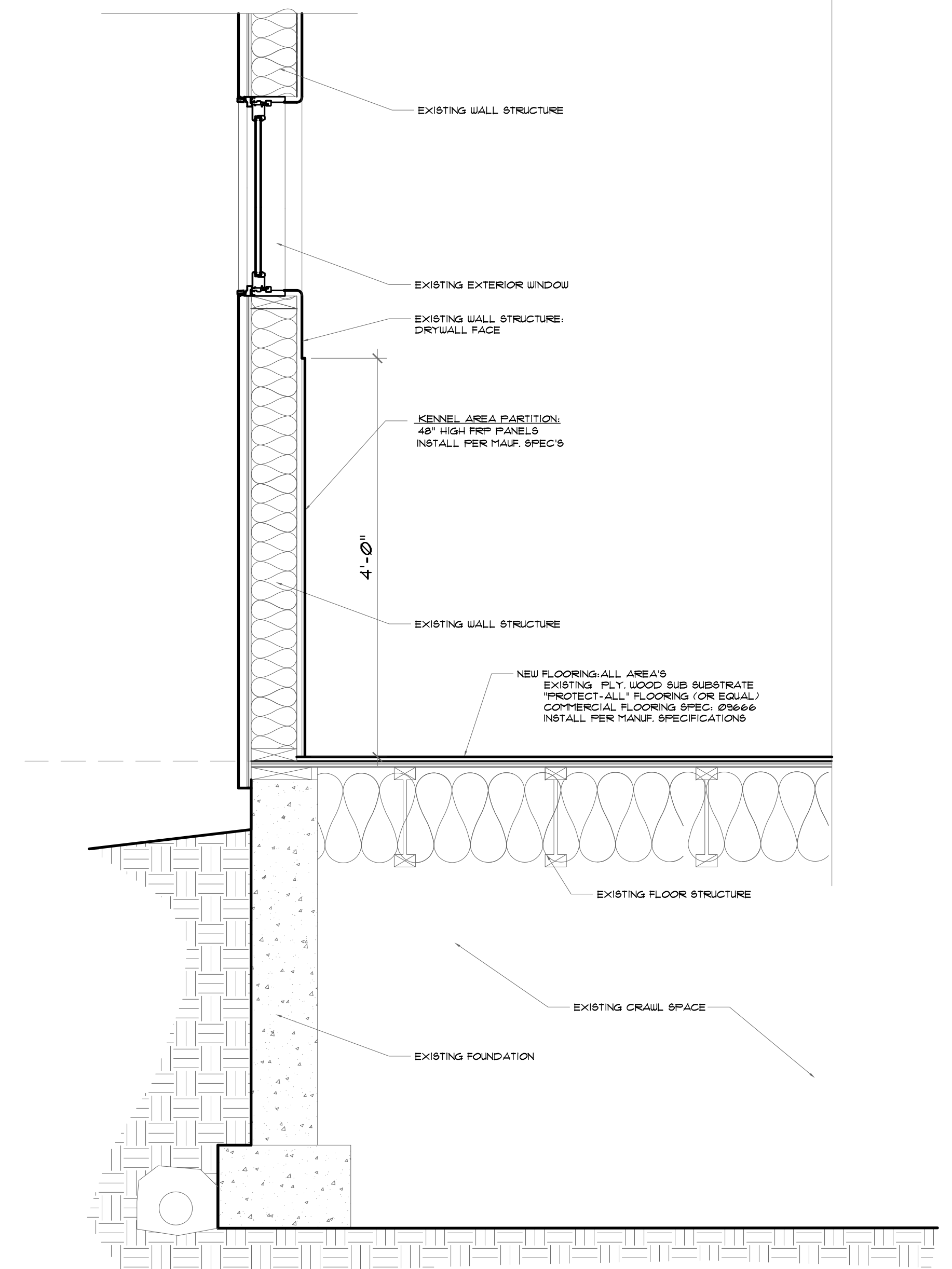
3 PROPOSED ADA BATH PLAN  
SCALE: 1/2"=1'-0"



5 PROPOSED ADA BATH ELEVATION  
SCALE: 1/2"=1'-0"



4 PROPOSED ADA BATH ELEVATION  
SCALE: 1/2"=1'-0"



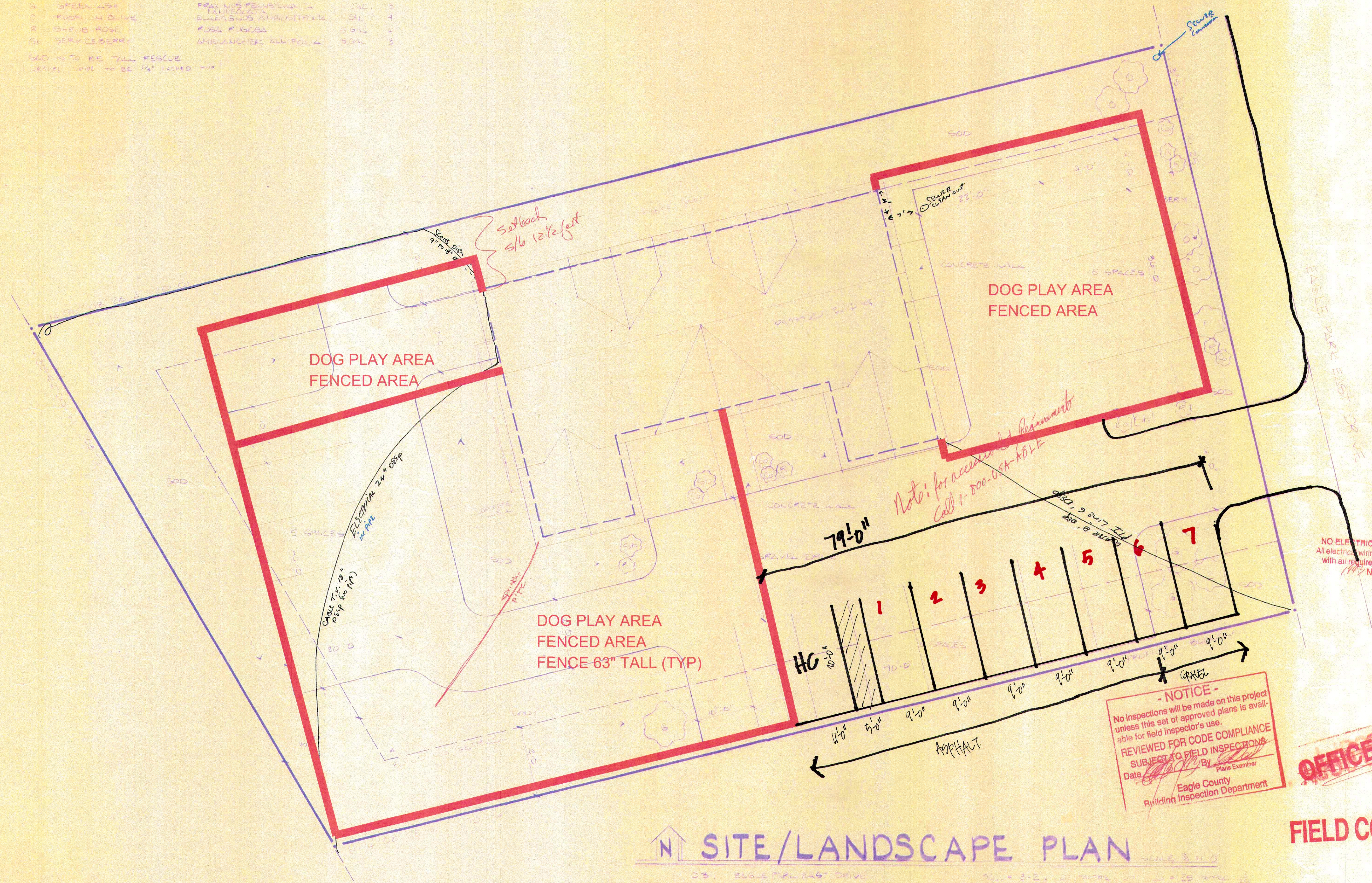
1 KENNEL ROOM WALL SECTIONS  
SCALE: 1"=1'-0"



# PLANTING MATERIALS (BY NUMBER)

NO.	COMMON NAME	BOTANICAL NAME	SIZE	NO.
1	GRABAPPLE	MALUS DOUGL.	2 GAL.	2
2	PEKING COCKLESHOT	COTONEASTER AGUSTIFOLIA	5 GAL.	6
3	GREEN ASPH.	FRAXINUS PENNSYLVANICA	2 GAL.	3
4	RUSSIAN OLIVE	ELAEAGNUS ANGUSTIFOLIA	2 GAL.	4
5	SHRUB ROSE	ROSA RUBRA	5 GAL.	6
6	SERVICEBERRY	AMELANCHIER ALNIFOLIA	5 GAL.	3

SOD IS TO BE TALL FESCUE  
GRAVEL DRIVE TO BE 3/4" INCHES TYP



## 1" = 10'-0" SITE/LANDSCAPE PLAN

031 EAGLE PARK EAST DRIVE  
0.13 AC / 18,426 sq ft  
COVERAGE 3082 sq ft (16%)  
IMPERVIOUS COVERAGE 1,149 sq ft (40%)

031 = 3-2, 10' FACTOR = 10' 1" = 39' 10" 22'  
SOD TYPE = IN 1" = 10' 1" = 39' 10" 22'  
TOTAL SPA = 3886 sq ft  
BLANKS = 300' = 3' 10" 22'

## EXISTING PARKING PLAN

17 DEC. 2022

**- NOTICE -**  
No inspections will be made on this project unless this set of approved plans is available for field inspector's use.  
**REVIEWED FOR CODE COMPLIANCE**  
SUBJECT TO FIELD INSPECTIONS  
Date: 12/17/22 By: [Signature]  
Eagle County Building Inspection Department

**OFFICE COPY**

**FIELD COPY**

METCALF ARCHAEOLOGICAL CONS.

RICH ARCHITECTURAL DESIGNS  
Stephen Richards  
Architect