

RED MOUNTAIN RANCH

MAJOR DEVELOPMENT PERMIT - 01.13.2025

PROJECT
RED MOUNTAIN
RANCH

PARCEL 1
17500 US-6
EAGLE, CO 81631

ARCHITECT/
GENERAL CONTRACTOR
tres birds

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ISSUANCE
**MAJOR
DEVELOPMENT
PERMIT (MDP)**

ISSUE DATE
01.13.2025

CURRENT REVISION

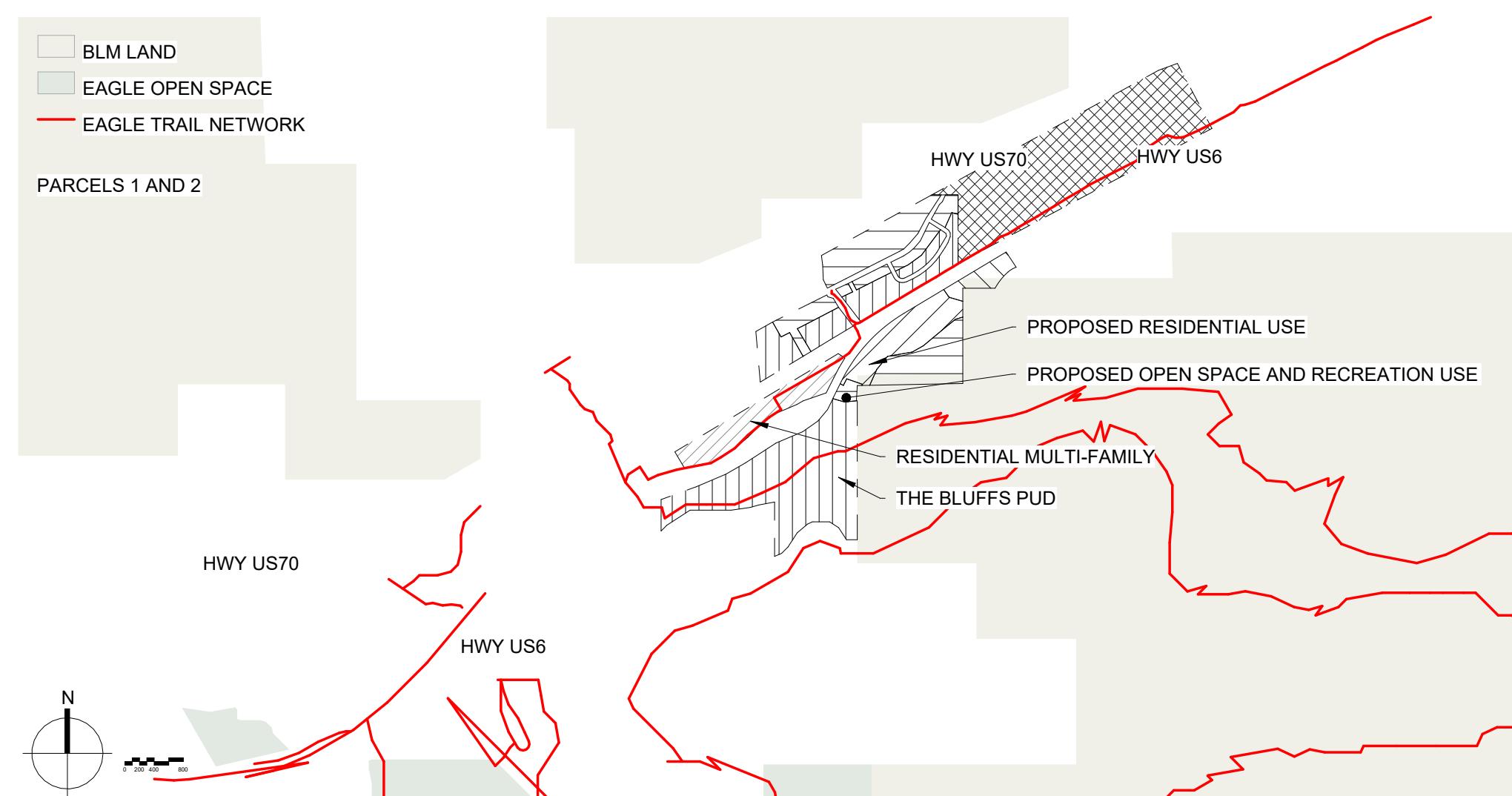
REVISION HISTORY

DRAWING SHEET TITLE
COVER SHEET

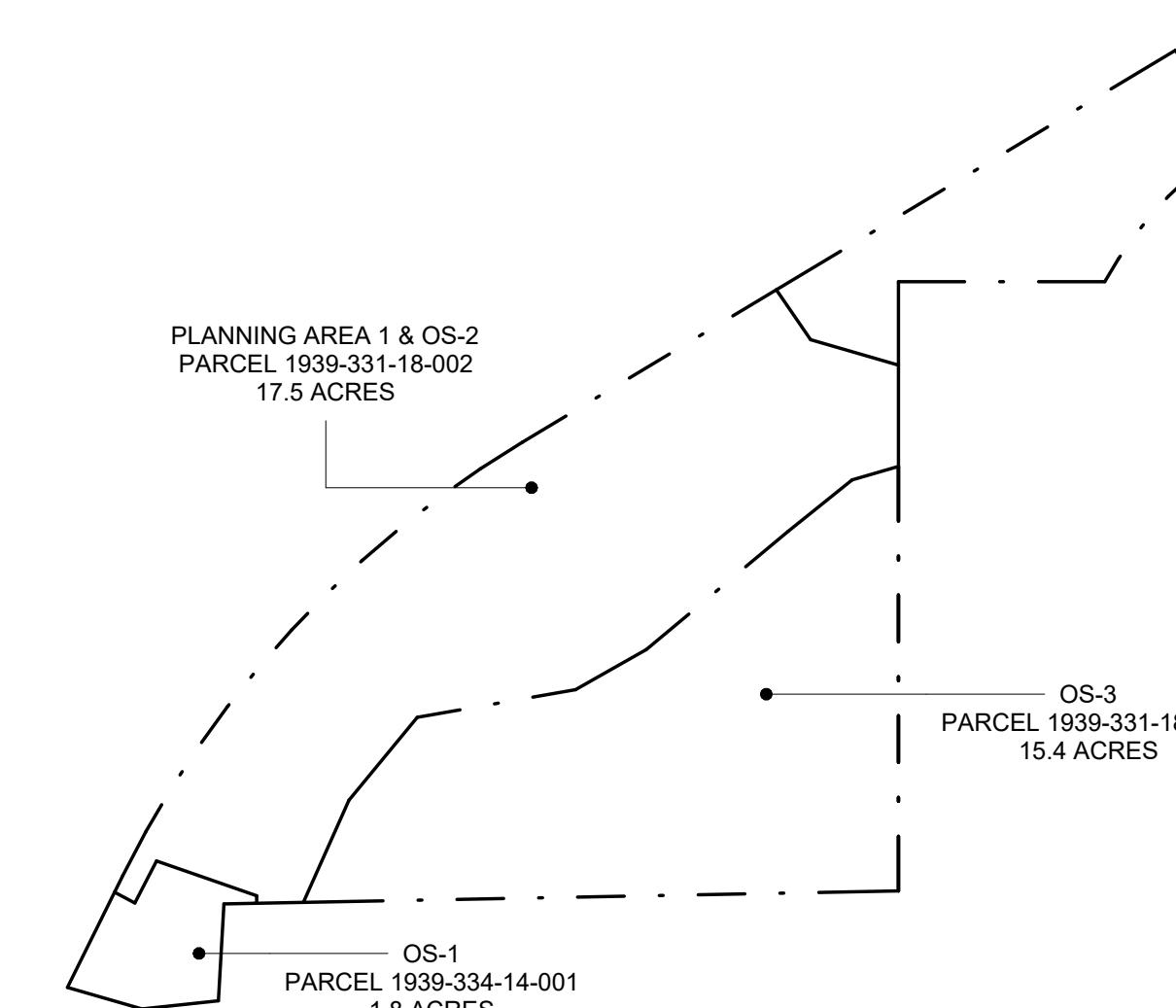
G-00



OVERALL VICINITY MAP



PLOT PLAN



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ARUP

GENERAL (G-SERIES)

G-00	COVER SHEET
G-01	SCHEMATIC INDEX
G-02	VICINITY MAP
G-03	PROJECT DATA

ARCHITECTURAL SITE (AS-SERIES)

AS-00	PARCEL 1 SITE PLAN
AS-01	ENLARGED SITE AREA 1.1
AS-02	ENLARGED SITE AREA 1.2
AS-03	ENLARGED SITE AREA 1.3

CIVIL (C-SERIES)

C-01	OVERALL UTILITY PLAN - WEST
C-02	OVERALL UTILITY PLAN - EAST
C-03	OVERALL UTILITY PLAN - NORTHEAST
C-04	OVERALL GRADING PLAN - WEST
C-05	OVERALL GRADING PLAN - EAST
C-06	EROSION CONTROL INITIAL - WEST
C-07	EROSION CONTROL INITIAL - EAST
C-08	EROSION CONTROL INTERIM - WEST
C-09	EROSION CONTROL INTERIM - EAST
C-10	EROSION CONTROL FINAL - WEST
C-11	EROSION CONTROL FINAL - EAST

LANDSCAPE (L-SERIES)

L-000	COVER SHEET
L-101	LAYOUT AND MATERIAL PLAN
L-102	LAYOUT AND MATERIAL PLAN
L-103	LAYOUT AND MATERIAL PLAN
L-104	LAYOUT AND MATERIAL PLAN
L-105	LAYOUT AND MATERIAL PLAN
L-106	LAYOUT AND MATERIAL PLAN
L-107	LAYOUT AND MATERIAL PLAN
L-108	LAYOUT AND MATERIAL PLAN
L-400	PLANTING NOTES
L-401	PLANTING SCHEDULES
L-402	PLANTING PLAN
L-403	PLANTING PLAN
L-404	PLANTING PLAN
L-405	PLANTING PLAN
L-406	PLANTING PLAN
L-407	PLANTING PLAN
L-408	PLANTING PLAN
L-409	PLANTING PLAN

IRRIGATION (I-SERIES)

IR-401	IRRIGATION SCHEDULE
IR-402	IRRIGATION PLAN
IR-403	IRRIGATION PLAN
IR-404	IRRIGATION PLAN
IR-405	IRRIGATION PLAN
IR-406	IRRIGATION PLAN
IR-407	IRRIGATION PLAN
IR-408	IRRIGATION PLAN
IR-409	IRRIGATION PLAN

LIGHTING (PH-SERIES)

PH-001	AREA 1.1 LIGHTING PLAN
PH-002	AREA 1.2 LIGHTING PLAN
PH-003	AREA 1.3 LIGHTING PLAN
PH-004	LIGHTING PHOTOMETRIC DETAILS

ARCHITECTURE (A-SERIES)

A-00	COVER SHEET
A-10	TH-A OVERALL PLANS
A-11	TH-B OVERALL PLANS
A-12	TH-C OVERALL PLANS
A-13	TH-D OVERALL PLANS
A-14	DUP OVERALL PLANS
A-15	SF-A OVERALL PLANS
A-16	SF-B OVERALL PLANS
A-20	TH-A ELEVATIONS
A-21	TH-B ELEVATIONS
A-22	TH-C ELEVATIONS
A-23	TH-D ELEVATIONS
A-24	DUP ELEVATIONS
A-25	SF-A ELEVATIONS
A-26	SF-B ELEVATIONS

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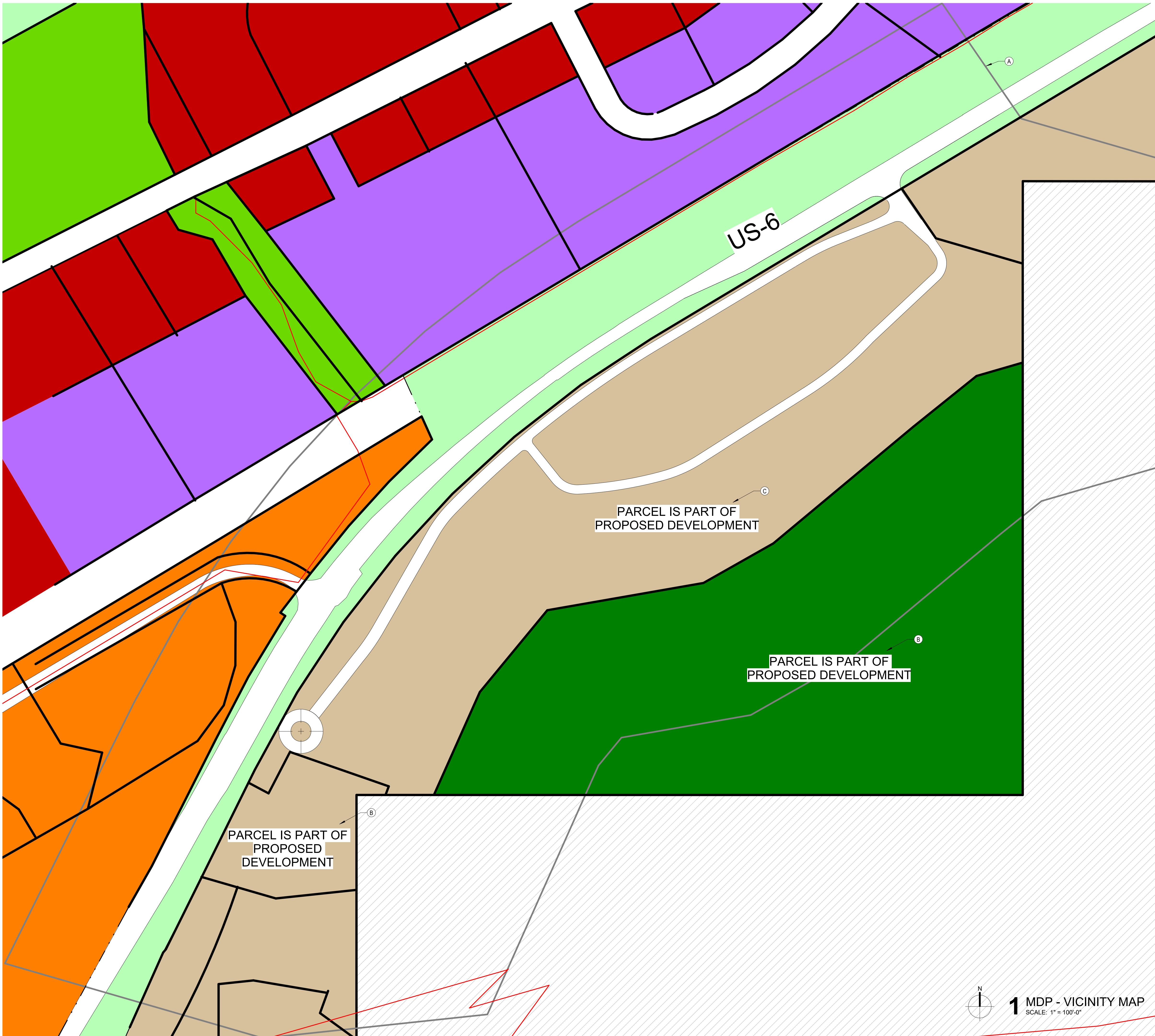
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CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE
SHEET INDEX

G-01



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CURRENT REVISION

—EE—EE—EE ELECTRICAL
—EU—EU—EU EXISTING OVERHEAD

—W—W—W WATER SUPPLY

—S—S—S SANITARY SEWER

—SF—SF—SF SANITARY FORCE MAIN

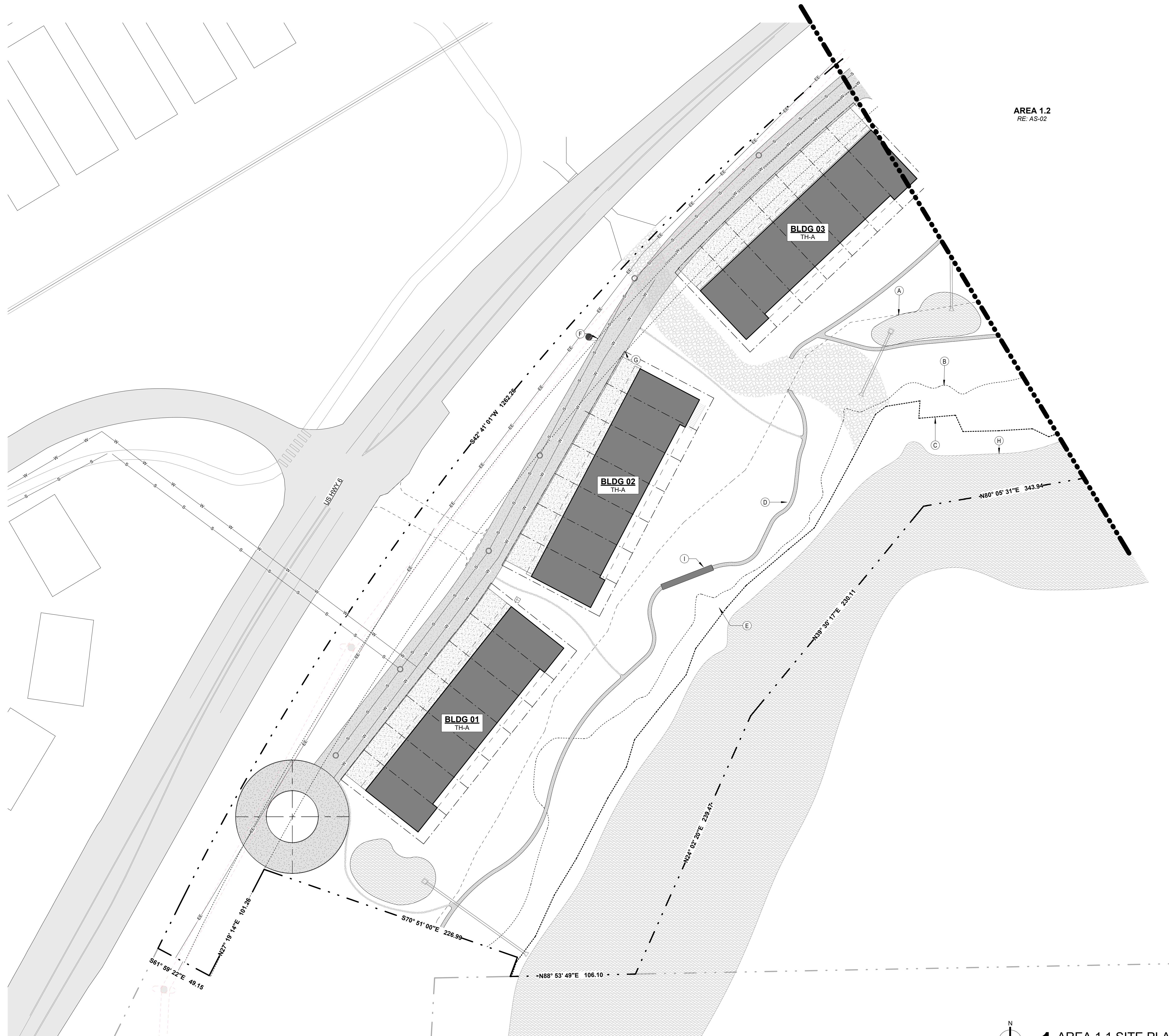
—T— TRANSFORMER

—SL— SANITARY LIFT STATION

DRAWING SHEET TITLE
OVERALL SITE

AS-00





GENERAL NOTES

- UTILITIES WILL BE CONNECTED TO THE LOCAL EAGLE MUNICIPAL SYSTEMS.
- ONLY WATER AND ELECTRICITY WILL BE BROUGHT TO THE SITE AS THERE IS NO ACCESS TO GAS AND ALL BUILDINGS WILL BE ALL ELECTRIC.
- RE: CIVIL SHEETS (C-SERIES) FOR DETAILED UTILITY AND GRADING INFORMATION

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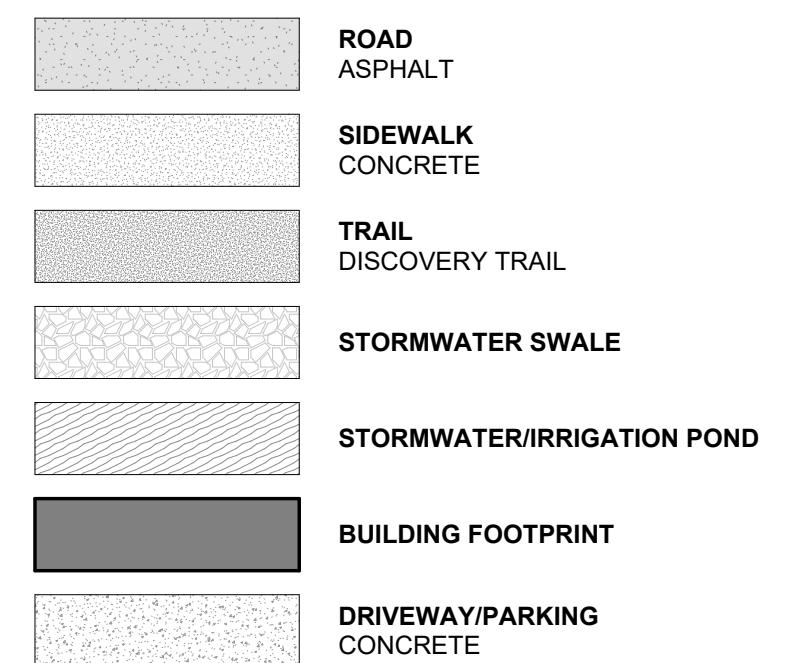
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LEGEND



ISSUANCE
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01.13.2025

CURRENT REVISION

EE EE EE ELECTRICAL EXISTING OVERHEAD

EU EU EU ELECTRICAL UNDERGROUND

W W W WATER SUPPLY

S S S SANITARY SEWER

SF SF SF SANITARY FORCE MAIN

TRANSFORMER

SL SANITARY LIFT STATION

IRRIGATION

DRAWING SHEET TITLE
AREA 1.1

AS-01

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—EE—EE—EE ELECTRICAL
EXISTING OVERHEAD

—EU—EU—EU ELECTRICAL
UNDERGROUND

—W—W—W WATER SUPPLY

—S—S—S SANITARY SEWER

—SF—SF—SF SANITARY FORCE MAIN

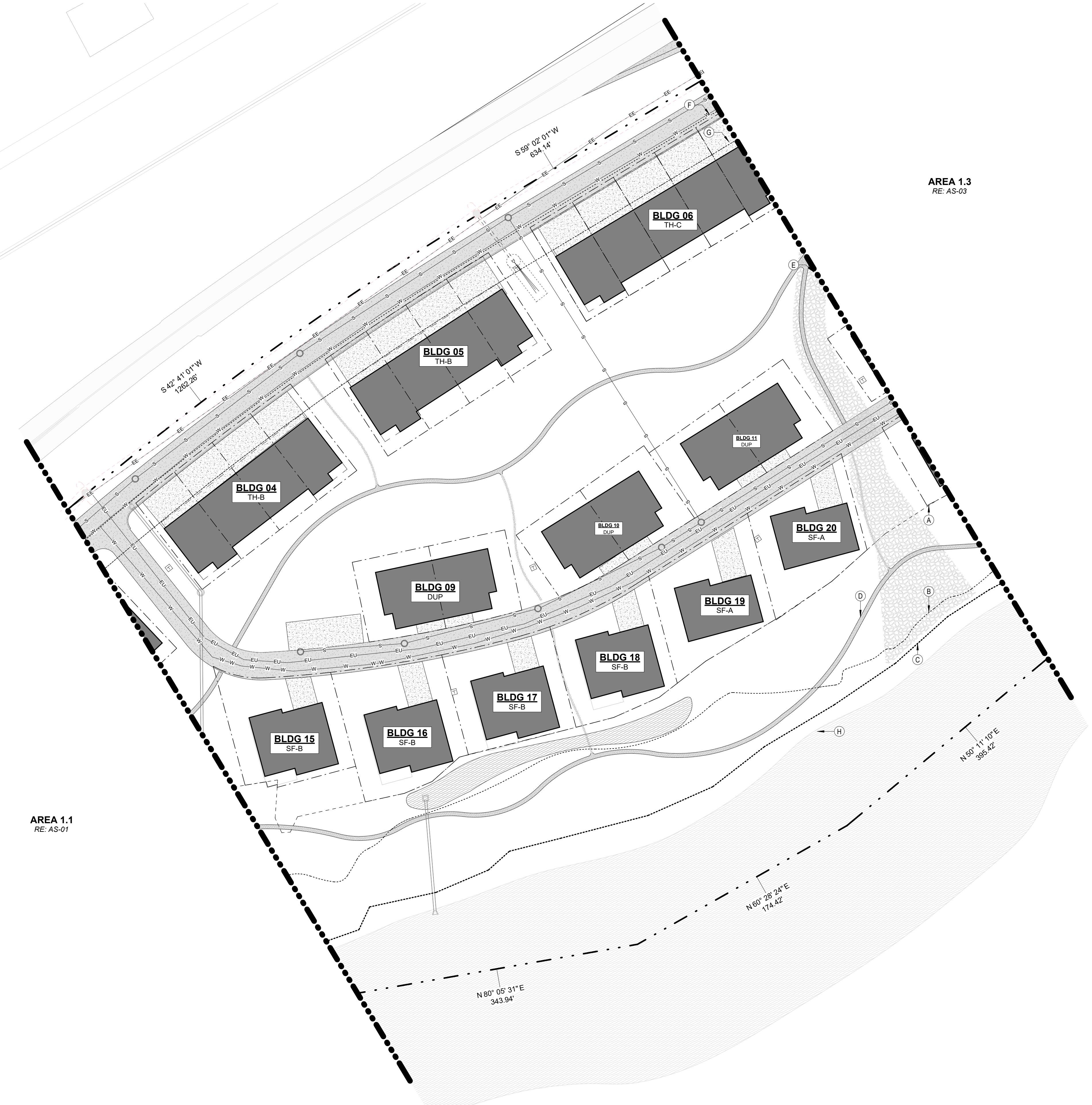
—T— TRANSFORMER

—SL— SANITARY LIFT STATION

—I— IRRIGATION

DRAWING SHEET TITLE
AREA 1.2

AS-02



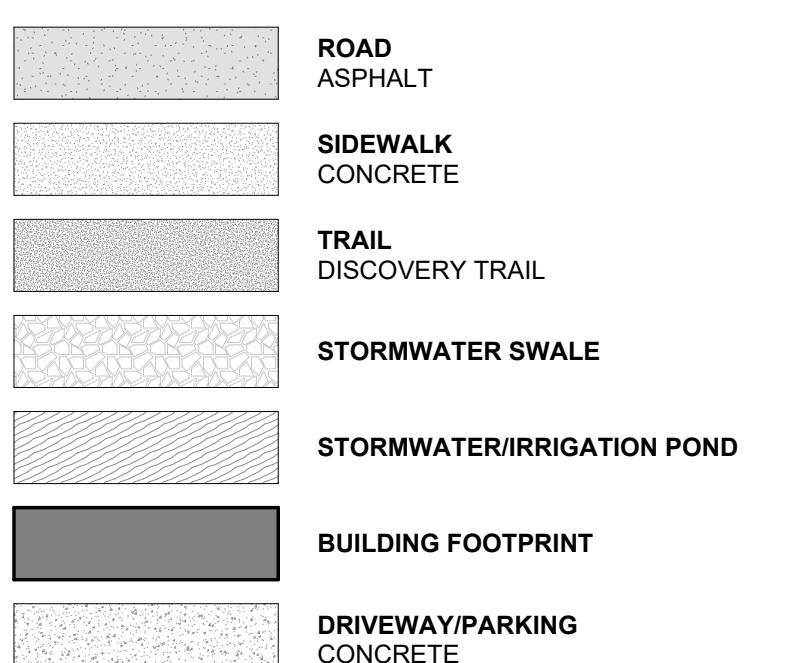
GENERAL NOTES

1. UTILITIES WILL BE CONNECTED TO THE LOCAL EAGLE MUNICIPALITY SYSTEMS.
2. ONLY WATER AND ELECTRICITY WILL BE BROUGHT TO THE SITE AS THERE IS NO ACCESS TO GAS AND ALL BUILDINGS WILL BE ALL ELECTRIC.
3. RE: CIVIL SHEETS (C-SERIES) FOR DETAILED UTILITY AND GRADING INFORMATION

SHEET NOTES

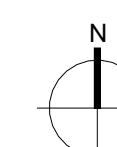
A 75' STREAM SETBACK
B 100 YEAR FLOOR PLAIN LOCATION BY ALPINE ENGINEERING, INC. -2018
C AVERAGE HIGH WATER LINE
D DISCOVERY TRAIL
E SWALE FOR CONVEYING STORM WATER TO THE RIVER
F 25' SETBACK FROM HWY 6
G 50' SETBACK FROM HWY 6
H EAGLE RIVER

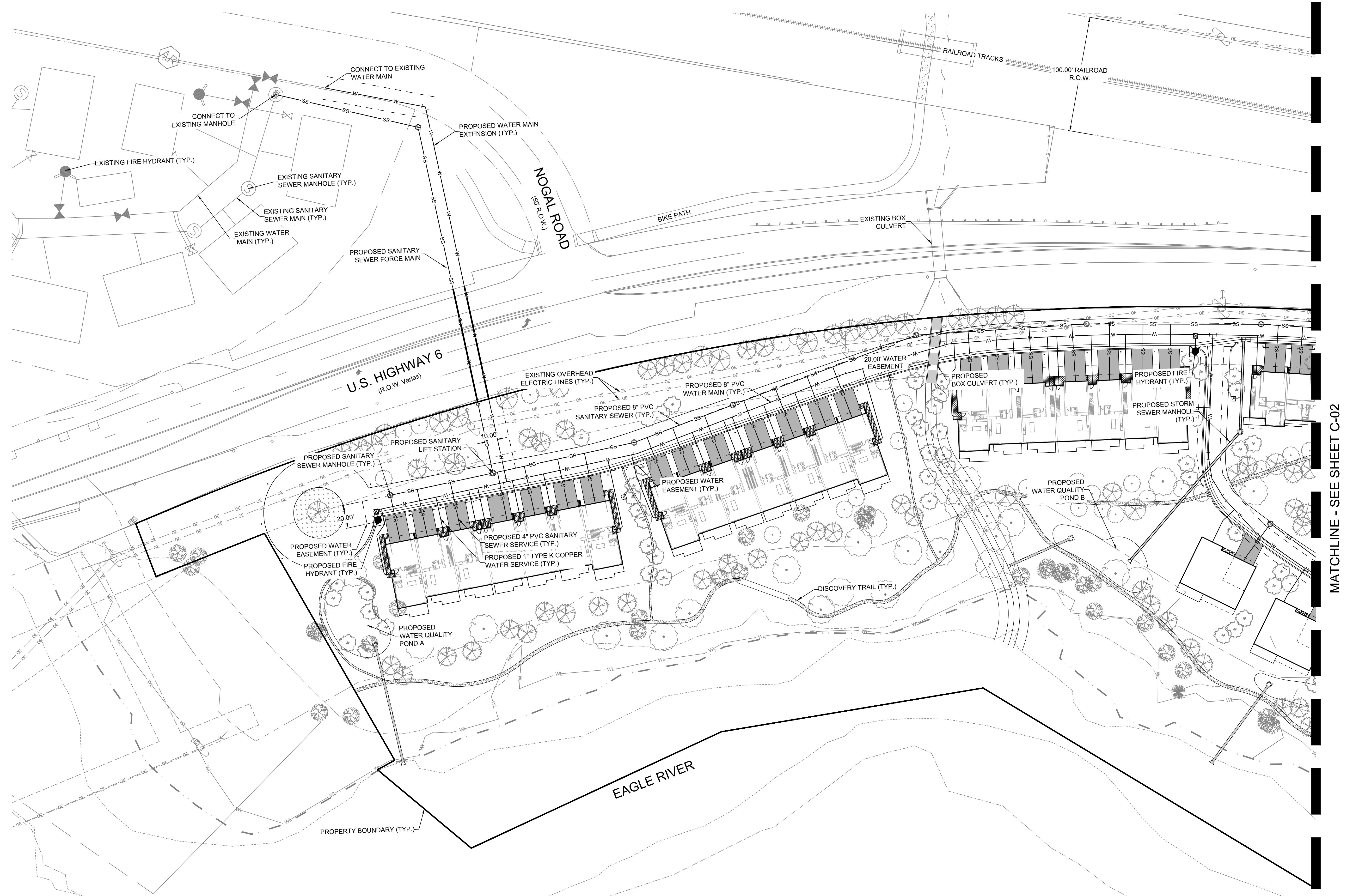
LEGEND



— PARCEL BOUNDARY LINE
— PROPERTY LINE
SPECIFIC TO INDIVIDUAL UNITS
- - - 75' STREAM SETBACK
- - - - 100 YEAR FLOOD PLAIN
- - - - - AVERAGE HIGH WATER LINE

—EE—EE—EE ELECTRICAL
EXISTING OVERHEAD
—EU—EU—EU ELECTRICAL
UNDERGROUND
—W—W—W WATER SUPPLY
—S—S—S SANITARY SEWER
—SF—SF—SF SANITARY FORCE MAIN
—T— TRANSFORMER
—SL— SANITARY LIFT STATION
—I— IRRIGATION





Know what's below.
Call before you dig.

MATCHLINE - SEE SHEET C-01



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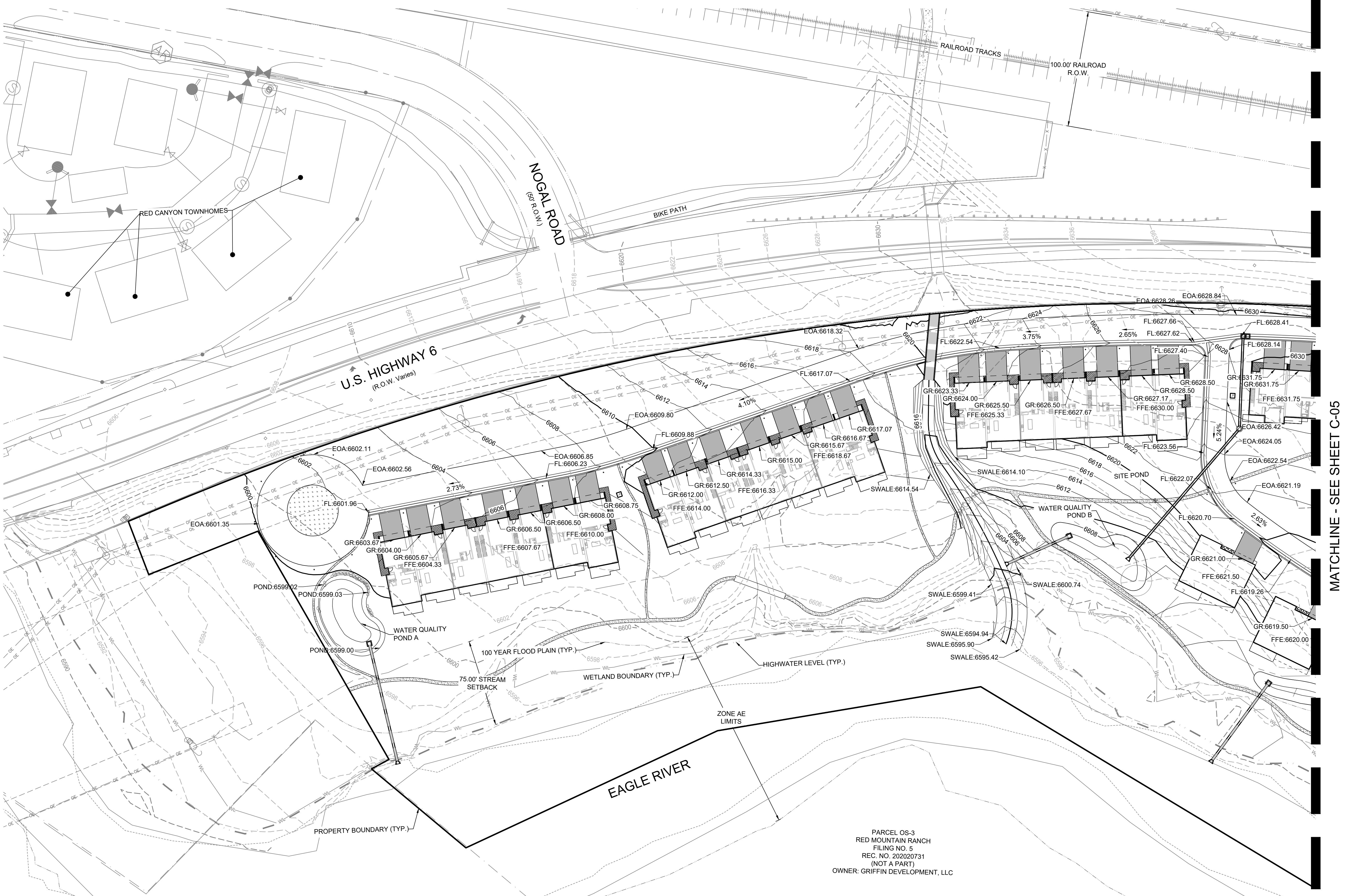
DRAWING SHEET TITLE
**OVERALL UTILITY
PLAN - NORTHEAST**

C-03



Know what's below.
Call before you dig.

A scale bar diagram for a map. It features a horizontal line with four major tick marks. The first tick mark is labeled '40' to its left. The second tick mark is labeled '0' to its left. The third tick mark is labeled '40' to its right. The fourth tick mark is labeled '80' to its right. Below the line, the word 'SCALE' is on the left, and '1"=40'' is written between the 0 and 40 marks. On the right, the word 'FEET' is written.



PARCEL OS-3
RED MOUNTAIN RANCH
FILING NO. 5
REC. NO. 202020731
(NOT A PART)
OWNER: GRIFFIN DEVELOPMENT, LLC

40 0 40 80
SCALE 1" = 40' FEET

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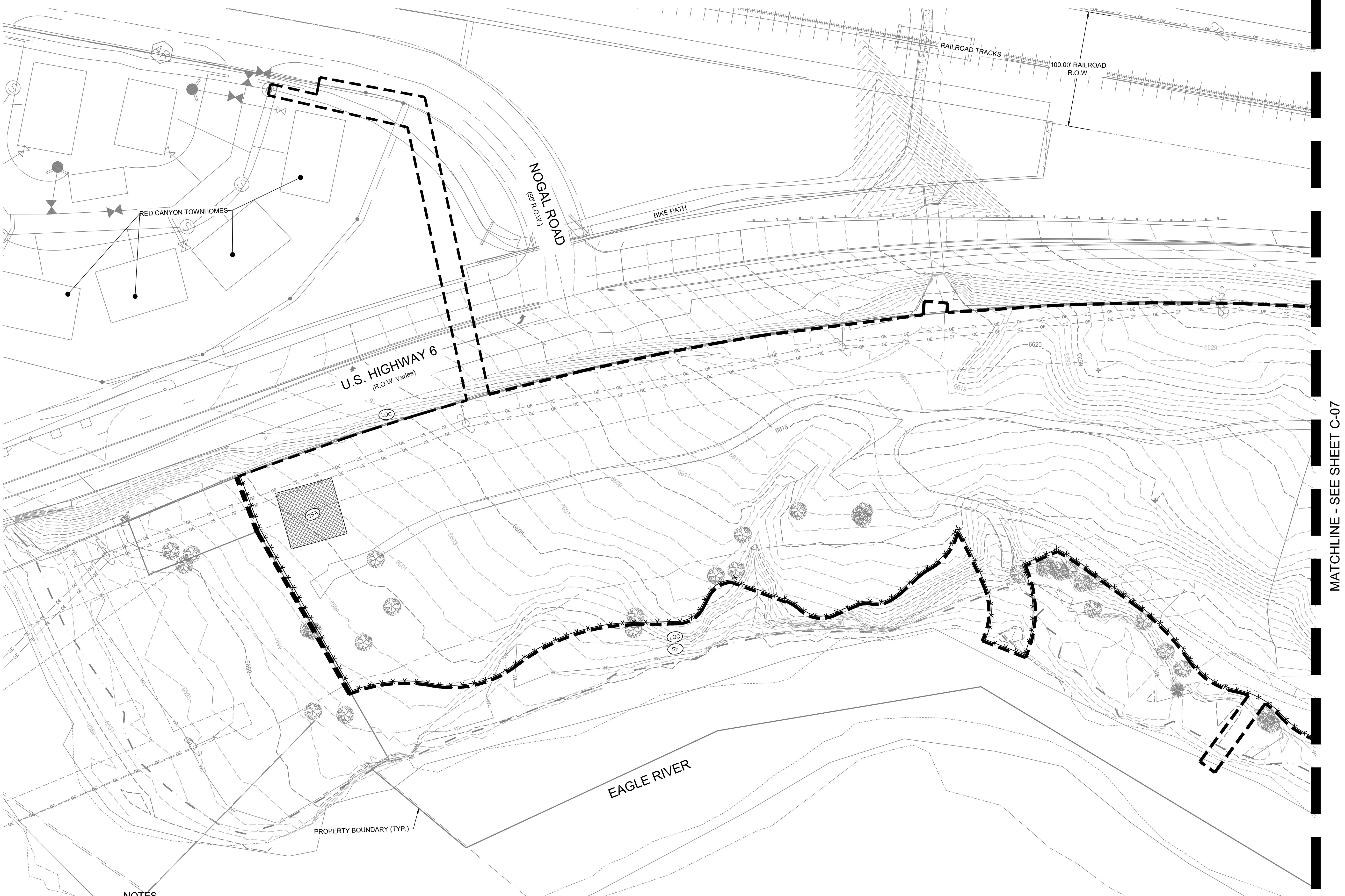
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REVISION HISTORY

DRAWING SHEET TITLE
**EROSION CONTROL
INITIAL - WEST**

C-06



NOTES

1. WILSON & COMPANY DOES NOT GUARANTEE THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON. CONTRACTOR TO VERIFY EXISTING/PROPOSED UTILITIES VERTICAL AND HORIZONTAL LOCATIONS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO ADJUST FITTINGS FOR CONNECTION TO PIPE BENDS USING MAXIMUM JOINT DEFLECTION SPECIFIED BY MANUFACTURER.
3. REFERENCE ARCHITECTURAL PLANS FOR BUILDING LOCATION AND BUILDING INTERIOR.
4. REFERENCE MECHANICAL AND PLUMBING PLANS FOR UTILITY TIES INTO BUILDING.

SILT FENCE NOTE

1. CONTRACTOR MAY SUBSTITUTE ROCK SOCKS (RS) OR SEDIMENT CONTROL LOGS (SCL) FOR SILT FENCE AS PERIMETER CONTROL DEPENDING ON WHETHER THE BEST MANAGEMENT PRACTICE (BMP) IS TO BE INSTALLED ON A DIRT AREA OR HARD SURFACE.

SURFACE ROUGHENING NOTE

1. SURFACE ROUGHENING SHOULD BE PERFORMED EITHER AFTER FINAL GRADING OR TO TEMPORARILY STABILIZE AN AREA DURING ACTIVE CONSTRUCTION THAT MAY BE INACTIVE FOR A SHORT PERIOD OF TIME (45 DAYS).

UNDERGROUND UTILITIES NOTE

1. IF AN UNKNOWN UTILITY IS ENCOUNTERED DURING EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEVELOPER'S RESIDENT ENGINEER OR THE DEVELOPER'S REPRESENTATIVE IN WRITING AND WILL NOT PROCEED WITH CONSTRUCTION UNTIL FURTHER NOTICE.

GROUNDWATER NOTE

1. GROUNDWATER MAY BE ENCOUNTERED DURING THIS PROJECT. IF GROUNDWATER IS ENCOUNTERED, ALL CONSTRUCTION OPERATIONS SHALL STOP IMMEDIATELY. CONTRACTOR SHALL NOTIFY THE OWNER AND THE OWNER'S REPRESENTATIVE WHEN GROUNDWATER IS ENCOUNTERED. ADDITIONAL PERMITTING WILL BE REQUIRED FROM THE STATE OF COLORADO FOR DEWATERING.

BMP LEGEND

	CONSTRUCTION FENCE		SILT FENCE
	CONCRETE WASHOUT AREA		STABILIZED STAGING AREA
	INLET PROTECTION		SEDIMENT BASIN
	LIMITS OF CONSTRUCTION		STOCK PILE
	ROCK SOCK		VEHICLE TRACTION CONTROL

40 0 40 80
SCALE 1"=40' FEET



Know what's below.
Call before you dig.

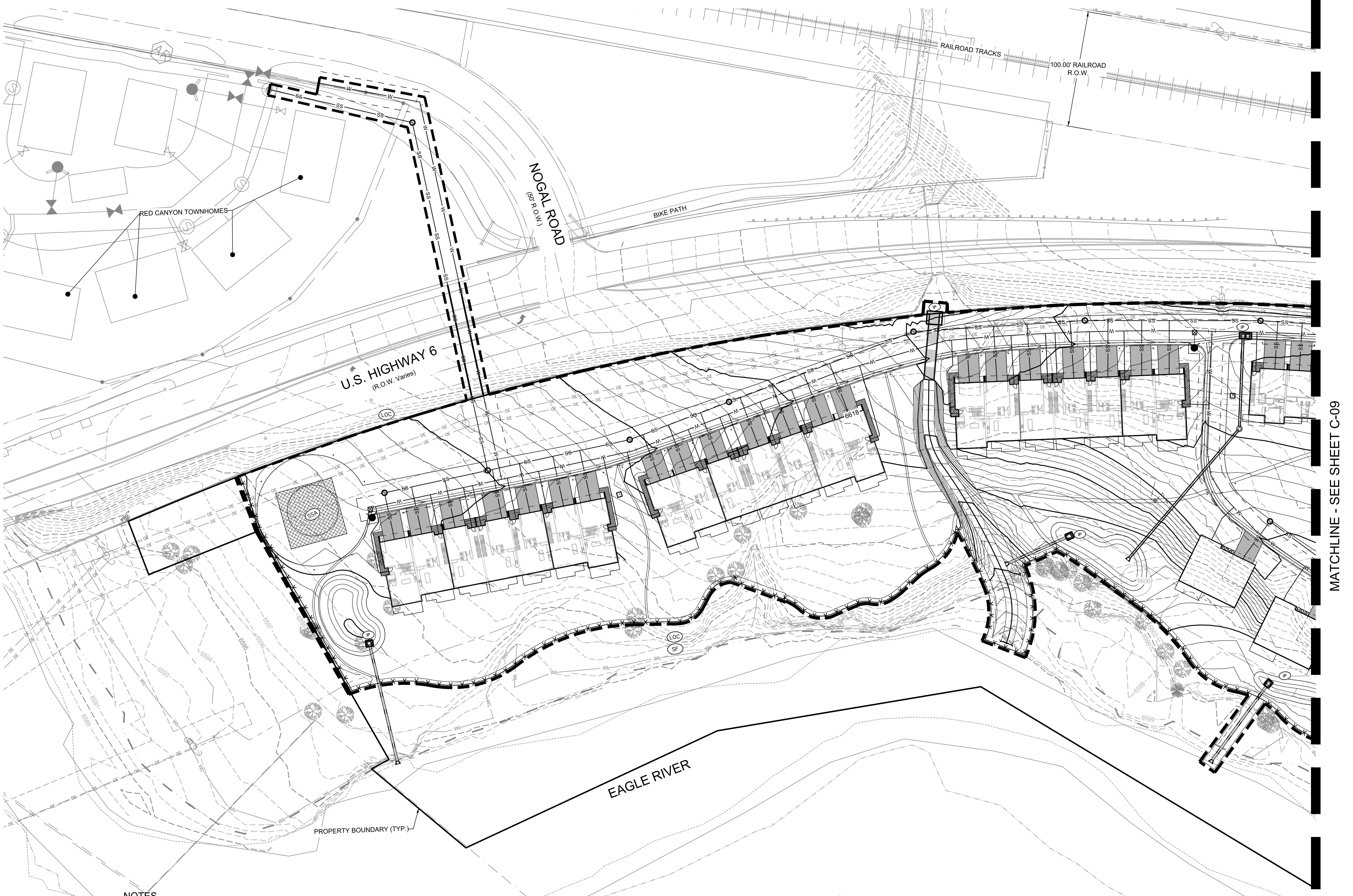
MATCHLINE - SEE SHEET C-06



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SILT FENCE NOTE

- CONTRACTOR MAY SUBSTITUTE ROCK SOCKS (RS) OR SEDIMENT CONTROL LOGS (SCL) FOR SILT FENCE AS PERIMETER CONTROL DEPENDING ON WHETHER THE BEST MANAGEMENT PRACTICE (BMP) IS TO BE INSTALLED ON A DIRT AREA OR HARD SURFACE.

SURFACE ROUGHENING NOTE

- SURFACE ROUGHENING SHOULD BE PERFORMED EITHER AFTER FINAL GRADING OR TO TEMPORARILY STABILIZE AN AREA DURING ACTIVE CONSTRUCTION THAT MAY BE INACTIVE FOR A SHORT PERIOD OF TIME (45 DAYS).

UNDERGROUND UTILITIES NOTE

- IF AN UNKNOWN UTILITY IS ENCOUNTERED DURING EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEVELOPER'S RESIDENT ENGINEER OR THE DEVELOPER'S REPRESENTATIVE IN WRITING AND WILL NOT PROCEED WITH CONSTRUCTION UNTIL FURTHER NOTICE.

GROUNDWATER NOTE

- GROUNDWATER MAY BE ENCOUNTERED DURING THIS PROJECT. IF GROUNDWATER IS ENCOUNTERED, ALL CONSTRUCTION OPERATIONS SHALL STOP IMMEDIATELY. CONTRACTOR SHALL NOTIFY THE OWNER AND THE OWNER'S REPRESENTATIVE WHEN GROUNDWATER IS ENCOUNTERED. ADDITIONAL PERMITTING WILL BE REQUIRED FROM THE STATE OF COLORADO FOR DEWATERING.

BMP LEGEND

	CONSTRUCTION FENCE
	SILT FENCE
	CONCRETE WASHOUT AREA
	STABILIZED STAGING AREA
	INLET PROTECTION
	SEDIMENT BASIN
	STOCK PILE
	ROCK SOCK
	VEHICLE TRACTION CONTROL



Know what's below.
Call before you dig.

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DEVELOPMENT
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ISSUE DATE
1.13.2025

REVISION HISTORY

MATCHLINE - SEE SHEET C-08



NOTES

1. WILSON & COMPANY DOES NOT GUARANTEE THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON. CONTRACTOR TO VERIFY EXISTING/PROPOSED UTILITIES VERTICAL AND HORIZONTAL LOCATIONS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO ADJUST FITTINGS FOR CONNECTION TO PIPE BENDS USING MAXIMUM JOINT DEFLECTION SPECIFIED BY MANUFACTURER.
3. REFERENCE ARCHITECTURAL PLANS FOR BUILDING LOCATION AND BUILDING INTERIOR.
4. REFERENCE MECHANICAL AND PLUMBING PLANS FOR UTILITY TIES INTO BUILDING.

SILT FENCE NOTE

1. CONTRACTOR MAY SUBSTITUTE ROCK SOCKS (RS) OR SEDIMENT CONTROL LOGS (SCL) FOR SILT FENCE AS PERIMETER CONTROL DEPENDING ON WHETHER THE BEST MANAGEMENT PRACTICE (BMP) IS TO BE INSTALLED ON A DIRT AREA OR HARD SURFACE.

SURFACE ROUGHENING NOTE

1. SURFACE ROUGHENING SHOULD BE PERFORMED EITHER AFTER FINAL GRADING OR TO TEMPORARILY STABILIZE AN AREA DURING ACTIVE CONSTRUCTION THAT MAY BE INACTIVE FOR A SHORT PERIOD OF TIME (45 DAYS).

UNDERGROUND UTILITIES NOTE

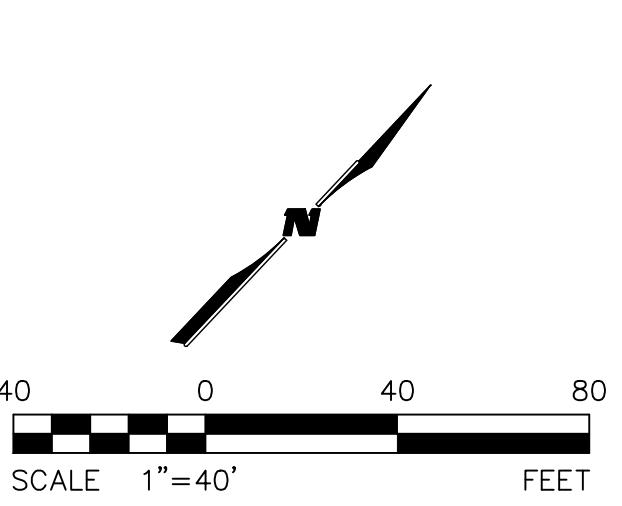
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BMP LEGEND

	CONSTRUCTION FENCE
	CONCRETE WASHOUT AREA
	INLET PROTECTION
	LIMITS OF CONSTRUCTION
	ROCK SOCK
	STABILIZED STAGING AREA
	SEDIMENT BASIN
	STOCK PILE
	VEHICLE TRACTION CONTROL



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MATCHLINE - SEE SHEET C-11

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DRAWING SHEET TITLE
**EROSION CONTROL
FINAL - WEST**

C-10

40 0 40 80
SCALE 1"=40' FEET



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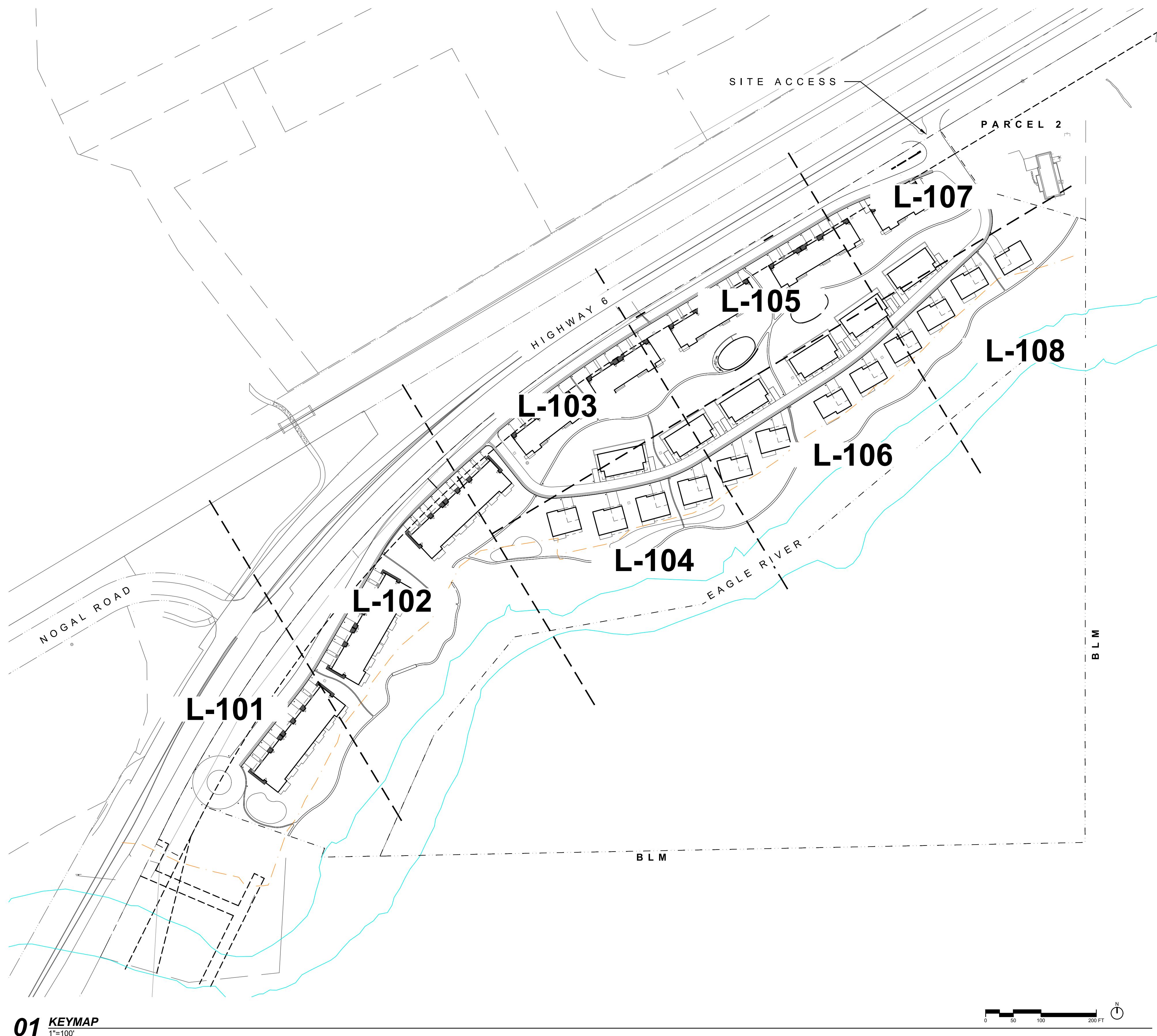
REVISION HISTORY

DRAWING SHEET TITLE
**EROSION CONTROL
FINAL - EAST**

C-11

MATCHLINE - SEE SHEET C-10





LAYOUT AND MATERIALS NOTES

1. SURVEY WAS PREPARED BY ARCHIBEQUE LAND CONSULTING, LTD, DATED 02/29/2016. REFERENCE SURVEY NOTES FOR ADDITIONAL REQUIREMENTS FOR TOWN AND COUNTY OF EAGLE.
2. DO NOT SCALE THE PLANS. DIMENSIONS SUPERSEDE DRAWING SCALES. VERIFY LAYOUT PRIOR TO EXCAVATION.
3. DIMENSIONS ARE DRAWN TO FACE OF CURB, WALL, AND EDGE UNLESS OTHERWISE SPECIFIED.
4. IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS, THE SPECIFICATIONS WILL SUPERSEDE PLANS.
5. CONTRACTOR TO CLEARLY STAKE ALL CORNERS OF PAVED AREAS FOR OWNER'S REPRESENTATIVE'S APPROVAL PRIOR TO SETTING EDGES OR FORMS.
6. OBTAIN APPROVAL OF OWNER'S REPRESENTATIVE FOR ALL FORM WORK AT LEAST 24 HOURS PRIOR TO PLACING CURBS, FOUNDATIONS, OR PAVEMENTS.
7. CONTRACTOR TO PROVIDE EXPANSION JOINT AND SCORE JOINT LAYOUT PLAN FOR APPROVAL BY LANDSCAPE ARCHITECT/PROJECT MANAGER PRIOR TO CONSTRUCTION.

GRADING AND DRAINAGE NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND PLANS FOR BACK OF CURB ELEVATIONS, BUILDING FIRST FLOOR ELEVATIONS, ETC.
2. PAVED AREAS SHALL HAVE A MAXIMUM SLOPE OF 2% CROSS SLOPE UNLESS OTHERWISE SPECIFIED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
4. ALL FINISHED HARDCAPE AND LANDSCAPE AREAS SHALL BE SLOPED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TOWARD DRAINAGE INLETS AND FACILITIES.
5. GRADES IN LANDSCAPE AREAS SHALL SLOPE A MINIMUM OF 2% AND A MAXIMUM OF 3:1 UNLESS OTHERWISE NOTED OR APPROVED.
6. FEATHER ALL FINISH GRADES TO MEET EXISTING GRADES WITHOUT ABRUPT CHANGES IN SLOPE.
7. CONTRACTOR SHALL STABILIZE AND MAINTAIN EXISTING SLOPES AND GRADES AS REQUIRED AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY EROSION OR SLOPE FAILURE AT NO ADDITIONAL COST TO THE OWNER

PROJECT
**RED MOUNTAIN
RANCH**

PARCEL 1
17500 US-6
EAGLE, CO 81631

ARCHITECT/
GENERAL CONTRACTOR
tres birds

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ISSUANCE
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01.13.2025

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REVISION HISTORY

DRAWING SHEET TITLE
COVER SHEET

LANDSCAPE SHEET INDEX

LANDSCAPE NOTES

L-000 COVER SHEET

LAYOUT & MATERIALS

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L-102 LAYOUT AND MATERIALS PLAN
L-103 LAYOUT AND MATERIALS PLAN
L-104 LAYOUT AND MATERIALS PLAN
L-105 LAYOUT AND MATERIALS PLAN
L-106 LAYOUT AND MATERIALS PLAN
L-107 LAYOUT AND MATERIALS PLAN
L-108 LAYOUT AND MATERIALS PLAN

PLANTING

L-400 PLANTING NOTES
L-401 PLANTING SCHEDULES
L-402 PLANTING PLAN
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L-409 PLANTING PLAN

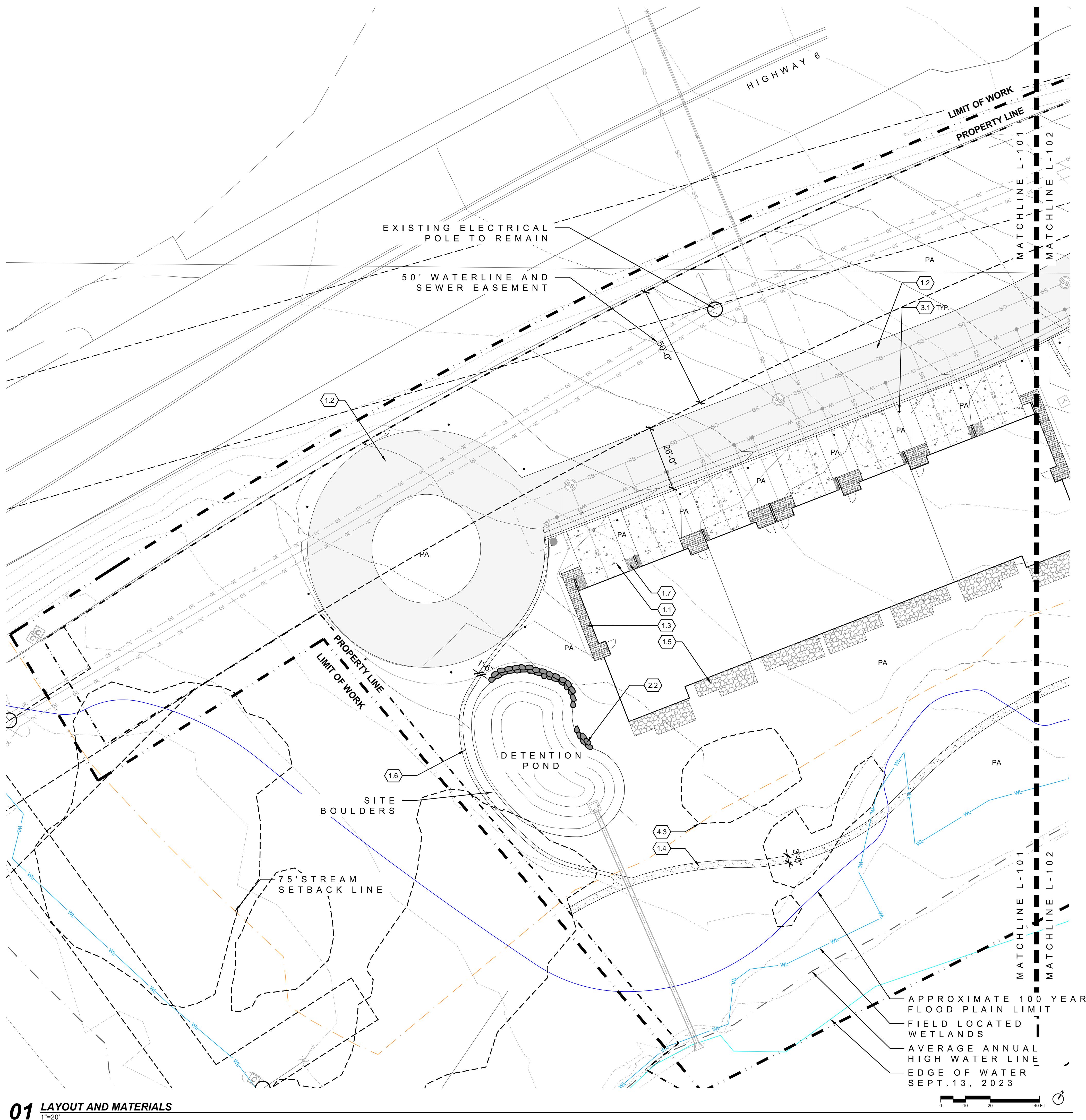
LANDSCAPE CALCULATIONS

1. HARDSCAPE
 - 1.1. 134,924 SF OF IMPERVIOUS SURFACE (INCLUDING BUILDING FOOTPRINTS)
 - 26,678 SF OF CONCRETE PAVING
 - 85,722 SF OF ASPHALT PAVING
 - 22,524 SF OF PAVERS
 - 1.1. 14,845 SF OF PERVIOUS SURFACE
 - 14,845 SF OF CRUSHER FINES/SOFT SURFACE TRAIL

IRRIGATION

2. IRRIGATION
 - 2.1. 246,597 SF OF TEMPORARY IRRIGATED AREA USING AN EFFICIENT IRRIGATION SYSTEM FOR SEED ESTABLISHMENT
 - 2.2. 18,945 SF OF PERMANENT IRRIGATED AREA USING AN EFFICIENT IRRIGATION SYSTEM
 - 5,136 SF IRRIGATED TURF
 - 13,809 SF CONTAINERIZED PLANTING, CONSISTS OF SHRUBS, GRASSES, AND PERENNIALS
 - 404 TREES ZONED SEPARATELY TO BE TURNED OFF AS NEEDED

L-000



LAYOUT AND MATERIALS LEGEND

LEGEND

	DETAIL
0.1	LIMIT OF WORK
0.2	PROPERTY LINE
0.3	50' WATERLINE&SEWER EASEMENT
0.4	75' STREAM SETBACK LINE
0.5	100 YEAR FLOOD PLAIN
0.6	FIELD LOCATED WETLANDS
0.7	EDGE OF WATER
0.8	AVERAGE ANNUAL HIGH WATER LINE
0.9	MATCHLINES

PAVEMENTS AND BANDS

10.0

	DETAIL
1.1	CONCRETE PAVING-VEHICULAR
1.2	ASPHALT PAVING
1.3	PAVING TYPE A
1.4	CRUSHER FINES PAVING
1.5	PAVING TYPE B
1.6	NATIVE SOIL TRAIL
1.7	ROCK COBBLE
1.8	STONE SWALE CROSSING

FURNISHING, FENCES, SIGNAGE & WALLS

20.0

	DETAIL
2.1	8' TALL GABION WALL/FENCE
2.2	STONE RETAINING WALL
2.3	RETAINING WALL
2.4	MONUMENT/ENTRY SIGN

LIGHTING / ELECTRICAL

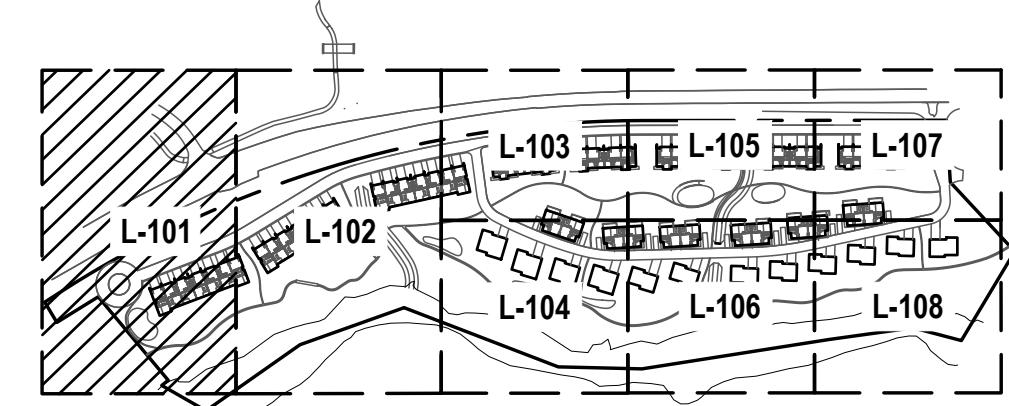
30.0

3.1	PEDESTRIAN BOLLARD	RE: ELECTRICAL
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LANDSCAPE / PLANTING

40.0

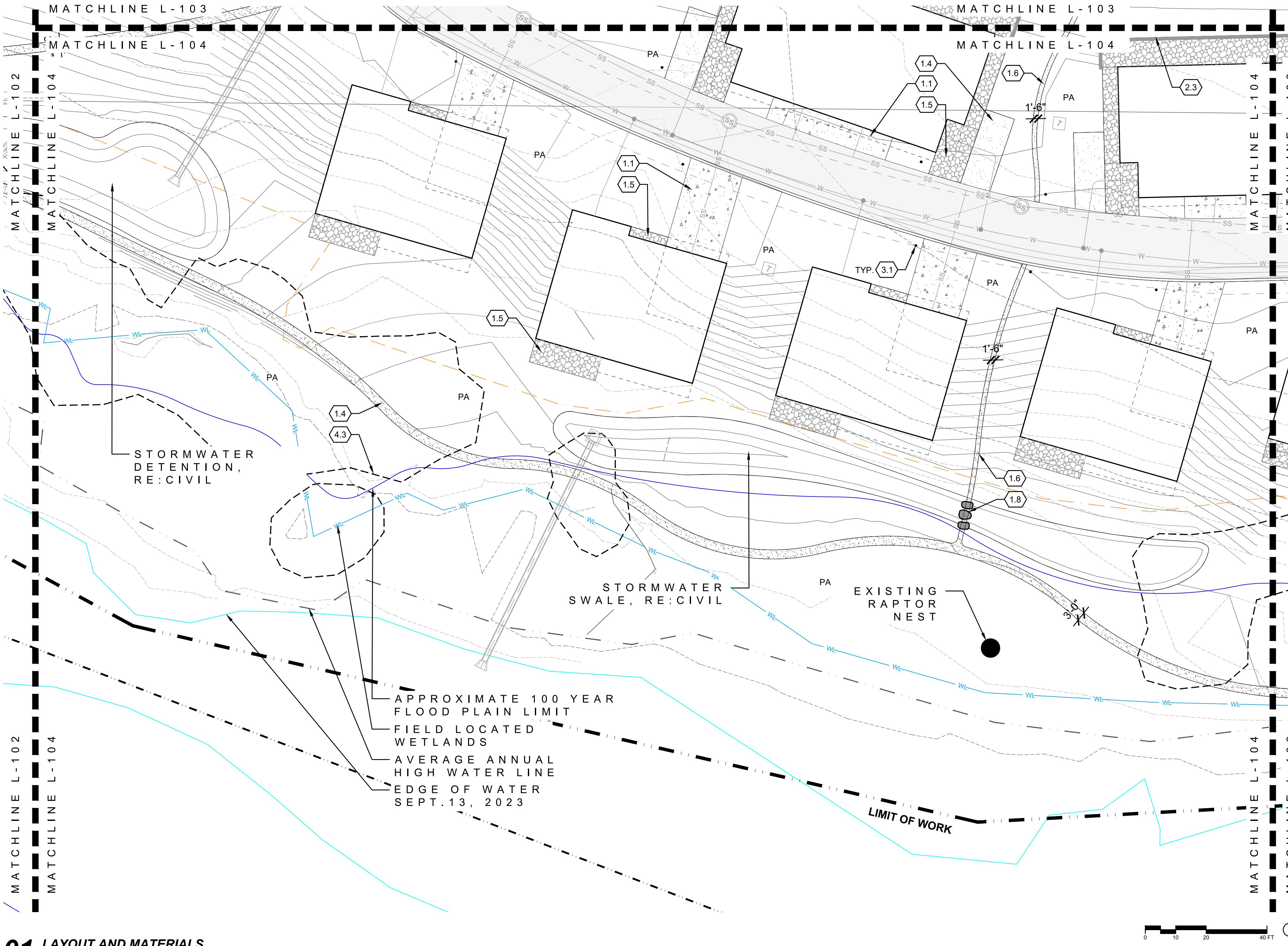
	DETAIL
4.1	IRRIGATED TURF
4.2	PLANTING AREA
4.3	EXISTING VEGETATION



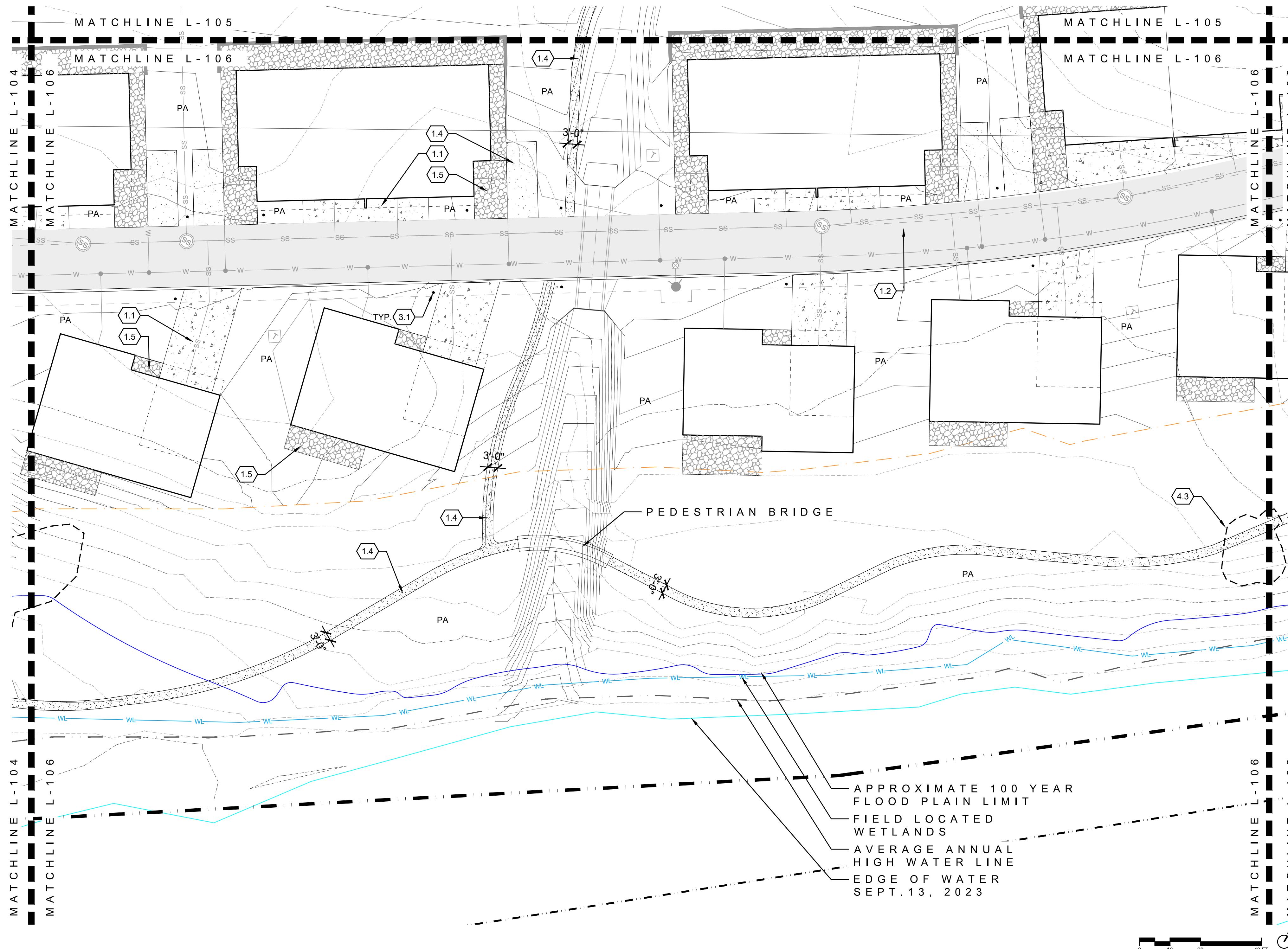
KEYMAP

NTS

L-101



PROJECT	
RED MOUNTAIN RANCH	
PARCEL 1	17500 US-6
	EAGLE, CO 81631
ARCHITECT/GENERAL CONTRACTOR	tres birds
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CURRENT REVISION	
REVISION HISTORY	
DRAWING SHEET TITLE	LAYOUT AND MATERIAL PLAN
KEYMAP	NTS
L-104	



01 LAYOUT AND MATERIALS

1'=20'

LAYOUT AND MATERIALS LEGEND

LEGEND	DETAIL
0.1 LIMIT OF WORK	NA
0.2 PROPERTY LINE	NA
0.3 50' WATERLINE&SEWER EASEMENT	NA
0.4 75' STREAM SETBACK LINE	NA
0.5 100 YEAR FLOOD PLAIN	NA
0.6 FIELD LOCATED WETLANDS	NA
0.7 EDGE OF WATER	NA
0.8 AVERAGE ANNUAL HIGH WATER LINE	NA
0.9 MATCHLINES	NA

PAVEMENTS AND BANDS	DETAIL
1.1 CONCRETE PAVING-VEHICULAR	NA
1.2 ASPHALT PAVING	NA
1.3 PAVING TYPE A	NA
1.4 CRUSHER FINES PAVING	NA
1.5 PAVING TYPE B	NA
1.6 NATIVE SOIL TRAIL	NA
1.7 ROCK COBBLE	NA
1.8 STONE SWALE CROSSING	NA

FURNISHING, FENCES, SIGNAGE & WALLS	DETAIL
2.1 8' TALL GABION WALL/FENCE	NA
2.2 STONE RETAINING WALL	NA
2.3 RETAINING WALL	NA
2.4 MONUMENT/ENTRY SIGN	NA

LIGHTING / ELECTRICAL	DETAIL
3.1 PEDESTRIAN BOLLARD	RE: ELECTRICAL

LANDSCAPE / PLANTING	DETAIL
4.1 IRRIGATED TURF	NA
4.2 PLANTING AREA	NA
4.3 EXISTING VEGETATION	NA

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RANCH

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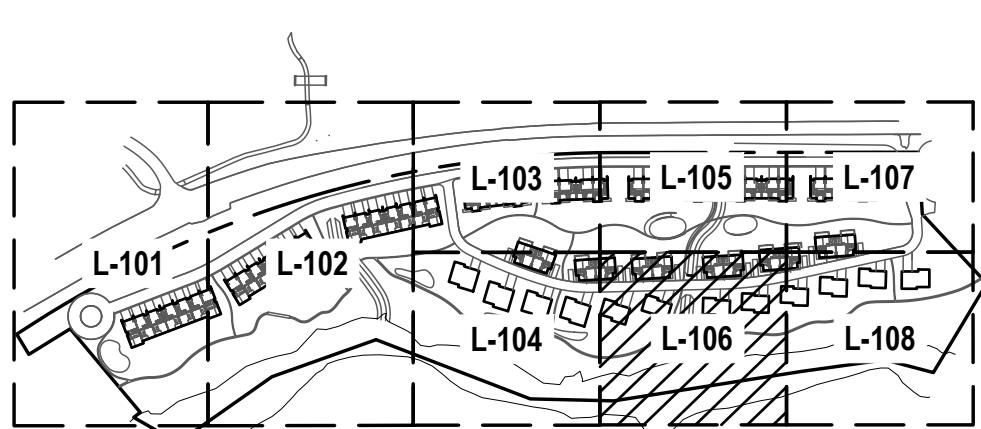
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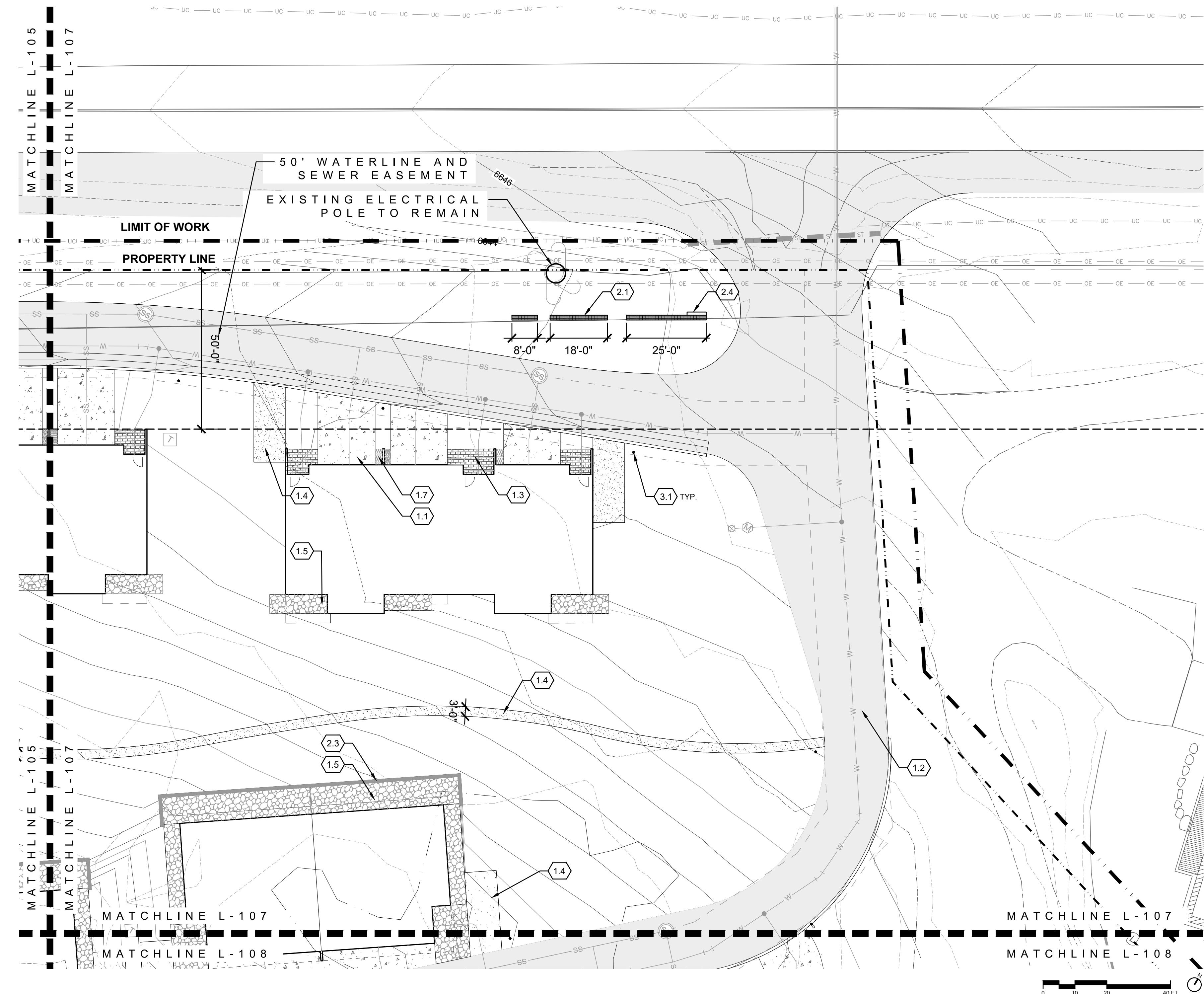
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DRAWING SHEET TITLE
LAYOUT AND
MATERIAL PLAN



KEYMAP
NTS

L-106



01 LAYOUT AND MATERIALS
1'-20'

LAYOUT AND MATERIALS LEGEND

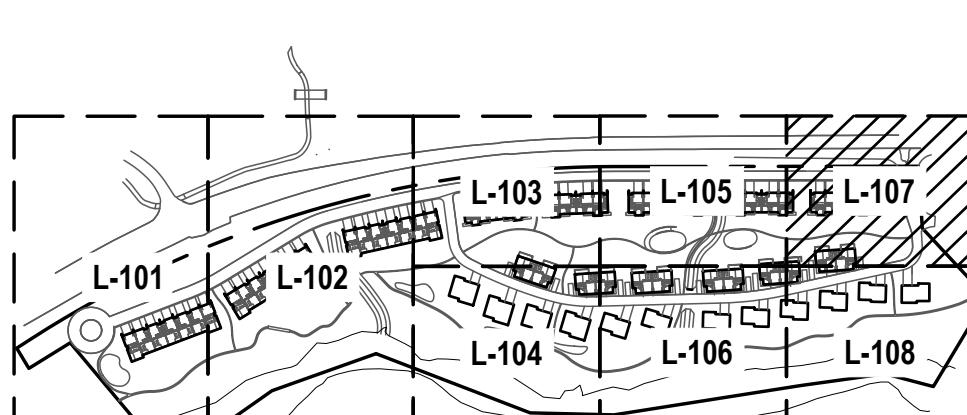
LEGEND	DETAIL
0.1 LIMIT OF WORK	NA
0.2 PROPERTY LINE NA	NA
0.3 50' WATERLINE&SEWER EASEMENT	NA
0.4 75' STREAM SETBACK LINE	NA
0.5 100 YEAR FLOOD PLAIN	NA
0.6 FIELD LOCATED WETLANDS	NA
0.7 EDGE OF WATER	NA
0.8 AVERAGE ANNUAL HIGH WATER LINE	NA
0.9 MATCHLINES	NA

PAVEMENTS AND BANDS	DETAIL
1.1 CONCRETE PAVING-VEHICULAR	NA
1.2 ASPHALT PAVING	NA
1.3 PAVING TYPE A	NA
1.4 CRUSHER FINES PAVING	NA
1.5 PAVING TYPE B	NA
1.6 NATIVE SOIL TRAIL	NA
1.7 ROCK COBBLE	NA
1.8 STONE SWALE CROSSING	NA

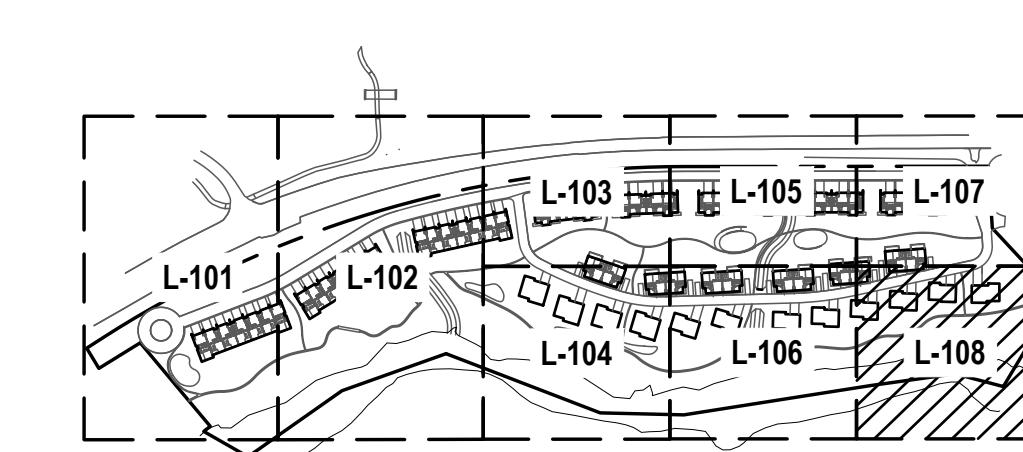
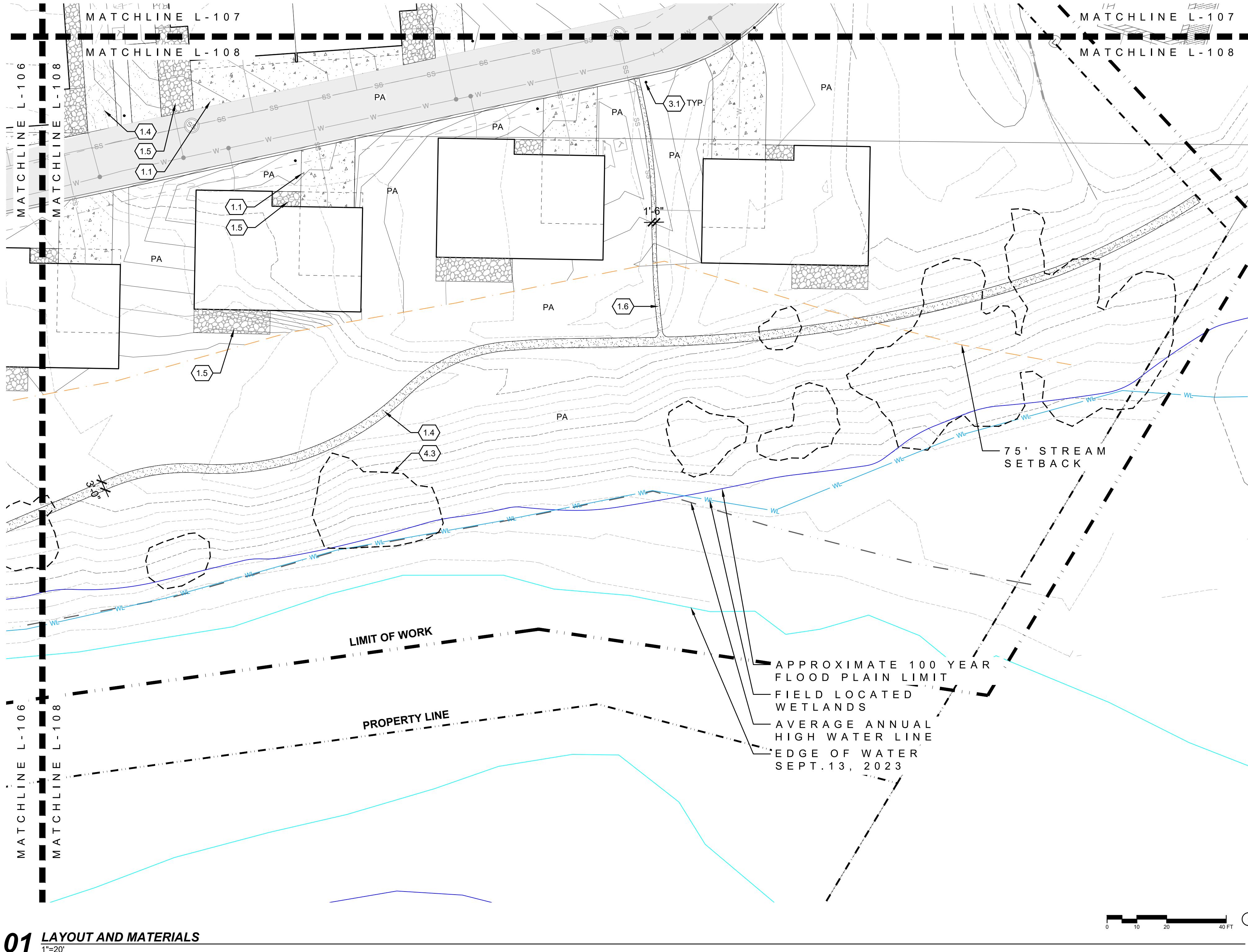
FURNISHING, FENCES, SIGNAGE & WALLS	DETAIL
2.1 8' TALL GABION WALL/FENCE	NA
2.2 STONE RETAINING WALL	NA
2.3 RETAINING WALL	NA
2.4 MONUMENT/ENTRY SIGN	NA

LIGHTING / ELECTRICAL	DETAIL
3.1 PEDESTRIAN BOLLARD	RE: ELECTRICAL

LANDSCAPE / PLANTING	DETAIL
4.1 IRRIGATED TURF	NA
4.2 PLANTING AREA	NA
4.3 EXISTING VEGETATION	PA



KEYMAP
NTS



L-108

PROJECT
**RED MOUNTAIN
RANCH**

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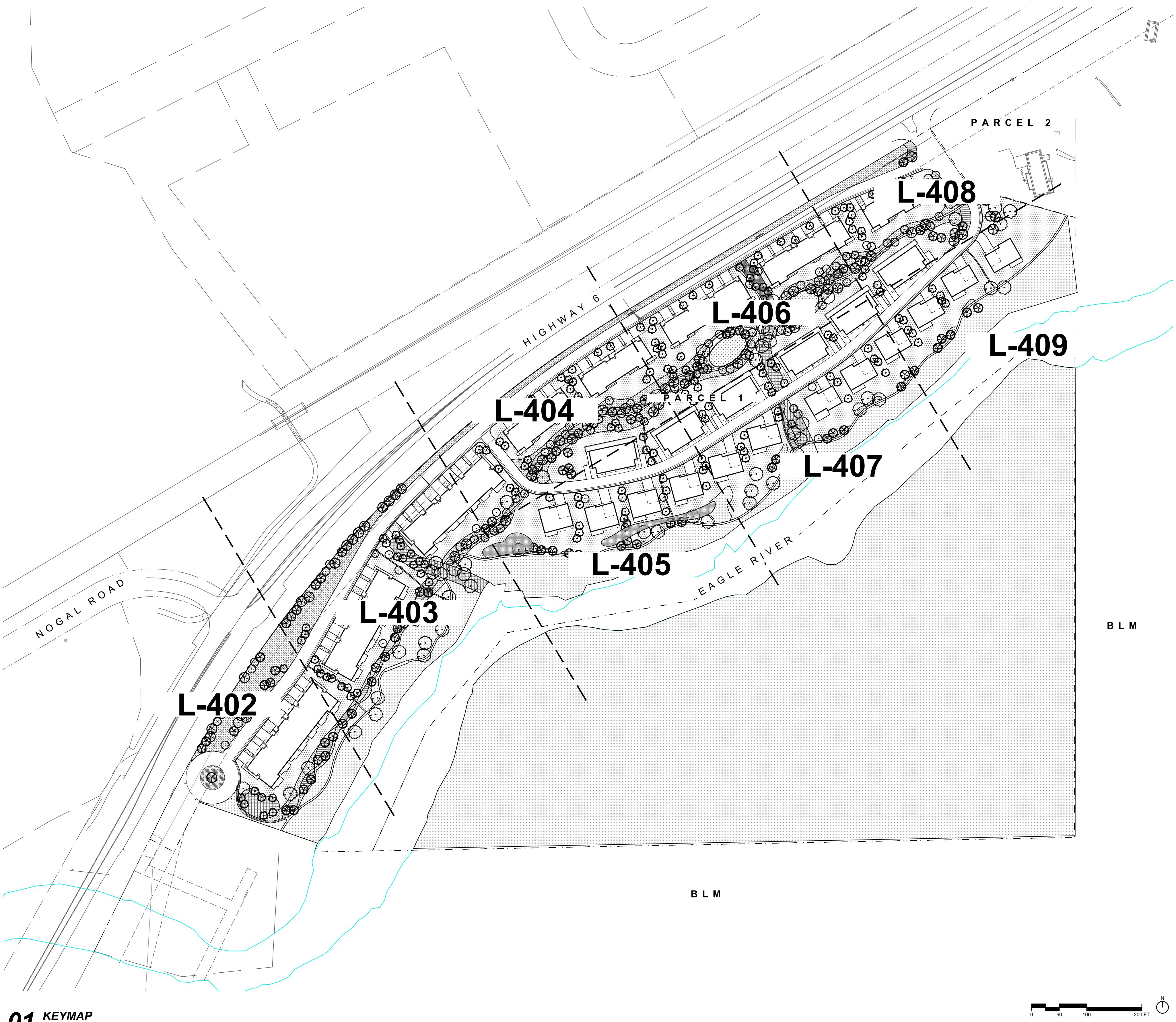
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01 KEYMAP
1"=100'



PLANTING AND IRRIGATION NOTES

1. ALL LANDSCAPING WILL BE IRRIGATED. REFER TO IRRIGATION SHEETS FOR ADDITIONAL INFORMATION.
2. LANDSCAPING SHALL COMPLY WITH SIGHT TRIANGLES AS INTERSECTIONS, PER TOWN OF EAGLE STANDARDS AND SPECIFICATIONS. SEE SIGHT LINE TRIANGLES ON PLANS.
3. LANDSCAPING SHALL COMPLY WITH SIGHT LINE TRIANGLES AT INTERSECTIONS, PER TOWN OF EAGLE STANDARDS AND SPECIFICATIONS. REFER TO THE SIGHT LINE TRIANGLES ON THE PLANS.
4. LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THE SITE, OR AS SPECIFIED IN A SUBDIVISION IMPROVEMENT AGREEMENT OR IMPROVEMENT AGREEMENT. IF COMPLETION IS DELAYED BY WEATHER, THE OWNER OR ASSIGNS SHALL PROVIDE AN ITEMIZED LIST AND PLAN WITH A COST ESTIMATE OF ALL OUTSTANDING LANDSCAPING ALONG WITH A FINANCIAL SECURITY, ACCEPTABLE BY THE TOWN OF EAGLE, TO GUARANTEE COMPLETION OF THE OUTSTANDING PRIVATE LANDSCAPE WORK TO THE TOWN AND COUNTY OF EAGLE.
5. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION OF APPROVAL AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THE NUMBER AND GENERAL SIZE OF MATERIALS SHALL REMAIN EQUIVALENT.
6. ALL CONTAINER PLANTED AREAS SHALL RECEIVE 4" OF STONE MULCH.

REVISION HISTORY

DRAWING SHEET TITLE
**PLANTING
NOTES**

L-400

PAWNEE BUTTES NATIVE LOW GROW SEED MIX

SCIENTIFIC NAME / COMMON NAME	Lbs PLS/Acre
FESTUCA SAXIMONTAN, ROCKY MT FESCUE	0.00
POA CANBYI, CANBY BLUEGRASS	0.00
POA SECUNDA, SANDBERG BLUEGRASS	0.00
TOTAL XX POUNDS PURE LIVE SEED PER ACRE	

NOTE: GROUNDCOVER MATERIAL FOR ALL LOW DENSITY PLANTING AREAS.

PAWNEE BUTTES NATIVE MOUNTAIN SEED MIX

SCIENTIFIC NAME / COMMON NAME	Lbs PLS/Acre
BROMUS CARINATUS, MOUNTAIN BROME	0.00
ELYMUS LANCEOLATURS PSAMMOPHILUS, STREAMBANK WHEATGRASS	0.00
FESTUCA SAXIMONTAN, ROCKY MT FESCUE	0.00
DESCHAMPSIA CESPITOSA, TUFTED HAIR GRASS	0.00
ELYMUS TRACHYCAULUS, SLENDER WHEATGRASS	0.00
KOELERIA MACRANTHA, PRAIRIE JUNEGRASS	0.00
ELUMUS GLAUCUS, WILDREYE	0.00
POA SECUNDA SANDBERG BLUEGRASS	0.00
TOTAL XX POUNDS PURE LIVE SEED PER ACRE	

NOTE: GROUNDCOVER MATERIAL FOR ALL MEDIUM DENSITY PLANTING AREAS AND DETENTION POND/ SWALE.

PAWNEE BUTTES NATIVE MOUNTAIN SEED MIX

SCIENTIFIC NAME / COMMON NAME	Lbs PLS/Acre
FESTUCA SAXIMONTAN, ROCKY MT FESCUE	0.00
COUTEOULA CURTIPENDULA, SIDEOTS GRAMA	0.00
BOUTELOUA GRACILIS, BLUE GRAMA	0.00
PANICUM VIRGATUM, SWITCHGRASS	0.00
SORGHASTRUM NUTANS, YELLOW RICEGRASS	0.00
ACHNATHERUM HYMENOIDE, INDIAN RICEGRASS	0.00
ANDROPOGON GERARDII, BIG BLUESTEM	0.00
POA SECUNDA SANDBERG BLUEGRASS	0.00
ELYMUS TRACHYCAULUS, SLENDER WHEATGRASS	0.00
PASCOYRUM SMITHII, WESTERN WHEATGRASS	0.00
SCHIZACHYRIUM SCOPARIUM, LITTLE BLUESTEM	0.00
SPOROBOLUS CRYPTANDRUS, SAND DROPSSEED	0.00
TOTAL XX POUNDS PURE LIVE SEED PER ACRE	

NOTE: GROUNDCOVER MATERIAL FOR ALL HIGH DENSITY PLANTING AREAS.

PLANT SCHEDULE

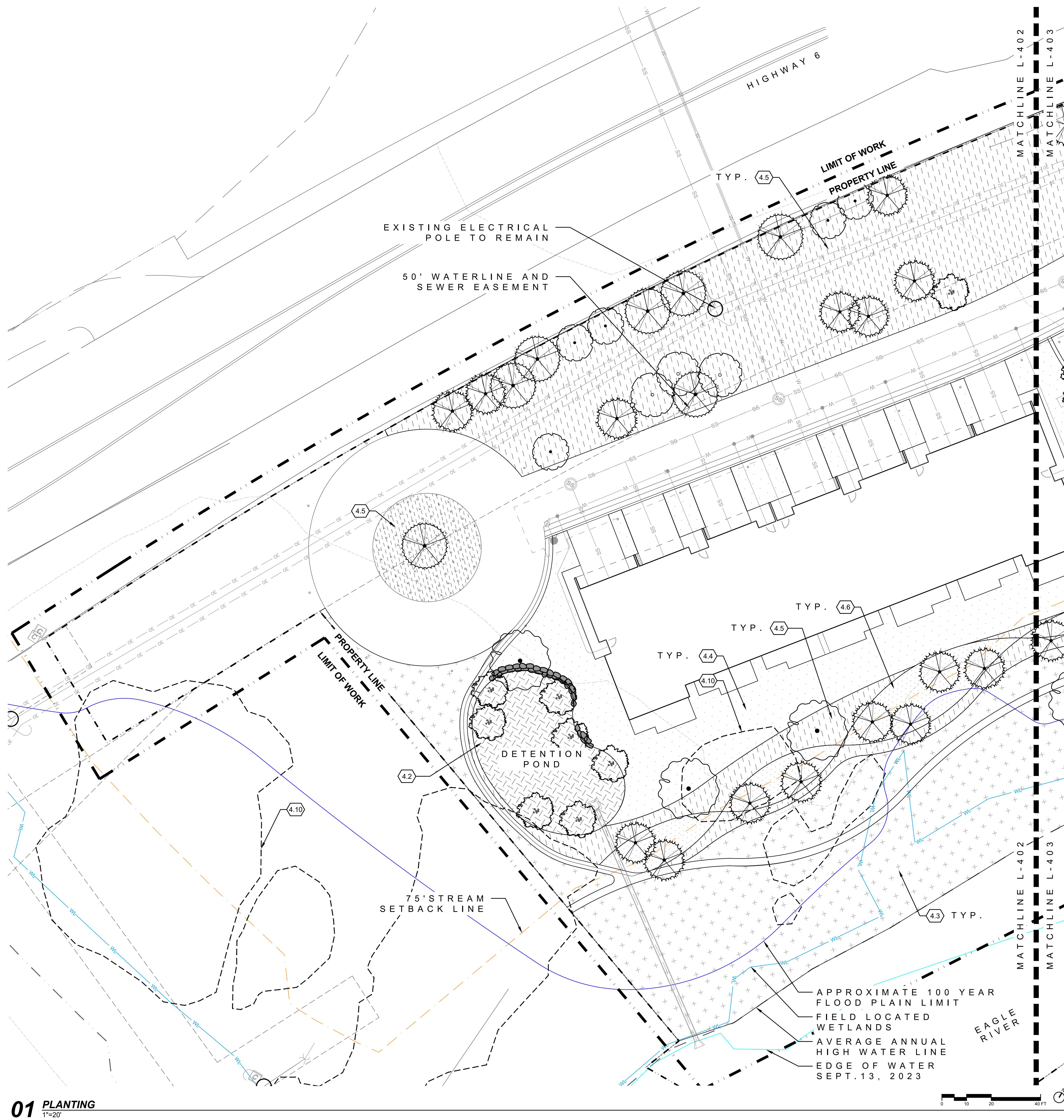
CODE	BOTANICAL / COMMON NAME	CONT
TREES		
AG	ACER GINNALA / AMUR MAPLE	2.5" CAL
AT	ACER TATARICUM / TATARIAN MAPLE	2.5" CAL
AI	ALNUS INCANA / GRAY ALDER	2.5" CAL
AS	AMELANCHIER ALNIFOLIA / SERVICEBERRY	2.5" CAL
BO	BETULA OCCIDENTALIS / WATER BIRCH	2.5" CAL
CC	CELTIS OCCIDENTALIS / HACKBERRY	2.5" CAL
CM	CERCOCARPUS MONTANUS / ALDERLEAF MOUNTAIN MAHOGANY	2.5" CAL
PA	POPULUS ANGUSTIFOLIA / NARROWLEAF COTTONWOOD	2.5" CAL
PP	POPULUS BALSAMIFERA / BALSAM POPLAR	2.5" CAL
PT2	POPULUS TREMULOIDES / QUAKING ASPEN	2.5" CAL
PT	POPULUS X CANESCENS 'TOWER' / TOWER POPLAR	2.5" CAL
EVERGREEN TREES		
AC	ABIES CONCOLOR / WHITE FIR	8' HT
JS	JUNIPERUS MONOSPERMA / ONESEED JUNIPER	8' HT
JS2	JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER	8' HT
PE	PICEA ENGELMANNII / ENGELMANN SPRUCE	8' HT
PC	PICEA PUNGENS / COLORADO SPRUCE	8' HT
PL	PINUS CONTORTA LATIFOLIA / LODGEPOLE PINE	8' HT
PP2	PINUS EDULIS / PINYON PINE	8' HT
PL2	PINUS FLEXILIS / LIMBER PINE	8' HT
PS	PINUS STROBOS / WHITE PINE	8' HT
PD	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	8' HT
CODE	BOTANICAL / COMMON NAME	SIZE
GRASSES / PERENNIALS		
AM	ACHILLEA MILLEFOLIUM / COMMON YARROW	1 GAL
DA	DELOSPERMA X 'ALAN'S APRICOT' / ALAN'S APRICOT ICE PLANT	1 GAL
EL	ECHINACEA PURPUREA / PURPLE CONEFLOWER	1 GAL
GO	GALIUM ODORATUM / SWEET WOODRUFF	1 GAL
AA	ARONIA ARBUTIFOLIA / RED CHOKEBERRY	5 GAL
AT2	ARTEMISIA TRIDENTATA / BIG SAGEBRUSH	5 GAL
CR3	CRATAEGUS RIVULARIS / RIVER HAWTHORN	5 GAL
PC2	PRUNUS VIRGINIANA / CHOCHEERRY	5 GAL
RT	RHUS TRILOBATA / SKUNKBUSH SUMAC	5 GAL
RG	RIBES AUREUM / GOLDEN CURRANT	5 GAL
RI	RIBES INERME / WHITEMESTEM GOOSEBERRY	5 GAL
SB	SALIX BEBBIANA / BEAKED WILLOW	5 GAL
SP	SALIX LASIANDRA / PACIFIC WILLOW	5 GAL
SM	SALIX MONTICOLA / YELLOW MOUNTAIN WILLOW	5 GAL
SE	SAMBUCUS CANADENSIS / AMERICAN ELDERBERRY	5 GAL
SA	SHEPHERDIA ARGENTEA / SILVER BUFFALOERRY	5 GAL
AU	ARCTOSTAPHYLOS UVA-URSI / KINNICKINICK	5 GAL
CS	CHRYSOTHAMNUS PARRYI SPP. MONTANUS / PARRY'S RABBITBRUSH	5 GAL
JH	JUNIPERUS HORIZONTALIS / CREEPING JUNIPER	5 GAL
PP3	POTENTILLA VERA 'NANA' / CREEPING CINQUEFOIL	5 GAL
MEDIUM SHRUB		
AF	ARTEMISIA FILIFOLIA / SAND SAGEBRUSH	5 GAL
CB	CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST BLUEBEARD	5 GAL
CR	CHRYSOTHAMNUS NAUSEOSUS / RUBBER RABBITBRUSH	5 GAL
CE	CORNUS SERICEA / RED OSIER DOGWOOD	5 GAL
EE	EPHEDRA EQUisetina / BLUESTEM JOINT FIR	5 GAL
JS3	JUNIPERUS SABINA / SAVIN JUNIPER	5 GAL
LT	LONICERA TATARICA / TATARIAN HONEYSUCKLE	5 GAL
PS2	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	5 GAL
PG	PINUS SYLVESTRIS 'GLAUCANA' / BLUE DWARF SCOTCH PINE	5 GAL
PT3	PURSHIA TRIDENTATA / ANTELOPE BITTERBRUSH	5 GAL
RW	ROSA WOODSII / MOUNTAIN ROSE	5 GAL
SA2	SYMPHORICARPOS ALBUS / COMMON WHITE SNOWBERRY	5 GAL
SO	SYMPHORICARPOS ORBICULATUS / CORALBERRY	5 GAL
VINES		
PQ	PARTHENOCISSUS QUINQUEFOLIA / VIRGINIA CREEPER	1 GAL

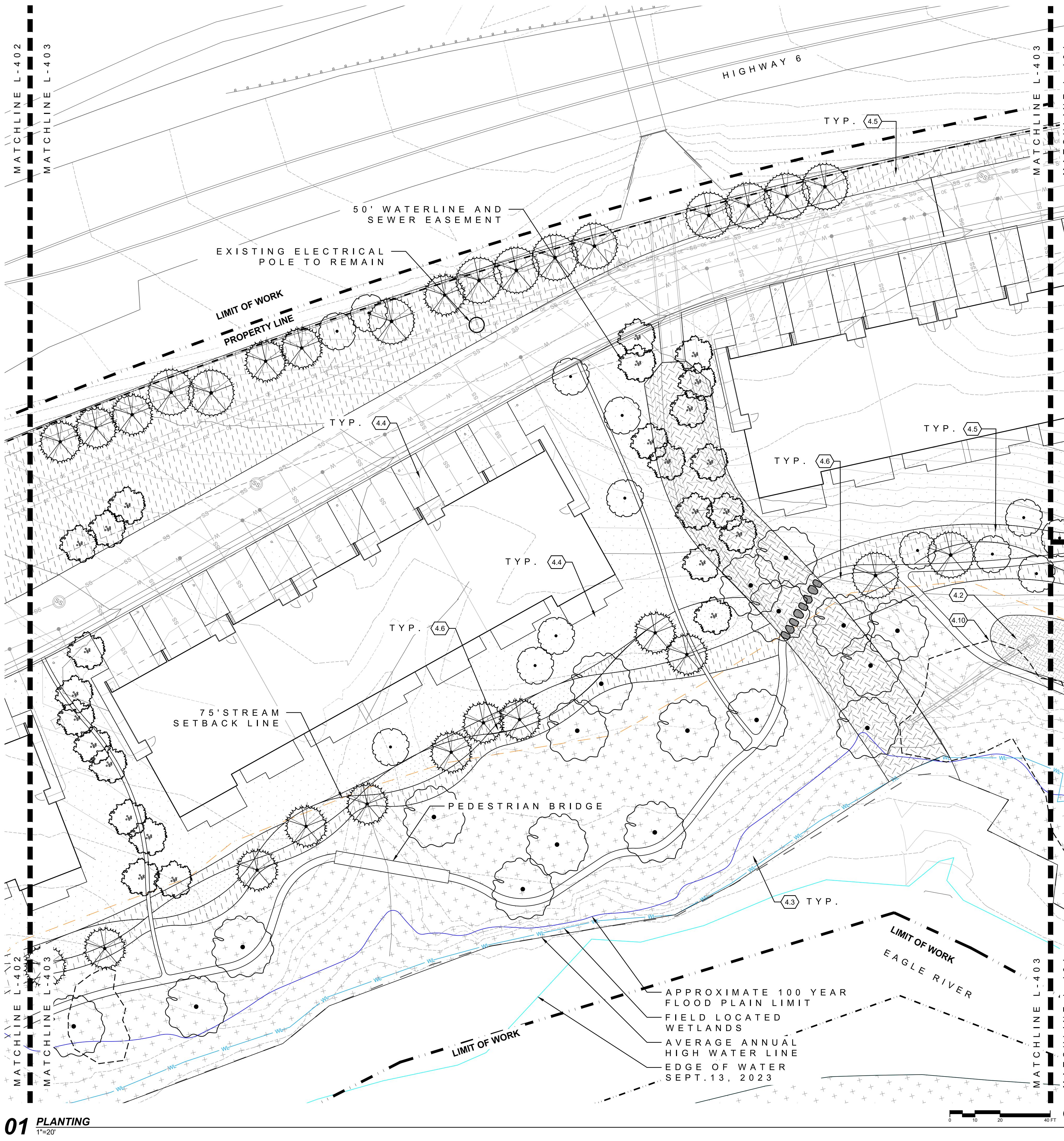
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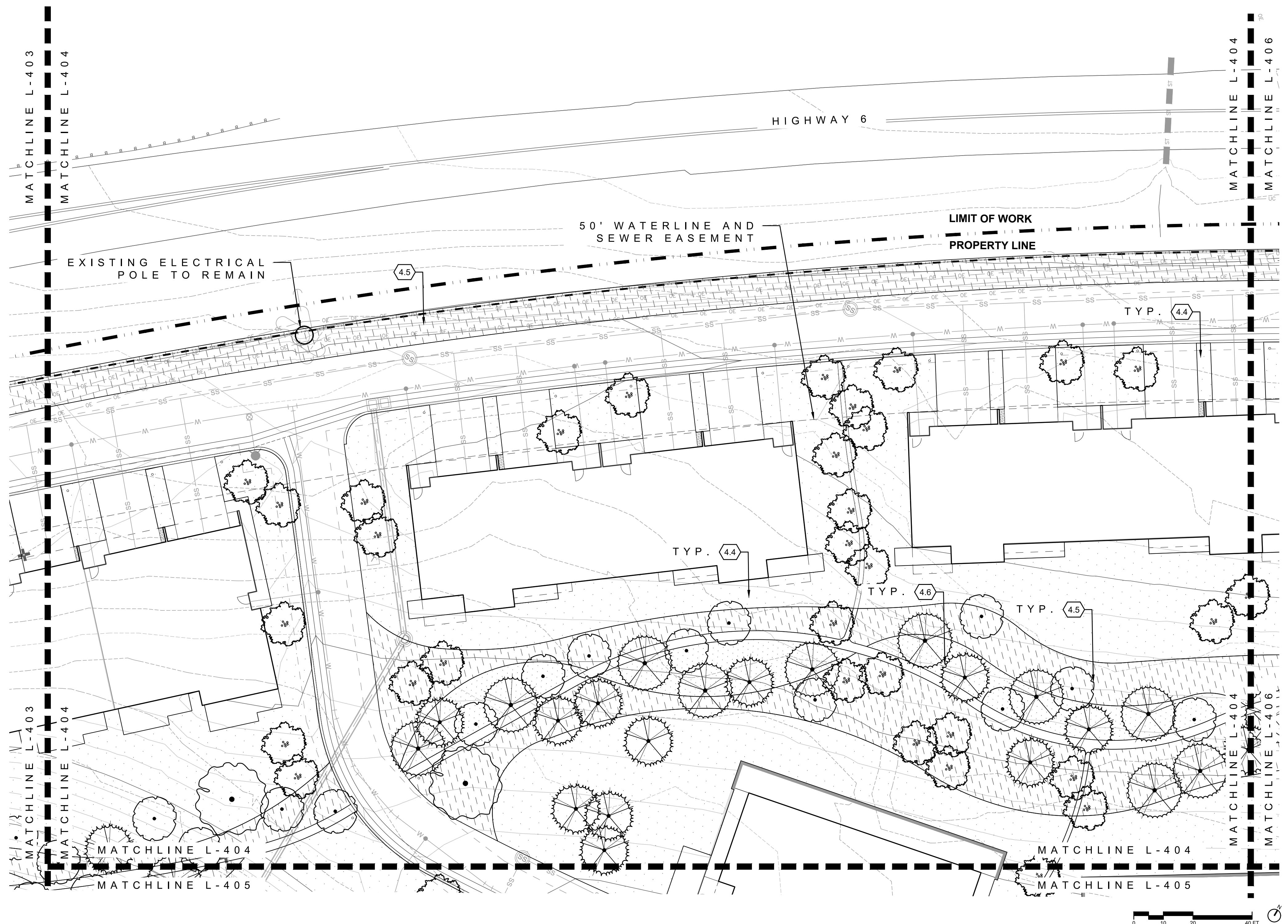
0.1	LIMIT OF WORK	NA
0.2	PROPERTY LINE	NA
0.3	50' WATERLINE&SEWER EASEMENT	NA
0.4	75' STREAM SETBACK LINE	NA
0.5	100 YEAR FLOOD PLAIN	NA
0.6	FIELD LOCATED WETLANDS	NA
0.7	EDGE OF WATER	NA
0.8	AVERAGE ANNUAL HIGH WATER LINE	NA
0.9	MATCHLINES	NA

4.0 LANDSCAPE / PLANTING

4.1	IRRIGATED TURF	NA
4.2	SWALE / DETENTION PLANTING	NA
NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF		
EX-PA	EXISTING VEGETATION TO REMAIN	NA
PA	LOW DENSITY VEGETATION	NA
LOW HEIGHT NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 2 PLANTS PER 100SF		
PA	MEDIUM DENSITY VEGETATION	NA
NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF		
PA	HIGH DENSITY VEGETATION	NA
NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 15 PLANTS PER 100SF		
●	PROPOSED DECIDUOUS TREE	
●	PROPOSED ORNAMENTAL TREE	
●	PROPOSED CONIFEROUS TREE	
●	EXISTING VEGETATION TO REMAIN	







0.0	LEGEND	DETAIL
0.1	LIMIT OF WORK	NA
0.2	PROPERTY LINE NA	NA
0.3	50' WATERLINE&SEWER EASEMENT	NA
0.4	75' STREAM SETBACK LINE	NA
0.5	100 YEAR FLOOD PLAIN	NA
0.6	FIELD LOCATED WETLANDS	NA
0.7	EDGE OF WATER	NA
0.8	AVERAGE ANNUAL HIGH WATER LINE	NA
0.9	MATCHLINES	NA

4.0	LANDSCAPE / PLANTING	DETAIL
S-PA	4.1 IRRIGATED TURF	NA
EX-PA	4.2 SWALE / DETENTION PLANTING	NA
PA	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	NA
PA	4.3 EXISTING VEGETATION TO REMAIN	NA
PA	4.4 LOW DENSITY VEGETATION	NA
PA	LOW HEIGHT NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 2 PLANTS PER 100SF	NA
PA	4.5 MEDIUM DENSITY VEGETATION	NA
PA	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	NA
PA	4.6 HIGH DENSITY VEGETATION	NA
PA	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 15 PLANTS PER 100SF	NA
PA	4.7 PROPOSED DECIDUOUS TREE	NA
PA	4.8 PROPOSED ORNAMENTAL TREE	NA
PA	4.9 PROPOSED CONIFEROUS TREE	NA
PA	4.10 EXISTING VEGETATION TO REMAIN	NA

PROJECT
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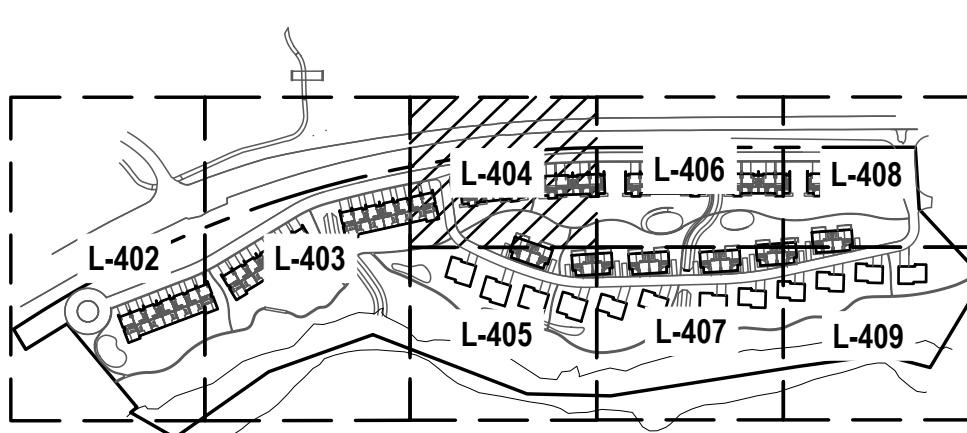
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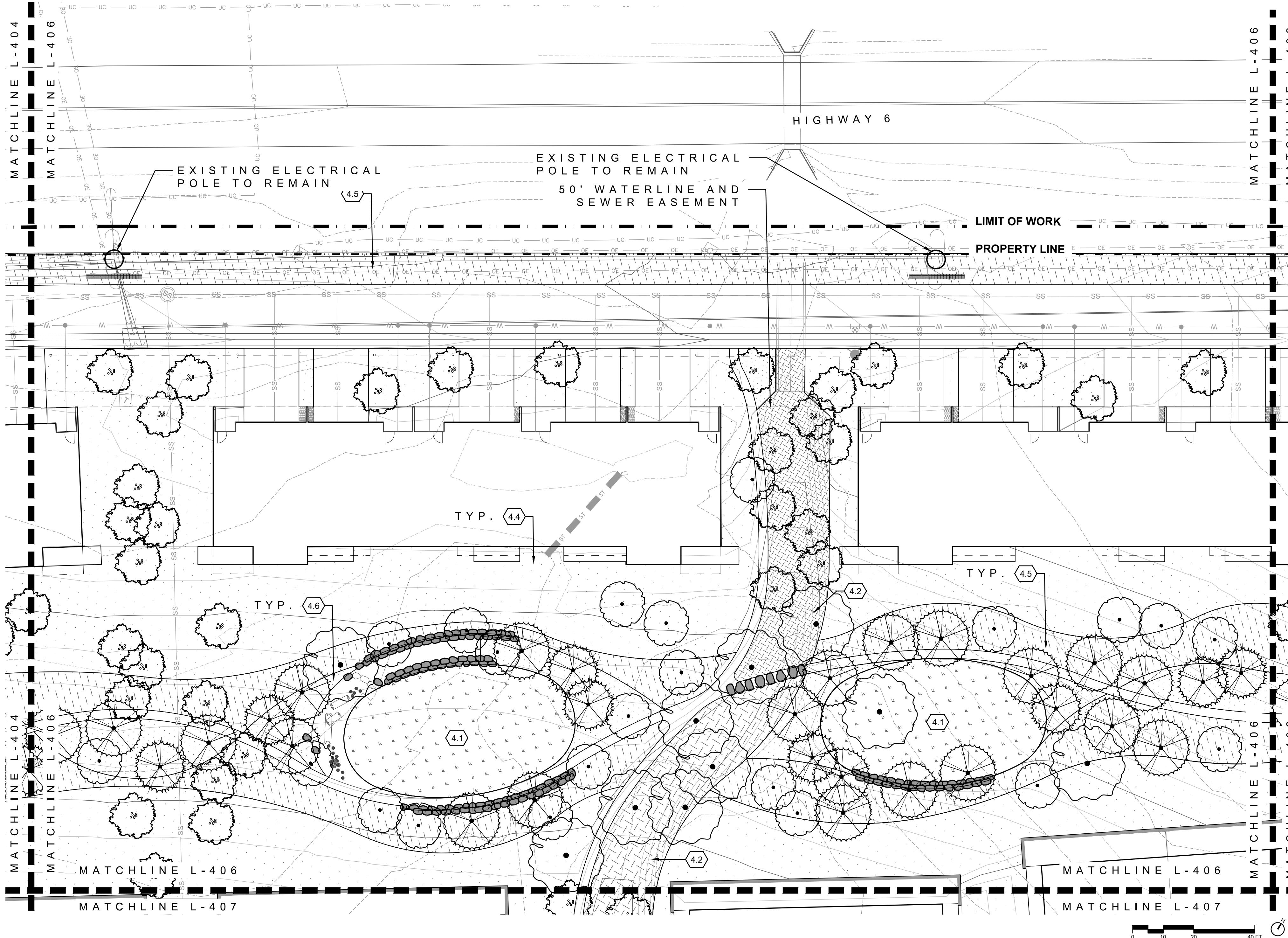
REVISION HISTORY

DRAWING SHEET TITLE
PLANTING PLAN



KEYMAP
1'=400

L-404



01 PLANTING PLAN
1"=20'

0.0 LEGEND		DETAIL
—	0.1 LIMIT OF WORK	NA
—	0.2 PROPERTY LINE NA	NA
—	0.3 50' WATERLINE&SEWER EASEMENT	NA
—	0.4 75' STREAM SETBACK LINE	NA
—	0.5 100 YEAR FLOOD PLAIN	NA
—	0.6 FIELD LOCATED WETLANDS	NA
—	0.7 EDGE OF WATER	NA
—	0.8 AVERAGE ANNUAL HIGH WATER LINE	NA
—	0.9 MATCHLINES	NA

4.0 LANDSCAPE / PLANTING		DETAIL
—	4.1 IRRIGATED TURF	NA
—	4.2 SWALE / DETENTION PLANTING	NA
—	4.3 EXISTING VEGETATION TO REMAIN	NA
—	4.4 LOW DENSITY VEGETATION	NA
—	4.5 MEDIUM DENSITY VEGETATION	NA
—	4.6 HIGH DENSITY VEGETATION	NA
—	4.7 PROPOSED DECIDUOUS TREE	
—	4.8 PROPOSED ORNAMENTAL TREE	
—	4.9 PROPOSED CONIFEROUS TREE	
—	4.10 EXISTING VEGETATION TO REMAIN	

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RANCH

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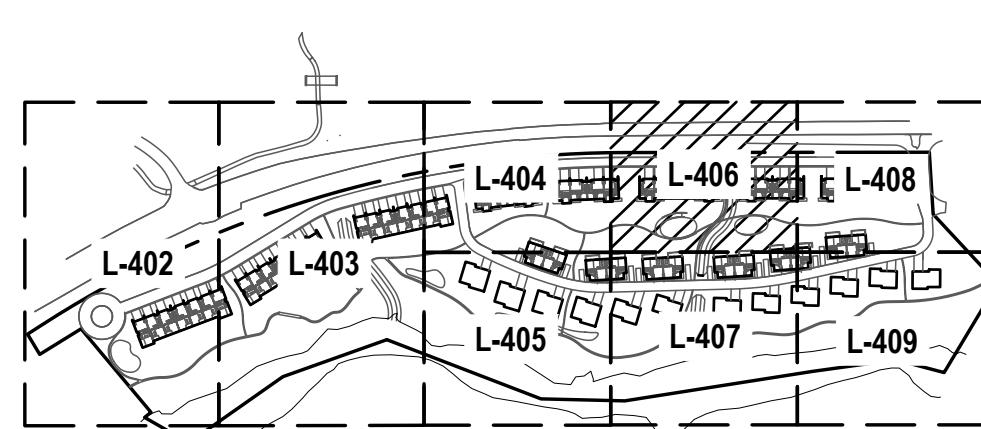
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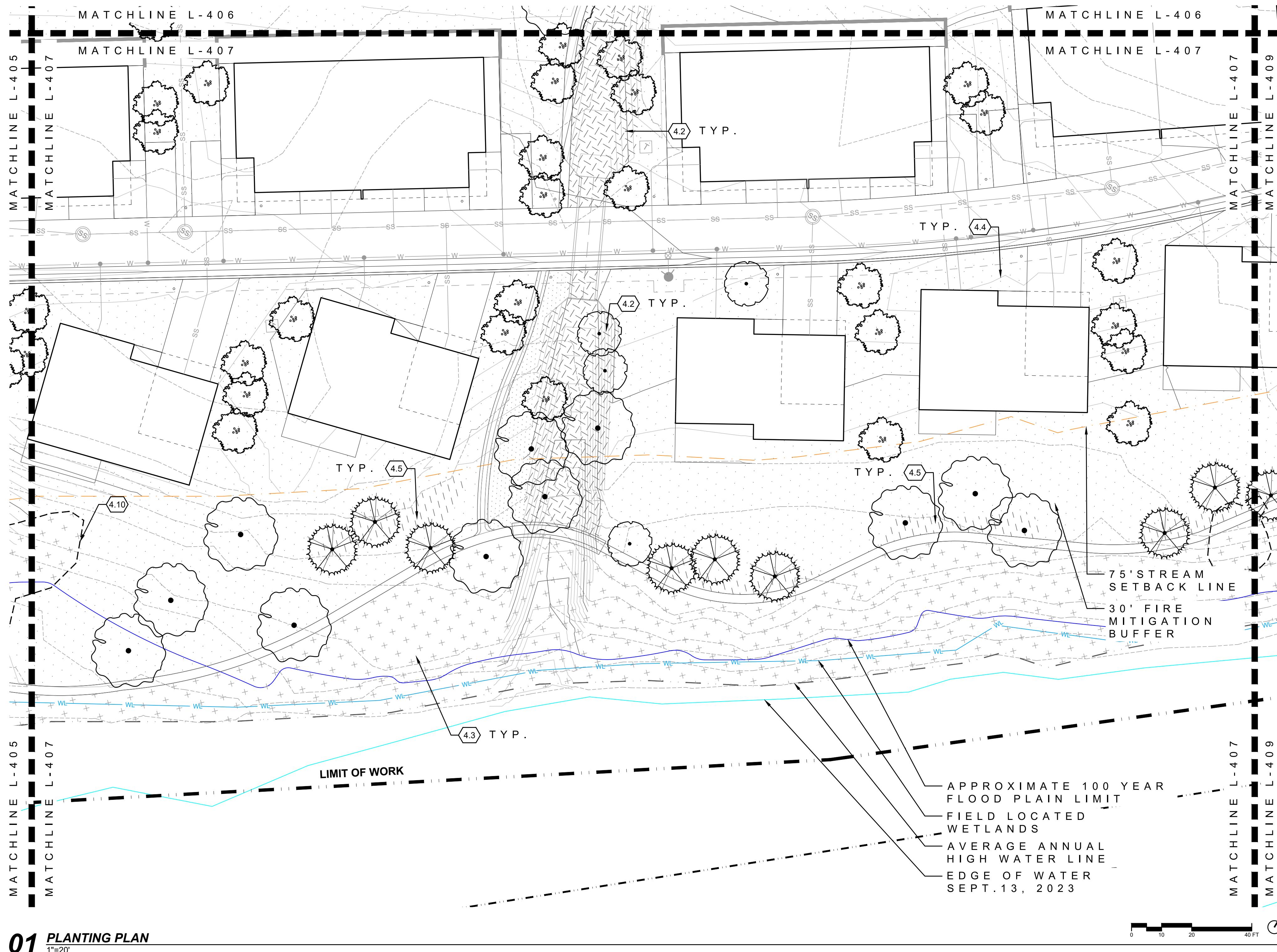
REVISION HISTORY



DRAWING SHEET TITLE
PLANTING PLAN

KEYMAP
1"=400

L-406



01 PLANTING PLAN

PROJECT **RED MOUNTAIN RANCH**

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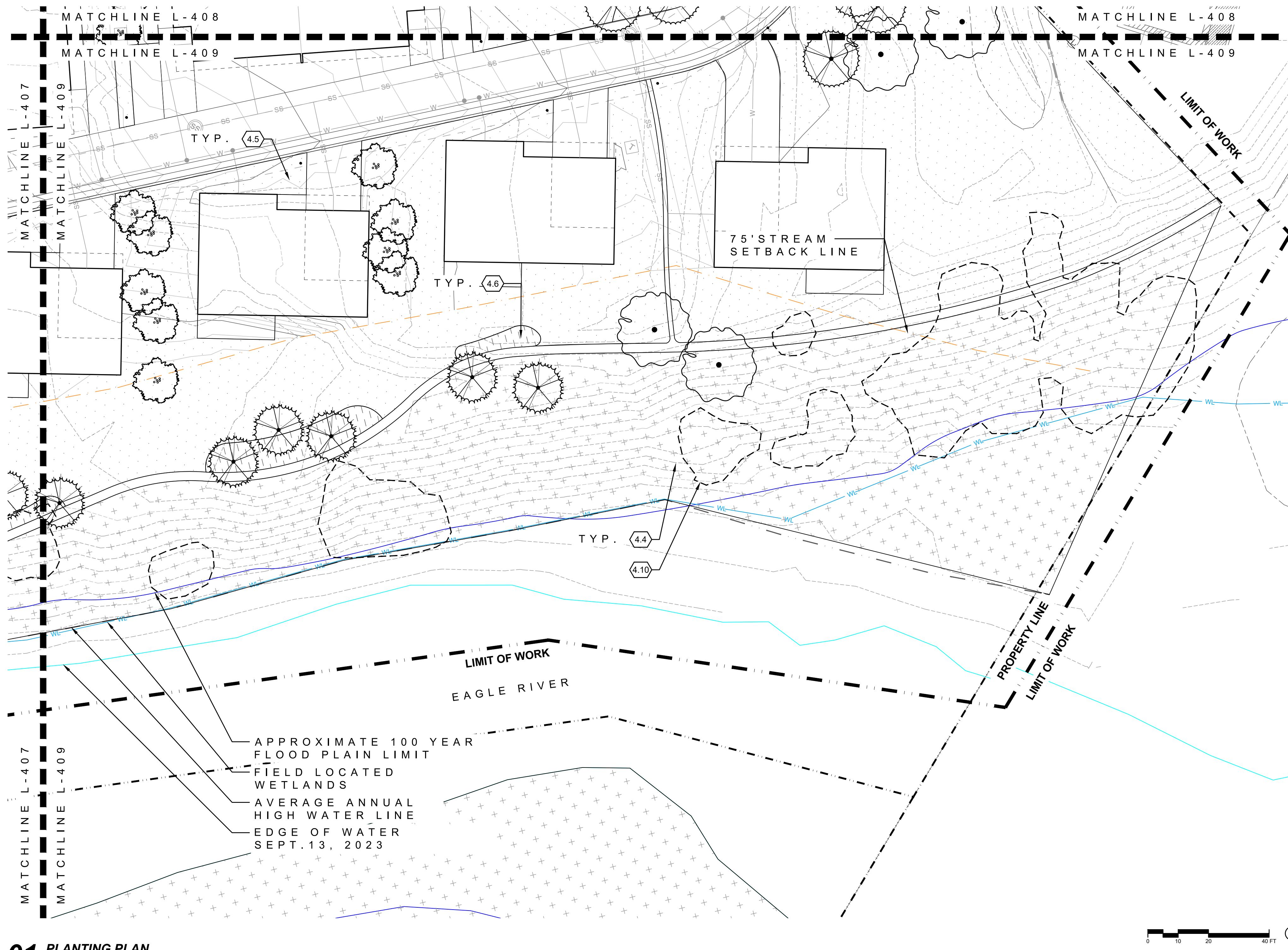
ISSUE DATE

CURRENT REVISION

DRAWING SHEET TITLE
PLANTING PLAN

KEYMAP

L-407



01 PLANTING PLAN
1"=20'

0.0 LEGEND		DETAIL
0.1	LIMIT OF WORK	NA
0.2	PROPERTY LINE NA	NA
0.3	50' WATERLINE&SEWER EASEMENT	NA
0.4	75' STREAM SETBACK LINE	NA
0.5	100 YEAR FLOOD PLAIN	NA
0.6	FIELD LOCATED WETLANDS	NA
0.7	EDGE OF WATER	NA
0.8	AVERAGE ANNUAL HIGH WATER LINE	NA
0.9	MATCHLINES	NA

4.0 LANDSCAPE / PLANTING		DETAIL
4.1	IRRIGATED TURF	NA
4.2	SWALE / DETENTION PLANTING	NA
S-PA	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	
EX-PA	EXISTING VEGETATION TO REMAIN	NA
PA	LOW DENSITY VEGETATION	NA
	LOW HEIGHT NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 2 PLANTS PER 100SF	
PA	MEDIUM DENSITY VEGETATION	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	
PA	HIGH DENSITY VEGETATION	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 15 PLANTS PER 100SF	
4.7	PROPOSED DECIDUOUS TREE	
4.8	PROPOSED ORNAMENTAL TREE	
4.9	PROPOSED CONIFEROUS TREE	
4.10	EXISTING VEGETATION TO REMAIN	

PROJECT
RED MOUNTAIN
RANCH

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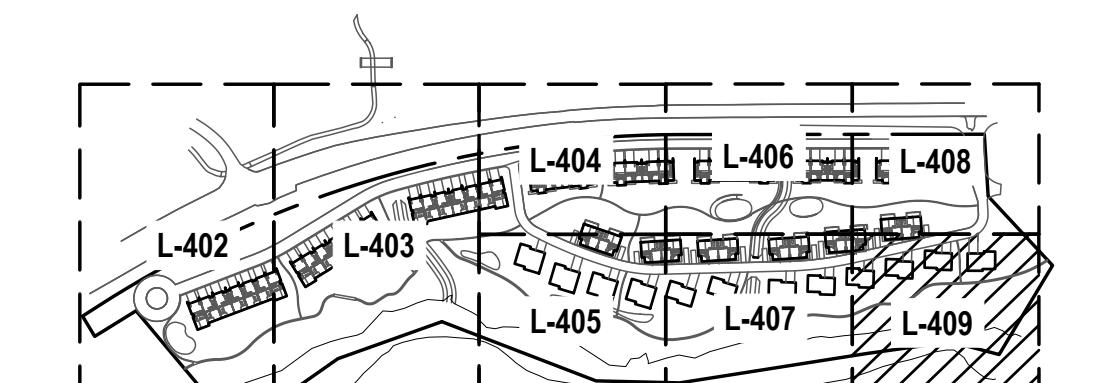
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ISSUE DATE
01.13.2025

CURRENT REVISION

REVISION HISTORY



DRAWING SHEET TITLE
PLANTING PLAN

KEYMAP
1"=400

L-409

IRRIGATION SCHEDULE

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.
●●●	RAIN BIRD	RD-06-S-P30-NP WITH MPR SERIES NOZZLE	POPUP SPRAY HEAD	NS
● R S	RAIN BIRD	RD-06-S-P30-NP WITH SST, CORNER SERIES NOZZLE	POPUP SPRAY HEAD	NS
M# M# M# M#	RAIN BIRD / HUNTER	RD-06-S-P40-NP WITH MP-ROTATOR SERIES NOZZLE (M1=MP-1000, M2=MP-2000, M3=MP3000 & M35=MP3500)	POPUP ROTATOR HEAD	NS
◆ ◇ ◆ ◇	RAIN BIRD	RD-12-S-P30-NP WITH MPR SERIES NOZZLE	POPUP SPRAY HEAD	NS
M# M# M# M#	RAIN BIRD / HUNTER	RD-12-S-P40-NP WITH MP-ROTATOR SERIES NOZZLE (M1=MP-1000, M2=MP-2000, M3=MP3000 & M35=MP3500)	HI-POP ROTATOR HEAD	NS
#6 #6 #6 #6	HUNTER	I-20-06-SS-R WITH # STANDARD NOZZLE (BLUE)	GEAR DRIVEN ROTOR	NS
# # # #	HUNTER	I-25-06-SS WITH #20 & #28 NOZZLES	GEAR DRIVEN ROTOR	NS
# # # #	HUNTER	I-20-12-R WITH # STANDARD NOZZLE (BLUE)	HI-POP GEAR DRIVEN ROTOR	NS
#25 #25 #25 #25	HUNTER	I-20-12-R WITH #MPR25 MATCHED PRECIPITATION NOZZLE (RED)	HI-POP GEAR DRIVEN ROTOR	NS
○	HUNTER	ICV -PRS-D W/DECODER	ELECTRIC CONTROL VALVE	NS
▼	RAIN BIRD	44- NP	QUICK COUPLING VALVE	NS
○	BASELINE	3200 WEB ACCESSIBLE	2-WIRE ELECTRIC CONTROLLER	NS
□□	FEBCO	880	RP BACKFLOW PREVENTER	NS
N/S	STRONG BOX	SBBC-40(W=6")-ALHP	BACKFLOW PREVENTER ENCLOSURE	NS
N/S	OLDCASTLE / CARSON	REFER TO SPECIFICATIONS AND DETAILS	VALVE BOXES	NS
N/S	MACDONALD	AY 1/4 TURN - 1"	MANUAL DRAIN VALVE	NS
►►		LINE SIZE - 2½" AND SMALLER	GATE VALVE	NS
►►		LINE SIZE - 3" AND LARGER	GATE VALVE - HDPE FUSED	NS
○■	APCO	BERMAD	AIR RELEASE VA;LVE	NS
N/S	LEEMCO		MECHANICAL JOINT RESTRAINTS	NS
—		CLASS 200 BE - 2½" & SMALLER	PVC MAINLINE	NS
—		CLASS 200 FUSED - 3" & LARGER	HDPE MAINLINE	NS
—		CLASS 160	PVC SLEEVING	NS
⊕	RAIN BIRD	XCZ-100-PRB-COM	DRIP VALVE ASSEMBLY	NS
N/S	RAIN BIRD	XERI-BUG	DRIP EMITTERS	NS
N/S	BASELINE	ICD-100	VALVE DECODER	NS
N/S	BASELINE	ICD-SEN	SENSOR DECODER	NS
-----	PAIGE	P7354D #12 AWG	2-WIRE DECODER CABLE	NS
○ A	HUNTER	AT LOCATIONS SHOWN	SURGE PROTECTION	NS
P		VFD NON POTABLE	PRIMARY PUMP	NS
M	BY OTHERS		WATER METER	NS
○	RAIN BIRD	XERI-BUG WITH CHECK VALVE	TREE DRIP RINGS	NS
○ ■			HDPE SUB-MAINLINE ISOLATION VALVE	NS
				NS
				NS

CONTROLLER & STATION NO.

CONTROL VALVE SIZE

Project Name: Red Mountain
Project Location: Eagle, CO
Map Description: Tap 1

ANSWER: 10. $12 \times 75 = 900$ and $12 \times 750 = 9000$

Seasonal Water Use and Peak Flow Projections Prepared By HydroSystems-KDI, Inc.					
Description	Irrigated		Application Rate (in/mo/sqft)	Water Application (gallons)	Peak Season Projected Demand (GPM)
	Area (Acre)	Month			
Kentucky Bluegrass <i>Spray Irrigated</i> Permanent	0.12	May	6.01	19,238	
		June	7.89	25,267	
		July	8.58	27,483	
		August	7.30	23,361	
		September	5.40	17,288	
Irrigation Season Totals			35.18	112,637	
				0.35	acre-feet
Native Tall Grass <i>Spray Irrigated</i> Temporary or as needed	5.65	May	3.67	563,219	
		June	4.82	739,712	
		July	5.25	804,599	
		August	4.46	683,909	
		September	3.30	506,119	
Irrigation Season Totals			21.50	3,297,558	
				10.12	acre-feet
Shrubs & Trees <i>Drip Irrigated</i> Permanent	0.64	May	2.41	42,082	
		June	3.17	55,269	
		July	3.44	60,117	
		August	2.93	51,099	
		September	2.17	37,816	
Irrigation Season Totals			14.12	246,383	
				0.76	acre-feet

Site Totals		
Irrigated Area:	279,183 Sq.Ft.	6
Water Use per Year:	3,656,577 Gallons	11
Average Water per Year:	13.10 Gallons/SqFt	21
Peak Season Monthly Water Use:	892,199 Gallons	2
Average Peak Season Flow:	93 GPM	
Required Tap Size:	3 Inches	

IRRIGATION CONSTRUCTION NOTES

DRAWINGS AND BASE INFORMATION – ALL BASE AND PLANTING INFORMATION HAVE BEEN PROVIDED BY WENK ASSOCIATES THE CONTRACTOR IS RESPONSIBLE TO NOTIFY HYDROSYSTEMS*KDI OF ANY DISCREPANCIES BETWEEN THE UTILITY OR PLANTING PLANS AND THE IRRIGATION PLAN. IF CONTRACTOR FAILS TO NOTIFY HYDROSYSTEMS*KDI AND MAKES CHANGES TO THE IRRIGATION SYSTEM DESIGN, HE ASSUMES ALL COSTS AND LIABILITIES ASSOCIATED WITH THOSE FIELD CHANGES. REFER TO SPECIFICATIONS FOR ADDITIONAL PROJECT REQUIREMENTS. CONTACT IRRIGATION CONSULTANT FOR CURRENT SPECIFICATIONS IF NOT PROVIDED.

SYSTEM PRESSURE - HYDROSYSTEMS*KDI HAS CONTACTED THE LOCAL WATER DISTRICT THAT SERVES THIS SITE AND THEY HAVE BEEN TOLD THAT THE STATIC WATER PRESSURE IN THIS AREA SHOULD BE TBD PSI. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY PRESSURE PRIOR TO COMMENCING ANY CONSTRUCTION AND NOTIFY HYDROSYSTEMS*KDI OF ANY VARIANCE FROM THE STATED PRESSURE IMMEDIATELY. WRITTEN DOCUMENTATION OF PRESSURE TEST AND RESULTS SHALL BE PROVIDED TO HYDROSYSTEMS*KDI AT CONSTRUCTION ONSET. IF CONTRACTOR FAILS TO FIELD VERIFY PRESSURE AND/OR NOTIFY HYDROSYSTEMS*KDI OR ANY VARIATIONS FROM THIS PRESSURE, THEN HE ASSUMES ALL CONSTRUCTION AND ENGINEERING COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS REQUIRED TO ACCOMMODATE ACTUAL SITE PRESSURE. THIS SYSTEM HAS BEEN DESIGNED FOR A REQUIRED STATIC PRESSURE OF TBD PSI MINIMUM.

NON-POTABLE WATER SOURCE - THIS SITE HAS BEEN DESIGNED TO BE IRRIGATED WITH NON-POTABLE WATER. ALL CAPS ON HEADS, VALVE HANDLES, VALVE BOX LIDS SHALL BE CONSTRUCTED OF PURPLE MATERIALS AND LABELED TO INDICATE NON-POTABLE WATER SUPPLY. ALL MAINLINE AND LATERAL PIPING SHALL BE PURPLE. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING SIGNS NOTIFYING THE PUBLIC OF THE USE OF NON-POTABLE WATER ON THIS SITE. SEE STATE REGULATIONS FOR CONTENT AND SIZE OF NOTIFICATION SIGNS. INSTALLATION CREWS ARE TO BE INFORMED OF THE USE OF NON-POTABLE WATER.

IRRIGATION SYSTEM OPERATION INTENT - THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO IRRIGATE THE ESTABLISHED LANDSCAPE WITHIN A SIX NIGHT PER WEEK, SIX HOUR PER NIGHT WATERING WINDOW. ESTABLISHMENT WATERING WILL REQUIRE UP TO TWICE AS MUCH IRRIGATION FOR A FOUR TO SIX WEEK PERIOD. THE DESIGN IS BASED ON THE FOLLOWING PROJECTED WEEKLY APPLICATION RATES AFTER ESTABLISHMENT. THESE FIGURES ARE BASED ON A 30-YEAR AVERAGE WEATHER DATA AND WILL NEED TO BE ADJUSTED DUE TO SEASONAL CHANGES AND WEATHER CONDITIONS ABOVE AND BELOW THE AVERAGE VALUES UTILIZED.

BLUEGRASS TURF	1.39" PER WEEK PEAK SEASON
ORNAMENTAL PLANTINGS	0.77" PER WEEK PEAK SEASON
NATIVE SEED MIXES	01.00" PER WEEK PEAK SEASON

EQUIPMENT INSTALLATION - IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN PROPERTY LIMITS AND WITHIN LANDSCAPED AREAS. ANY EQUIPMENT OTHER THAN VALVE BOXES OR SLEEVING THAT CONTAINS PIPE OR WIRES SHOWN OUTSIDE OF THESE LIMITS IS SHOWN IN THAT LOCATION FOR GRAPHICAL CLARITY ONLY. ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 2'-0" FROM EDGE OF ANY PAVED SURFACES UNLESS SPECIFICALLY INDICATED ON PLANS. BOXES INSTALLED IN OPEN TURF AREAS SHALL BE KEPT TO EDGES AND STAKED FOR REVIEW IF ALONG HIGH TRAFFIC AREAS. ALL VALVE BOXES SHALL BE PLACED A MINIMUM OF 3'-0" FROM THE CENTERLINE OF ANY DRAINAGE SWALE. ALL VALVE BOXES WITHIN PAVEMENT SHALL BE TIER 15 RATED BOXES FOR HEAVY DUTY NON-DELIBERATE TRAFFIC. BOX LID COLOR SHALL MATCH ADJACENT MATERIALS, I.E. GREEN IN TURF, TAN IN WOOD MULCH, GRAY IN STONE MULCH, PURPLE FOR RECLAIMED WATER SYSTEMS (IF REQUIRED). REFER TO LANDSCAPE PLANS FOR MATERIAL COLORS AND TYPES. ALL BOXES SHALL BE INSTALLED TO BE FLUSH WITH GRADE AND IN AN ORDERLY MANNER.

PIPING INSTALLATION - IRRIGATION PIPING SHALL MAINTAIN A MINIMUM DISTANCE FROM BUILDING FOUNDATIONS OF 5 FEET OR AS DESCRIBED IN SOILS REPORT, WHICHEVER IS GREATER. NO SPRAY IRRIGATION SHALL OCCUR WITHIN 10 FEET OF THE FOUNDATION. NO DRIP IRRIGATION SHALL OCCUR WITHIN 5 FEET OF THE FOUNDATION UNLESS SOIL MOISTURE SENSORS ARE INSTALLED ON VALVES SERVICING THESE AREAS.

MANUAL DRAIN VALVES - CONTRACTOR TO INSTALL ONE MANUAL DRAIN VALVE ON PRESSURE SUPPLY LINE DIRECTLY DOWNSTREAM OF BACKFLOW PREVENTER AND AT ALL LOW POINTS AND DEAD ENDS OF PRESSURE SUPPLY PIPING TO ENSURE COMPLETE DRAINAGE OF SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THESE LOCATIONS IN-FIELD AND INSTALLATION LOCATIONS SHALL BE NOTED ON AS-BUILT TS.

9. DRIP IRRIGATION - REFER TO IRRIGATION DETAIL SHEET FOR DRIP EMMITTER QUANTITIES / DRIP TUBING FLOW AND PLACEMENT.

10. UNLABELED PIPING - ALL UNLABELED LATERAL PIPING SHALL BE 1" MINIMUM UNLESS OTHERWISE NOTED.

11. SLEEVING - ALL SLEEVING UNDER PAVED SURFACES SHOWN ON PLANS IS BY CONTRACTOR UNLESS OTHERWISE NOTED. SLEEVING SHALL BE INSTALLED IN THE SIZES AND QUANTITIES SHOWN ON PLANS OR BASED ON THE SCHEDULE BELOW. WHERE SLEEVES ARE SHOWN, BUT NOT LABELED, FOLLOW THE SCHEDULE BELOW. ALL MAINLINE, CONTROL WIRES AND DRIP LINES UNDER PAVED SURFACES ARE TO BE INSTALLED IN SLEEVING. ALL MAINLINE SLEEVE LOCATIONS TO INCLUDE A SEPARATE WIRE SLEEVE.

SLEEVED PIPE SIZE/WIRE QUANTITY	REQUIRED SLEEVE SIZE & (QUANTITY)
3/4" - 1 1/4" PIPING	2" PVC (1)
1 1/2" - 2" PIPING	4" PVC (1)
3" HDPE PIPING	6" PVC (1)
2-WIRE DECODER CABLE COMMUNICATION CABLE	2" PVC (1) 2" PVC (1)

12. WIRE SYSTEM NOTES - CONTRACTOR SHALL INSTALL ALL TWO-WIRE COMPONENTS PER MANUFACTURER'S RECOMMENDATIONS AND STANDARDS.

1. CONTRACTOR SHALL USE ONLY MANUFACTURED 2-WIRE DECODER CABLE (SEE SCHEDULE FOR SPECIFIC 2-WIRE CABLE).
2. ONLY USE SINGLE STATION DECODERS (SEE SCHEDULE FOR SPECIFIC MODEL).
3. ONLY USE SENSOR DECODER FOR FLOW SENSOR (SEE SCHEDULE FOR SPECIFIC MODEL) IF INDICATED ON PLANS.
4. LOOP 5' OF 2-WIRE DECODER CABLE INTO ALL VALVE BOXES (WITH DECODERS AND SPLICES) FOR MAINTENANCE.
5. USE ONLY 3M DBR-6 WATERPROOF CONNECTORS ON ALL WIRE SPLICES AND ALL WIRE SPLICES ARE TO BE MADE WITHIN A VALVE BOX WITH CONTROL VALVES OR A SEPARATE 10" ROUND VALVE BOX FOR WIRE SPLICES.
6. INSTALL SURGE PROTECTOR RODS OR PLATES 8 LF. FROM VALVES, DECODERS, AND COMMUNICATION WIRE.
7. GROUND ALL DECODERS AND DECODER WIRE A MINIMUM OF EVERY 500' OF WIRE OR EVERY 8TH DECODER AND AT ALL ENDS OF 2-WIRE DECODER CABLE RUN.
8. LOOP EXTRA 10' OF 2-WIRE DECODER CABLE INTO A VALVE BOX AT PHASING LINES FOR FUTURE CONNECTION (IF INDICATED ON PLANS).

13. ADJUSTMENT - CONTRACTOR SHALL FINE TUNE/ADJUST THE IRRIGATION SYSTEM TO REDUCE/AVOID OVERSPRAY ONTO HARD SURFACES BY ADJUSTING NOZZLE DIRECTION AND NOZZLE RADIUS.

14. PLANS AND SPECIFICATIONS - CONTRACTOR RESPONSIBLE TO ENSURE WORK CONFORMS TO PLANS AND SPECIFICATIONS. AT ONSET OF CONSTRUCTION, VERIFY PLANS ARE CURRENT. WHERE REQUIRED BY CITY OR TOWN, CONTRACTOR SHALL CONSTRUCT ONLY OFF CITY OR TOWN STAMPED PLANS. REVISIONS TO CITY OR TOWN STAMPED PLANS SHALL CONFORM TO CITY OR TOWN FIELD CHANGE PROCEDURES AND DOCUMENTATION.

15. EXISTING IRRIGATION DAMAGE - CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION SYSTEMS DAMAGED DURING NEW INSTALLATION. REPAIR OR REPLACEMENT SHALL BE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE AND PAID FOR BY THE LANDSCAPE CONTRACTOR.

16. EXISTING IRRIGATION COORDINATION - EXISTING IRRIGATION SYSTEM SHALL NOT BE TURNED OFF FOR MORE THAN 24 HOURS MAXIMUM. CONTRACTOR SHALL COORDINATE TURN OFF OF SYSTEM WITH OWNER OR MAINTENANCE STAFF 72 HOURS PRIOR TO ANY NEW CONSTRUCTION.

17. SIMULTANEOUS ZONE OPERATION - THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO OPERATE MULTIPLE ZONES SIMULTANEOUSLY BASED ON INDIVIDUAL ZONE FLOW. THE DESIGN IS INTENDED TO OPERATE MULTIPLE VALVES, UP TO THE MAXIMUM FLOW IN THE POINT OF CONNECTION NOTE. REFER TO CONTROLLER SPECIFICATION FOR MAXIMUM SIMULTANEOUS VALVE COUNT.

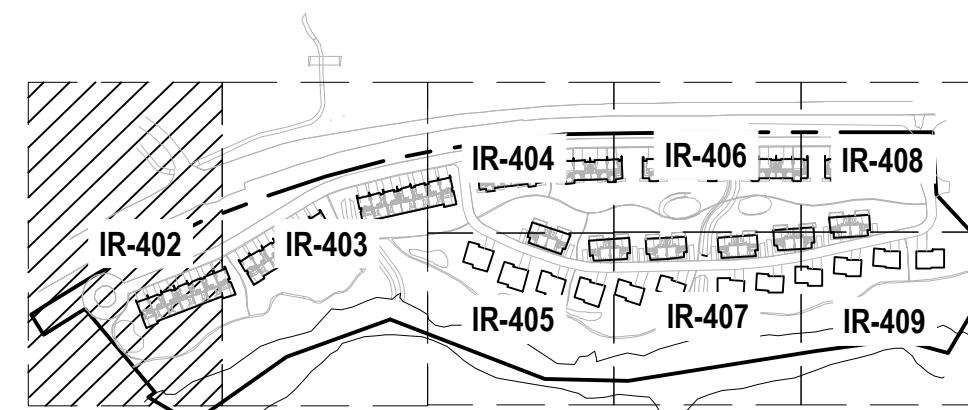
18. ALL TEMPORARY IRRIGATION ZONES SHALL BE ABANDONED AT THE TIME OF FINAL ACCEPTANCE PER SECTION 1000 OF THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS UNLESS APPLICABLE RAIN WATER FEES HAVE BEEN PAID. ABANDONMENT OF IRRIGATION ZONES SHALL BE VERIFIED BY TOWN OF ERIE.

IRRIGATION AREAS

IRRIGATION AREAS		
AREA SQ/FT	TYPE	IRRIGATION
5,136	TURF GRASS	PERMANENT
246,597	IRRIGATED NATIVE	TEMPORARY
13,809	NEW TREES/SHRUBS IN NATIVE	PERMANENT

RED MOUNTAIN RANCH-RAW		
TAP #	85	PRESSURE REQUIRED
1		
AP/METER SIZE	85	PRESSURE AVAILABLE
PUMP	93	GPM MAXIMUM FLOW

RED MOUNTAIN RANCH-POTABLE		
TAP #	70	PRESSURE REQUIRED
2		
AP/METER SIZE	TBD	PRESSURE AVAILABLE
3"	93	GPM MAXIMUM FLOW



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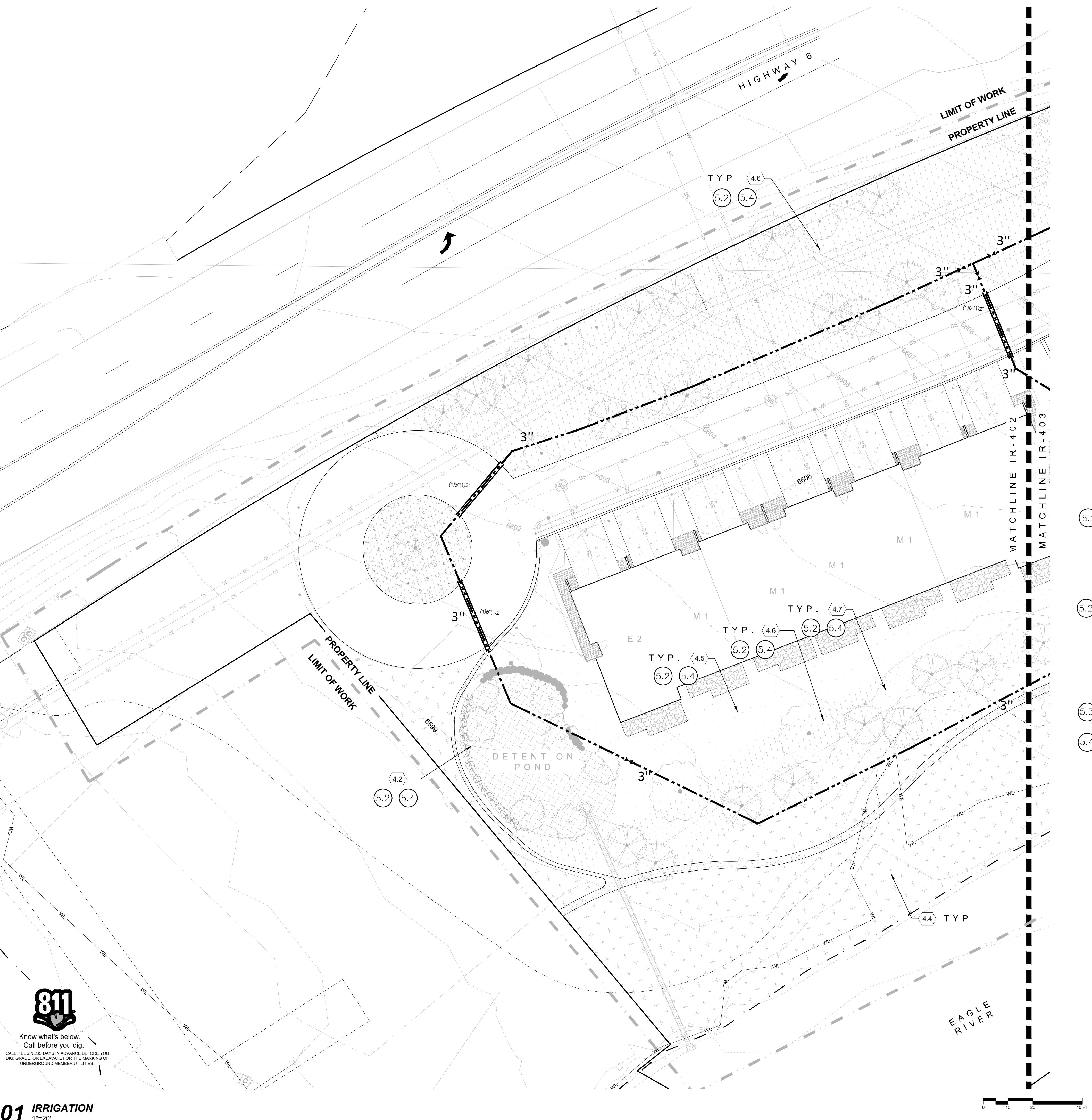
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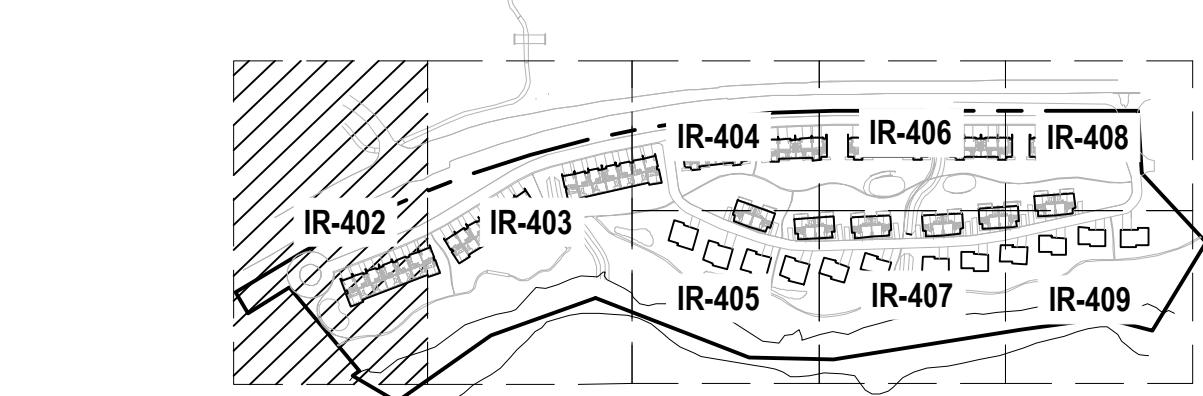
DRAWING SHEET TITLE

**IRRIGATION
SCHEDULE**

IR-401

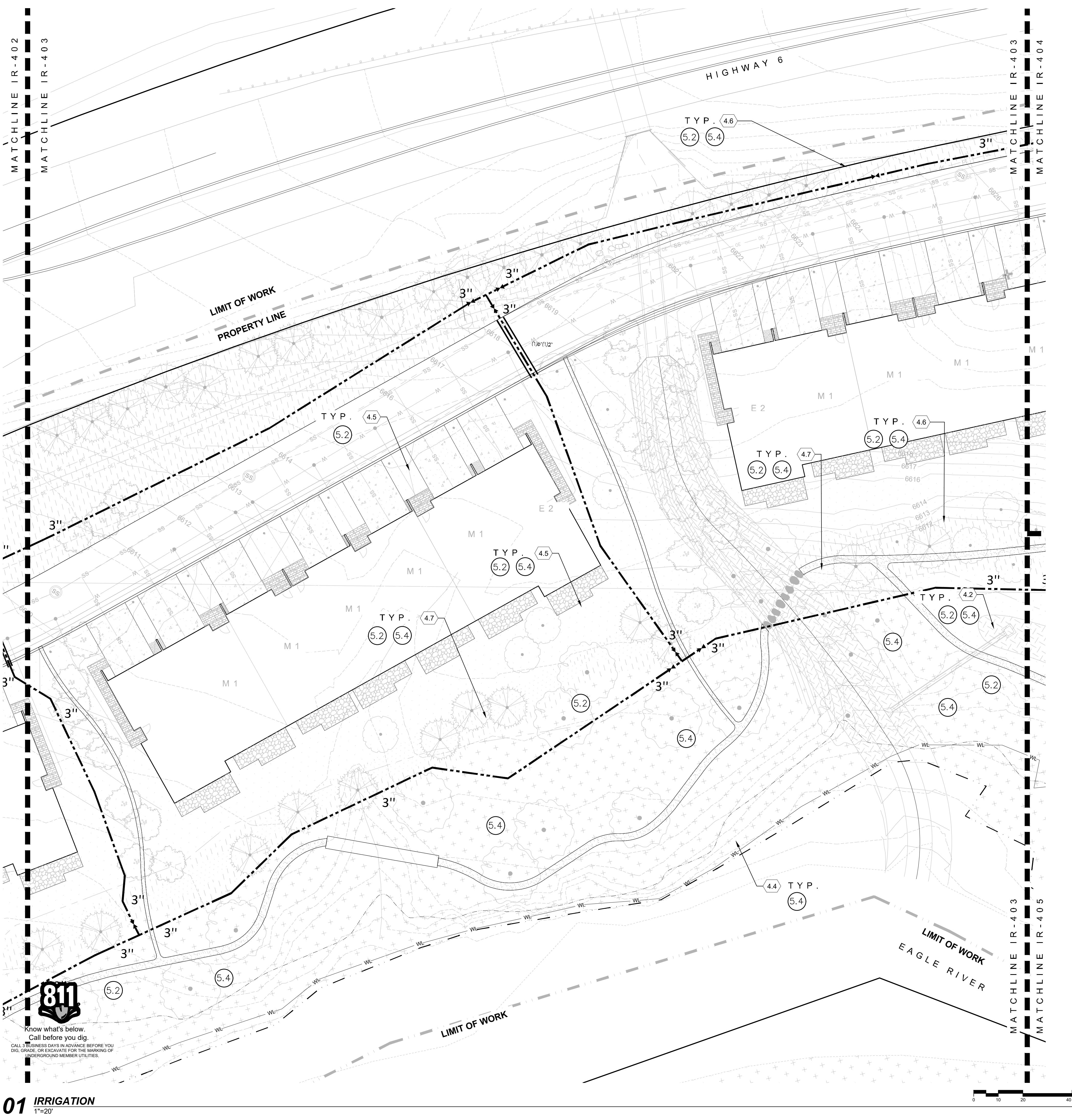


IRRIGATION TYPE	
4.1	IRRIGATED TURF
4.2	SWALE/DETENTION POND SEED
4.4	EXISTING VEGETATION TO REMAIN
4.5	LOW DENSITY VEGETATION
4.6	MEDIUM DENSITY VEGETATION
4.7	HIGH DENSITY VEGETATION
4.7	PROPOSED DECIDUOUS TREE
4.8	PROPOSED ORNAMENTAL TREE
4.9	PROPOSED CONIFEROUS TREE



KEYMAP
NTS

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4.9	PROPOSED CONIFEROUS TREE

PROJECT
RED MOUNTAIN
RANCH

PARCEL 1
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EAGLE, CO 81631

ARCHITECT/
GENERAL CONTRACTOR

tres birds

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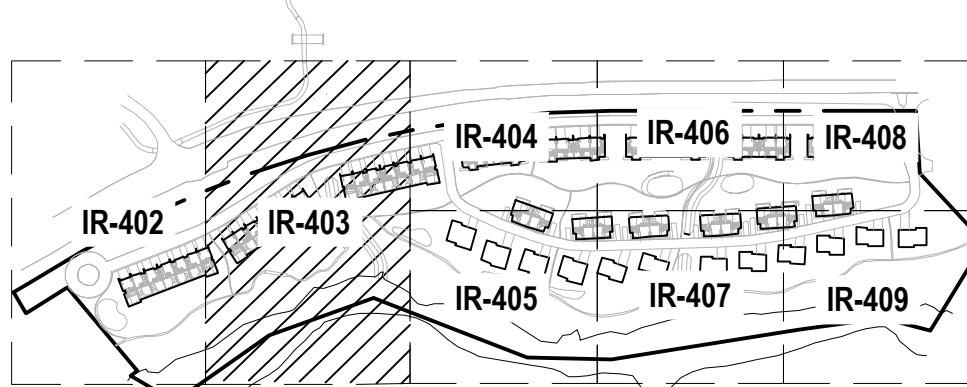
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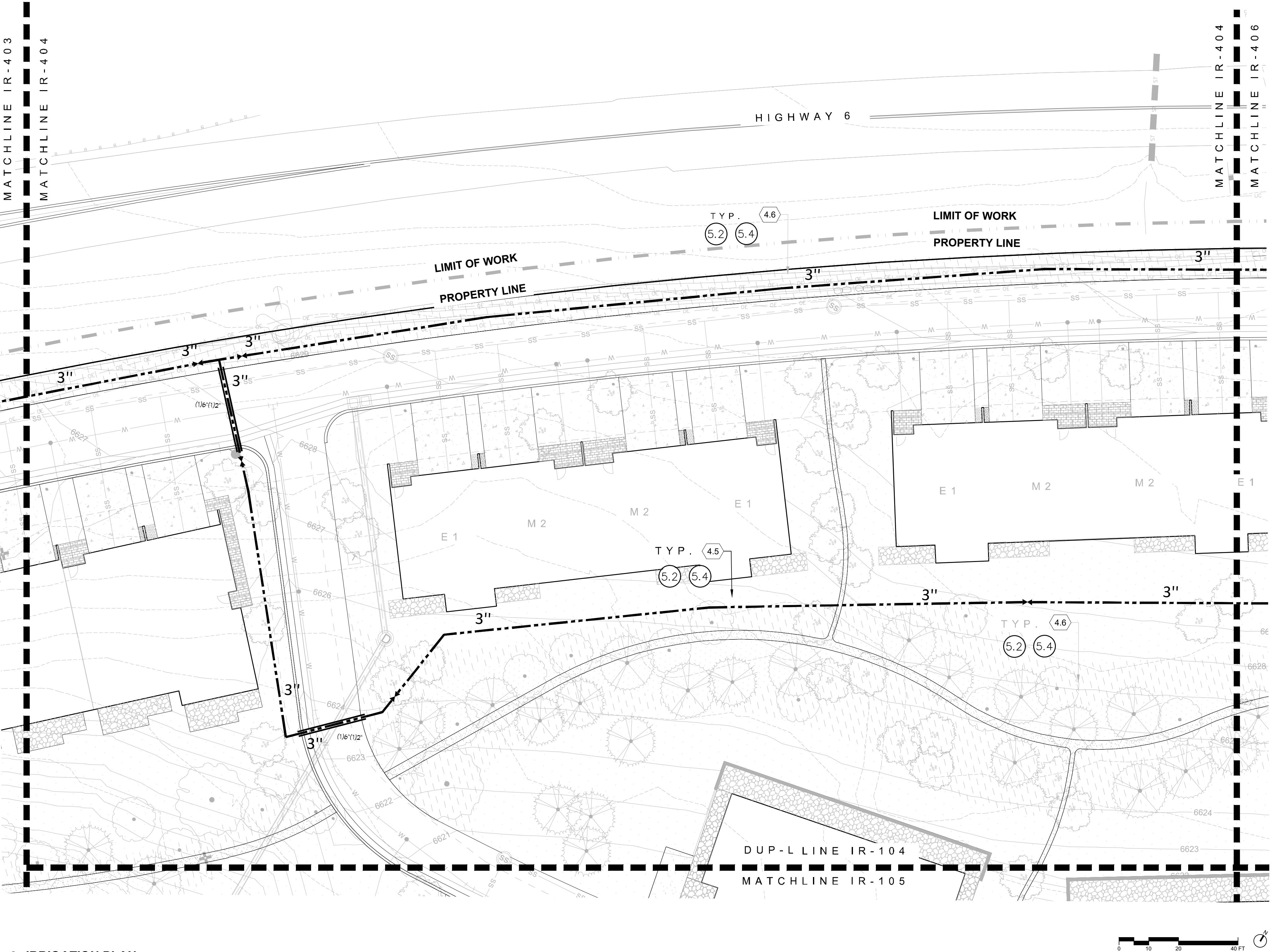
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KEYMAP
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DRAWING SHEET TITLE
**IRRIGATION
PLAN**

IR-403

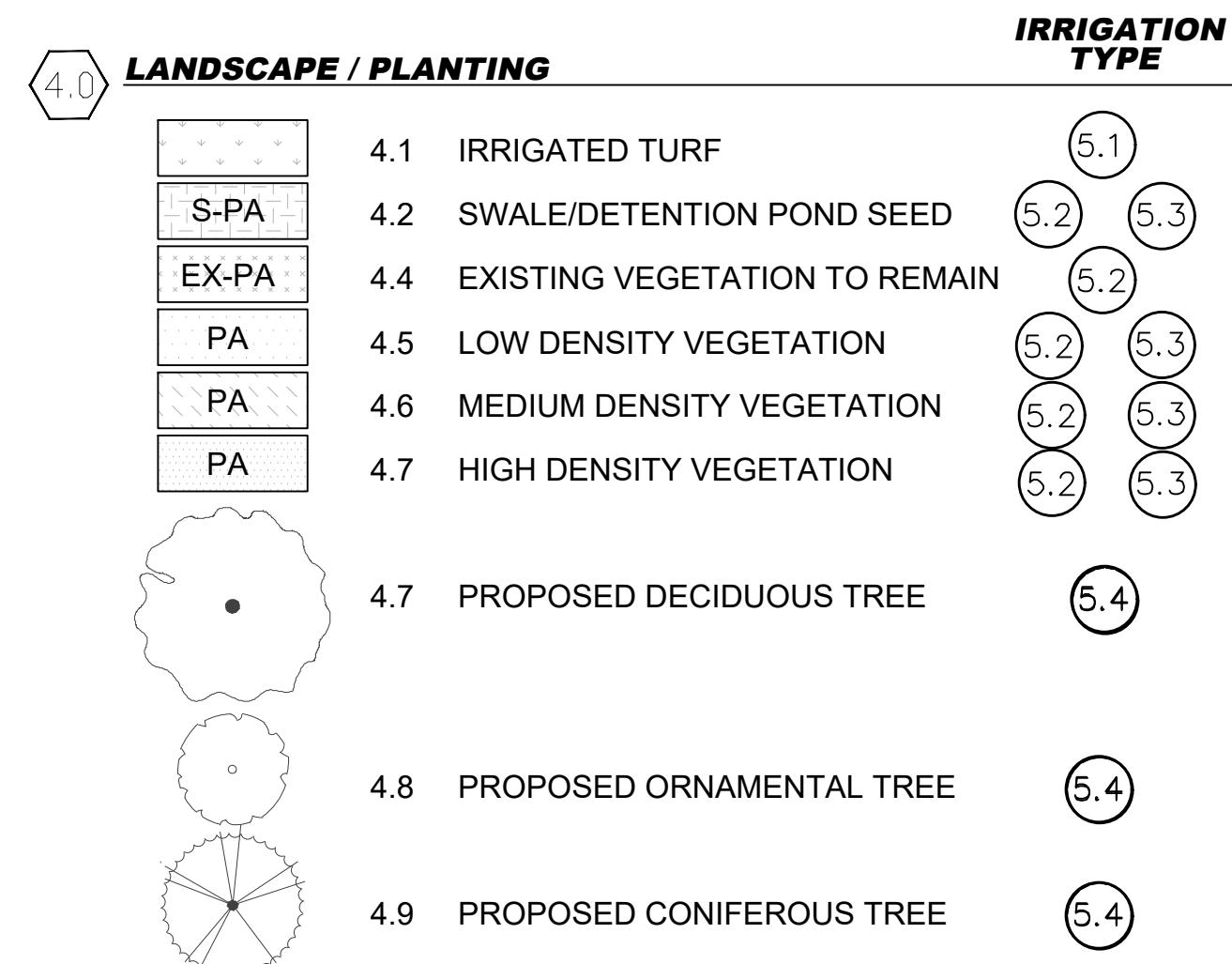


01 IRRIGATION PLAN

1"=20'

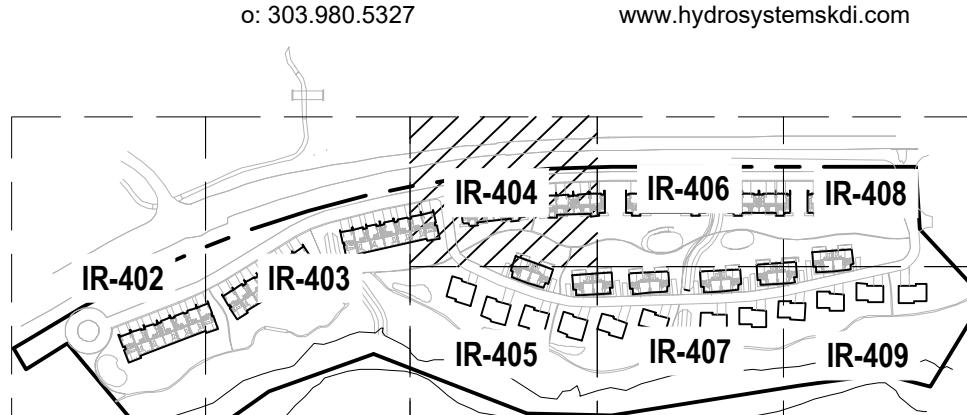


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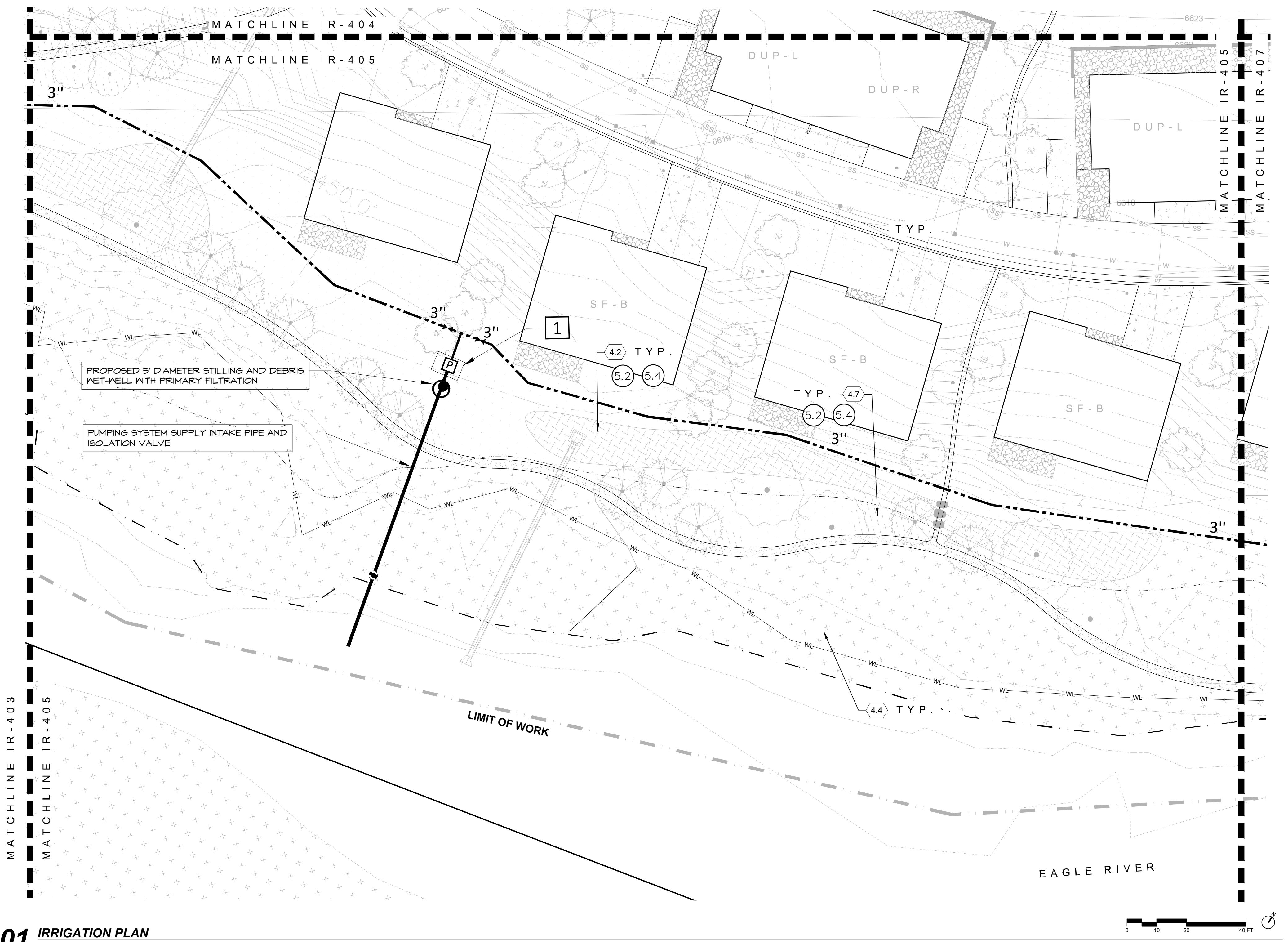


IRRIGATION DEVELOPMENT DESIGN NOTES

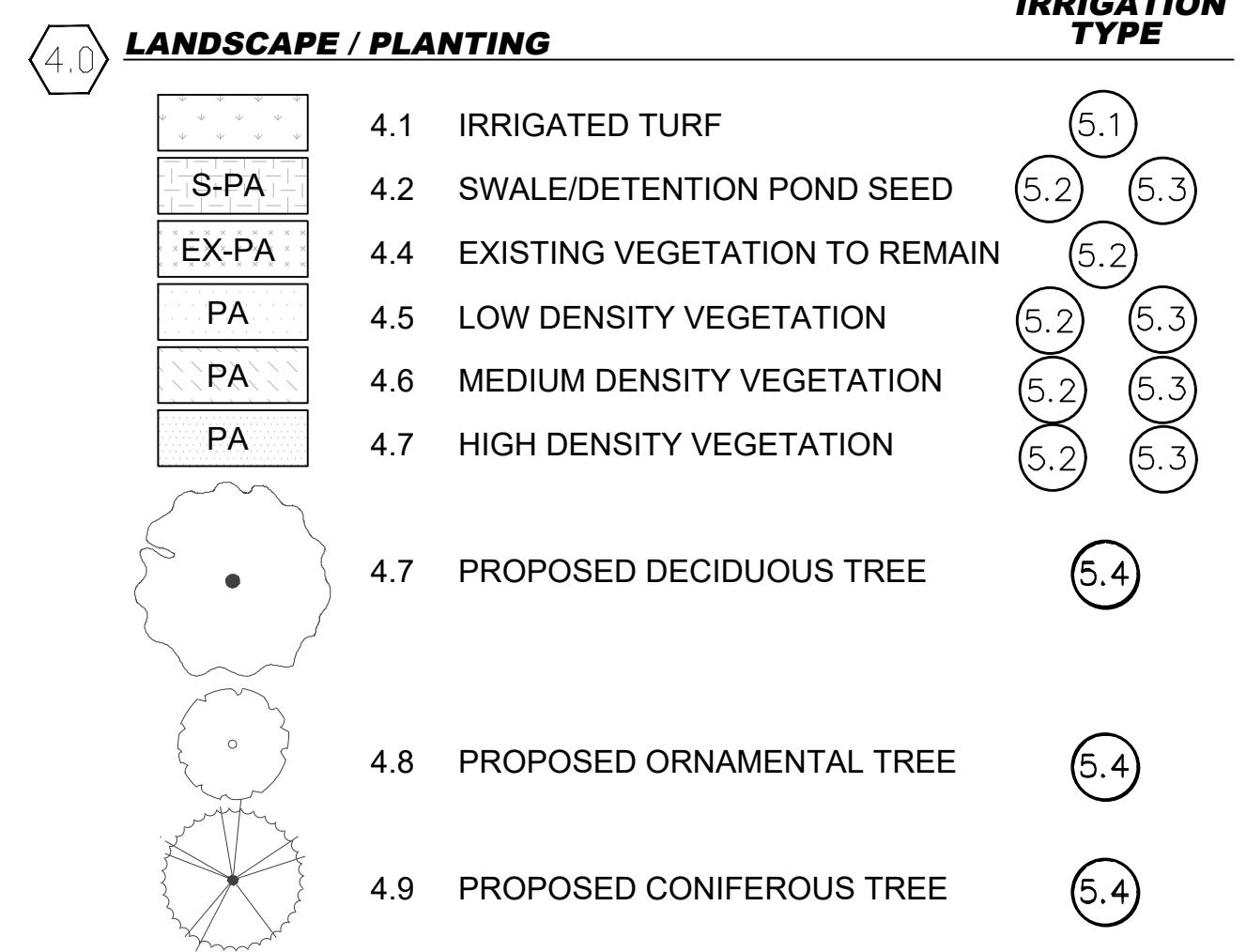
1. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN A SIX NIGHT, SIX HOUR PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 10:00 PM AND 4:00 AM.
2. THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.
3. THE MAXIMUM FLOW RATE REQUIRED FOR THE SITE IS 100 GPM. THE STATIC PRESSURE AVAILABLE AT THE SITE IS 25 PSI.
4. THE IRRIGATION INFORMATION SHOWN ON THESE PLANS IS CONCEPTUAL.
5. IRRIGATION DESIGN APPROACH
 - 5.1. TURF AREAS
 - 5.1.1. SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD TO HEAD COVERAGE.
 - 5.1.2. LARGE TURF AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH GEAR DRIVEN ROTOR HEADS WITH A MINIMUM PRECIPITATION RATE OF .45" PER HOUR FOR A FULL CIRCLE HEAD.
 - 5.2. NATIVE GRASS AREAS
 - 5.2.1. SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE HIGH POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION ROTATOR OR SPRAY NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD TO HEAD COVERAGE.
 - 5.2.2. LARGE NATIVE GRASS AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH HIGH-POP GEAR DRIVEN ROTORS WHERE POSSIBLE AND STANDARD POP-UP GEAR ROTORS FOR SOAKING OVER 45° AND EXISTING NATIVE AREA FROM TOP OF SLOPE.
 - 5.3. SHRUB BED AREAS - BED AREAS WITH PLANT MATERIAL ONE GALLON IN SIZE OR LARGER SHALL BE DRIP IRRIGATED.
 - 5.3.1. TREES AND SHRUBS IN NATIVE AREA SHALL RECEIVE SUBSURFACE TINE AND SHRUB IN-LINE EMMITTER IRRIGATION. THIS WILL SUPPLEMENT THE IRRIGATION WHEN NATIVE GRASS IRRIGATION REDUCED OR SHUT OFF.
6. IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC, WEB BASED AND INCLUDE A WEATHER SENSING DEVICE.



KEYMAP
1"=400



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IRRIGATION DEVELOPMENT DESIGN NOTES

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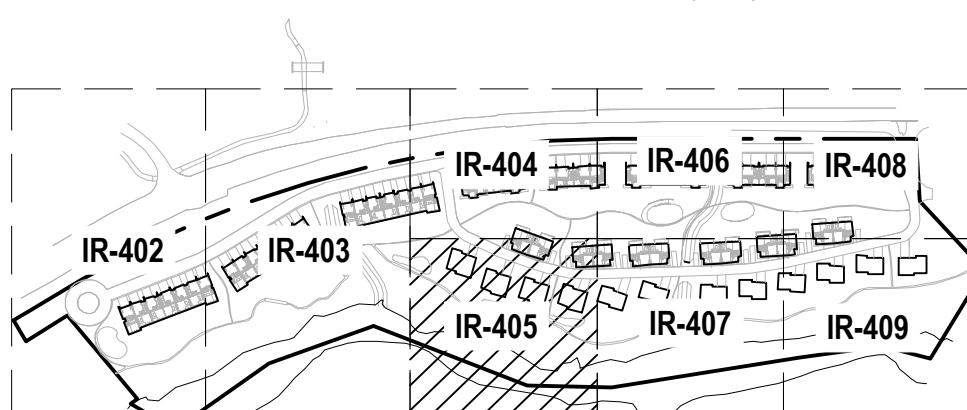
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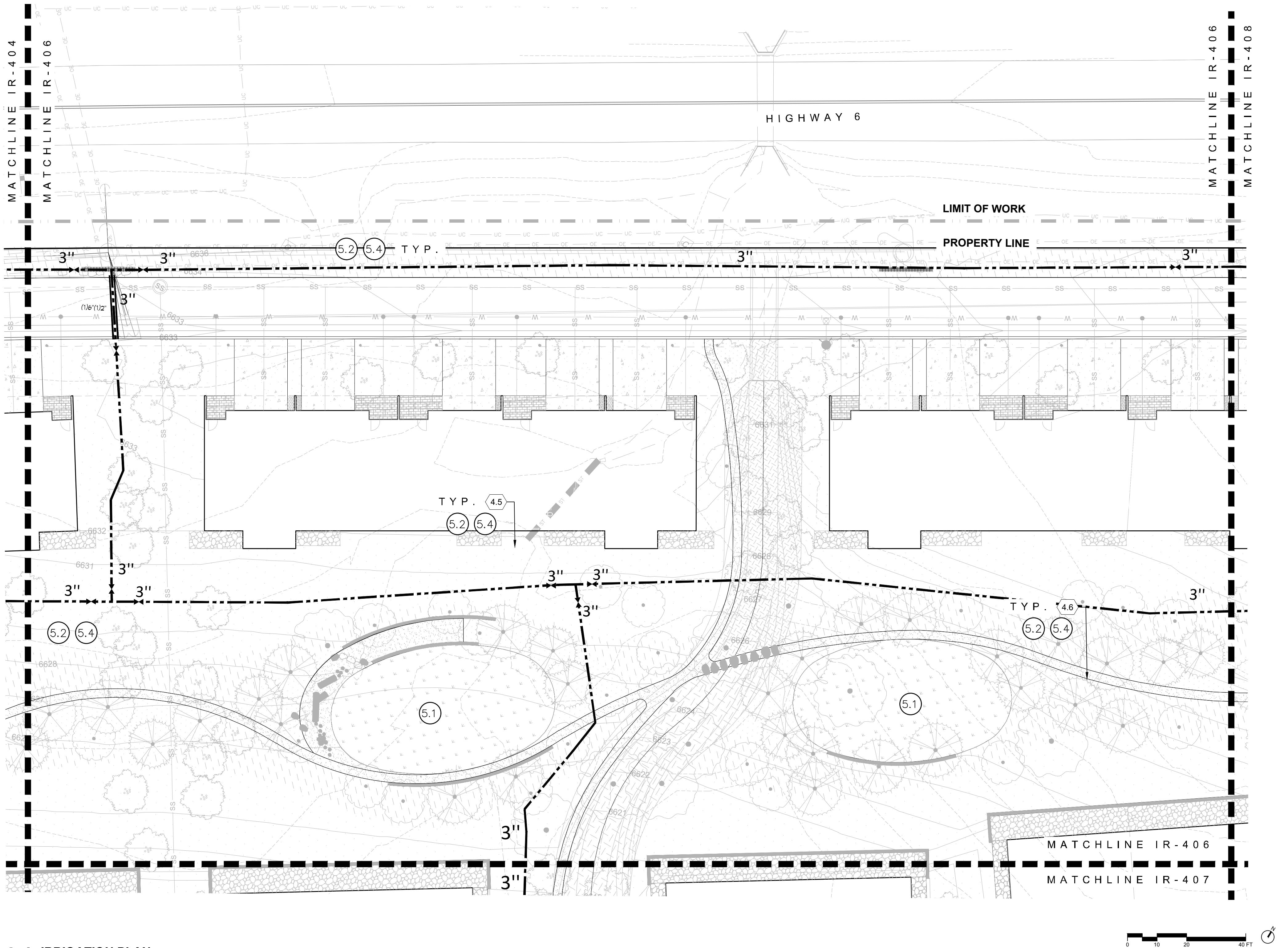
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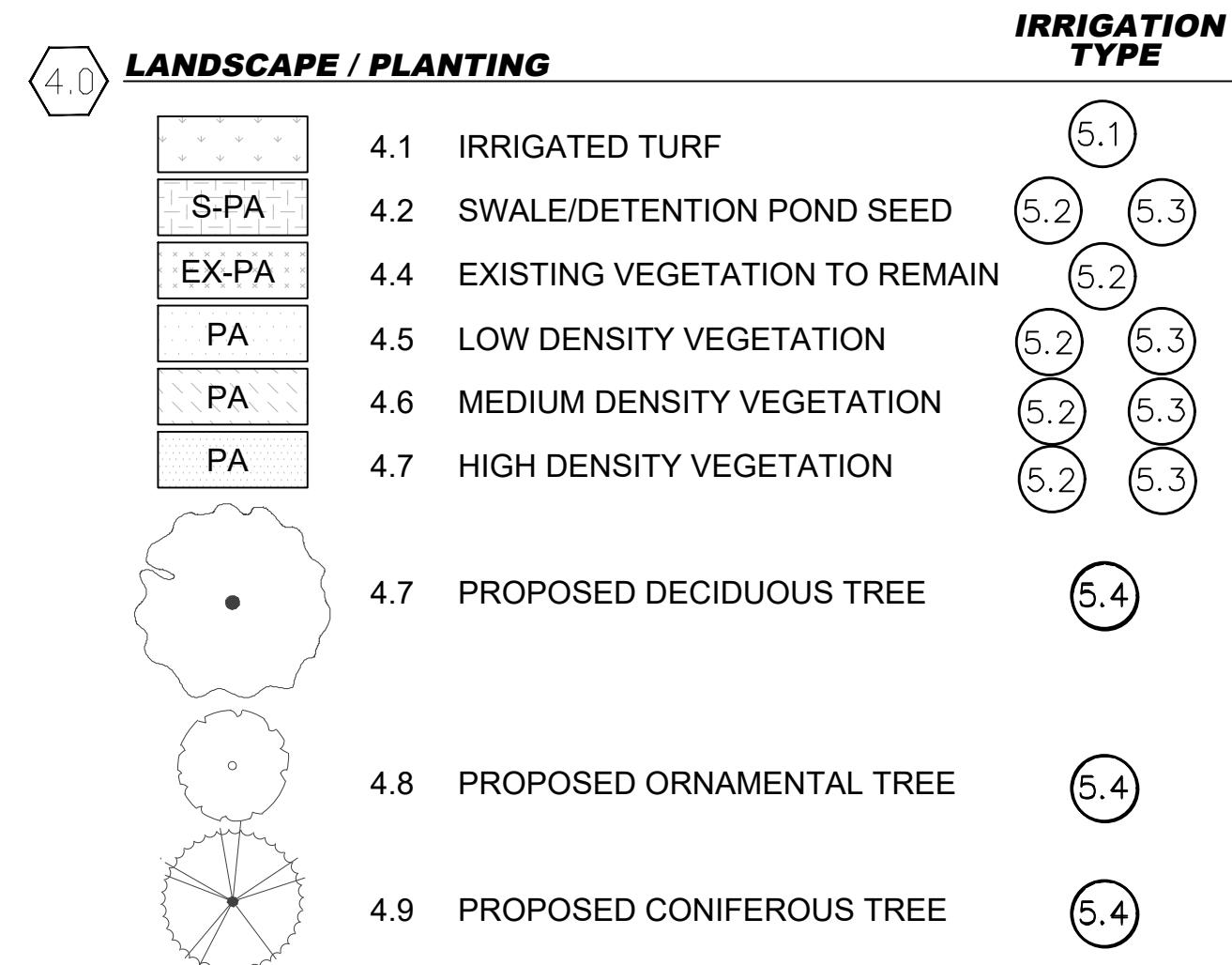


KEYMAP
1=400



01 IRRIGATION PLAN

1' = 20'



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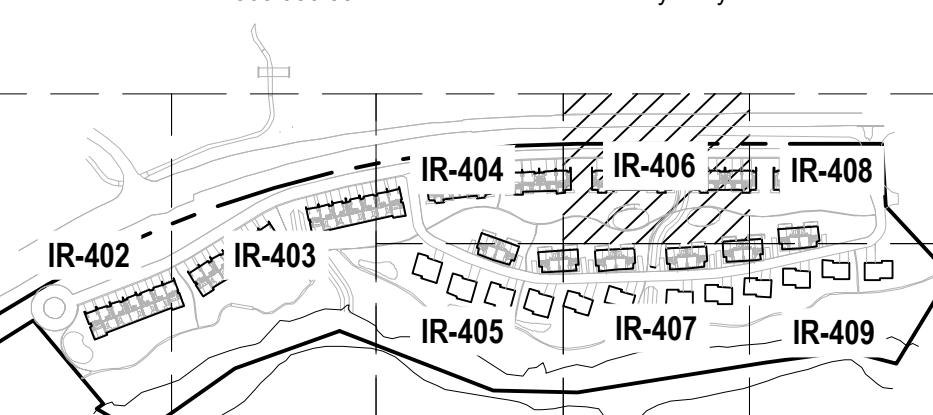
DRAWING SHEET TITLE
IRRIGATION
PLAN

IR-406

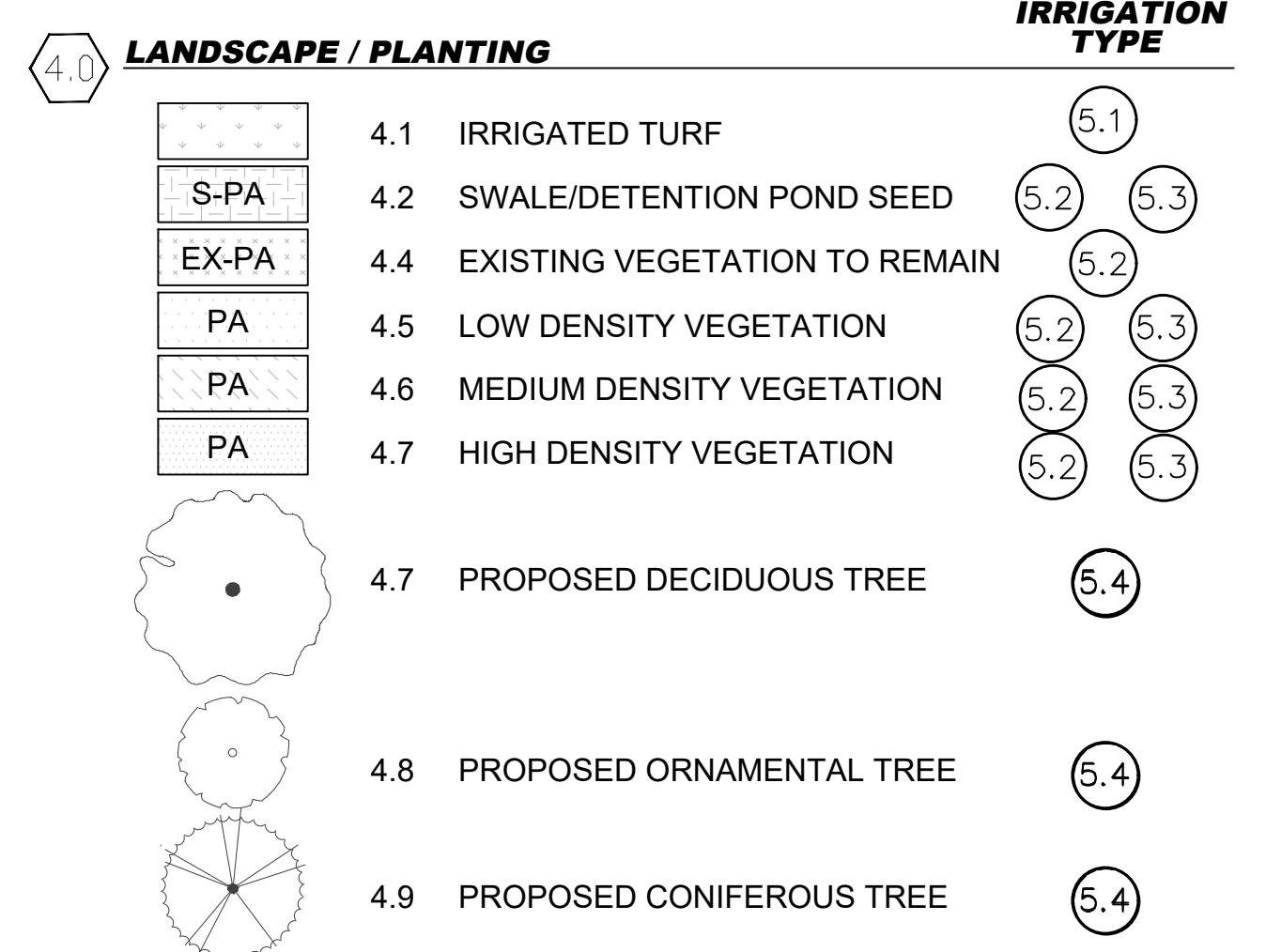
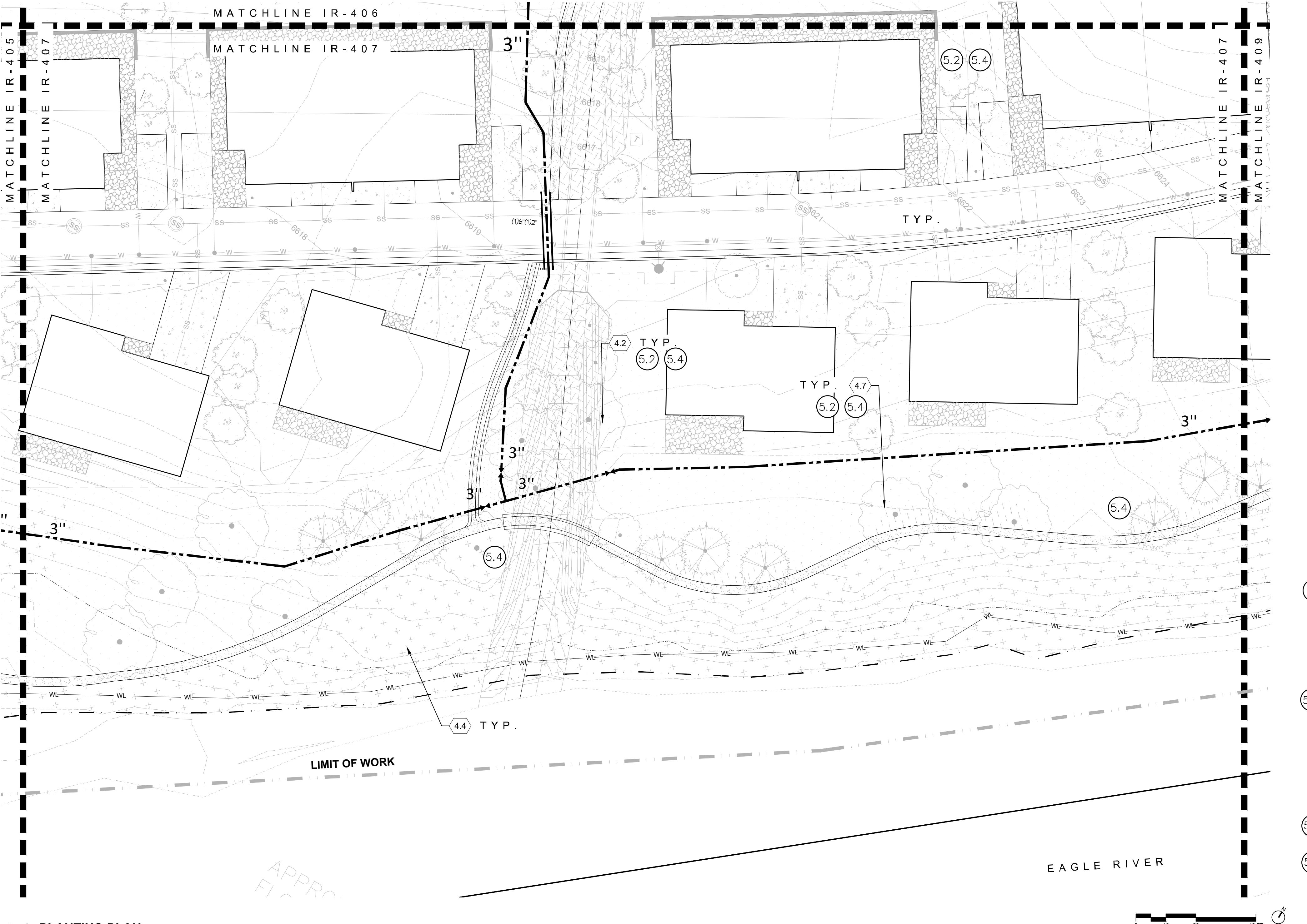


CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES

KDI
HydroSystems
Irrigation Consulting & Water Management
13949 W. Colfax Ave, Suite 260
Lakewood, Colorado 80401
o: 303.980.5327
www.hydrosystems.kdi.com

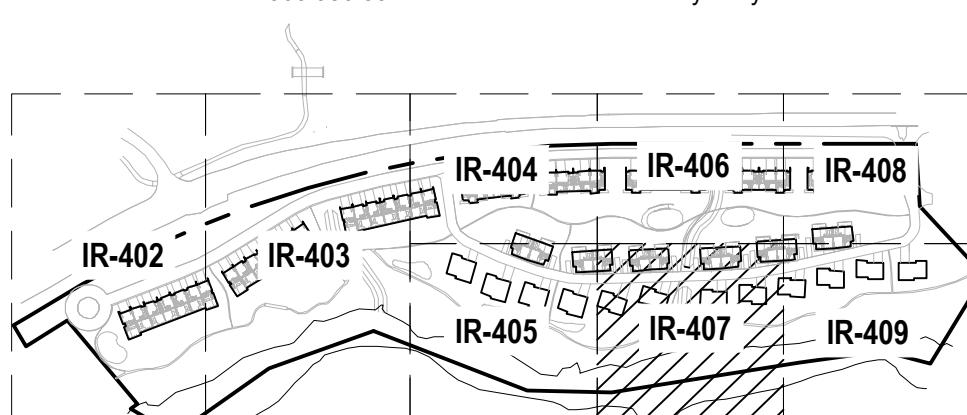


KEYMAP
1' = 400



IRRIGATION DEVELOPMENT DESIGN NOTES

1. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN A SIX NIGHT, SIX HOUR PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 10:00 PM AND 4:00 AM.
2. THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.
3. THE MAXIMUM FLOW RATE REQUIRED FOR THE SITE IS 100 GPM. THE STATIC PRESSURE AVAILABLE AT THE SITE IS 85 PSI.
4. THE IRRIGATION INFORMATION SHOWN ON THESE PLANS IS CONCEPTUAL.
5. IRRIGATION DESIGN APPROACH
 - 5.1. TURF AREAS
 - 5.1.1. SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD TO HEAD COVERAGE.
 - 5.1.2. LARGE TURF AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH GEAR DRIVEN ROTOR HEADS WITH A MINIMUM PRECIPITATION RATE OF .45" PER HOUR FOR A FULL CIRCLE HEAD.
 - 5.2. NATIVE GRASS AREAS
 - 5.2.1. SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE HIGH POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION ROTATOR OR SPRAY NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD TO HEAD COVERAGE.
 - 5.2.2. LARGE NATIVE GRASS AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH HIGH -POP GEAR DRIVEN ROTORS WHERE POSSIBLE AND STANDARD POP-UP GEAR ROTORS FOR SOAKING OVER 45' AND EXISTING NATIVE AREA FROM TOP OF SLOPE.
 - 5.3. SHRUB BED AREAS - BED AREAS WITH PLANT MATERIAL ONE GALLON IN SIZE OR LARGER SHALL BE DRIP IRRIGATED.
 - 5.3.1. TREES AND SHRUBS IN NATIVE AREA SHALL RECEIVE SUBSURFACE TREE AND SHRUB IN-LINE EMMITTER IRRIGATION. THIS WILL SUPPLEMENT THE IRRIGATION WHEN NATIVE GRASS IRRIGATION REDUCED OR SHUT OFF.
6. IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC, WEB BASED AND INCLUDE A WEATHER SENSING DEVICE.



GENERAL NOTES

- PHOTOMETRIC PLAN SUBMITTED PURSUANT TO CITY OF EAGLE APPLICABLE CODES, INCLUDING CODE OF ORDINANCES CHAPTER 4.13 OUTDOOR LIGHTING.
- ALL LIGHT SOURCES TO BE 3000K CCT.
- ALL LIGHT SOURCES SHALL BE SHIELDED SO THAT LIGHT WILL NOT SHINE INTO ADJACENT PROPERTIES.
- ALL EXTERIOR LIGHTING SHALL BE INSTALLED IN SUCH A MANNER THAT THE LIGHT SOURCE WILL BE SUFFICIENTLY OBSCURED TO PREVENT EXCESSIVE GLARE ONTO PUBLIC STREETS.
- PHOTOMETRIC HORIZONTAL FC POINTS INDICATED ARE BASED ON A 10'-0" SPACING AND CALCULATED AT FINISHED GRADE.
- ALL LIGHT FIXTURES ON PROJECT TO BE TYPE EB1 BOLLARD.

LEGEND
◆ BOLLARD - DIRECTIONAL

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DEVELOPMENT
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ISSUE DATE
01.13.2025

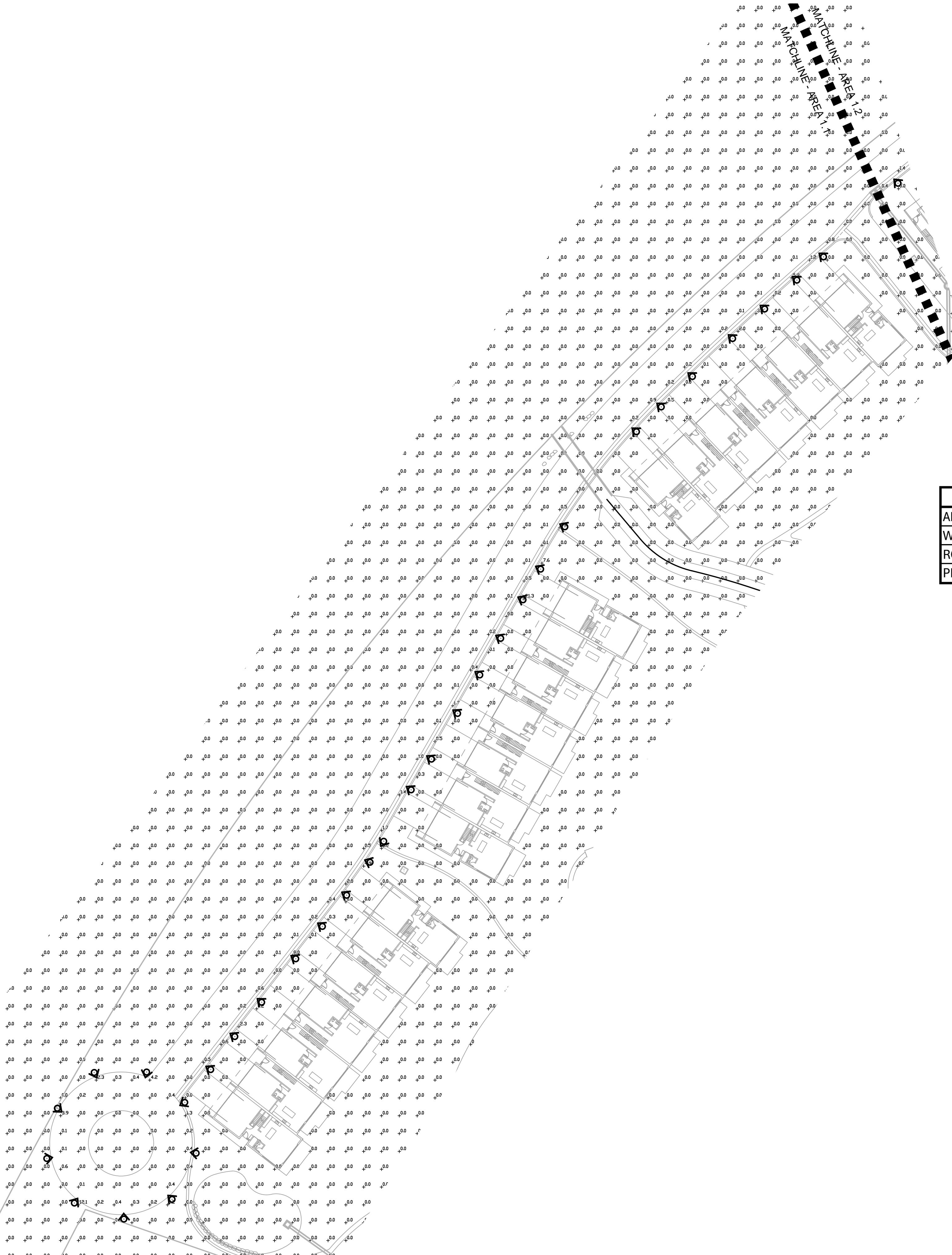
CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE

Area 1.1
Lighting Plan

PH-001



1 AREA 1.1 LIGHTING PLAN

SCALE: 1" = 40'

GENERAL NOTES

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LIGHTING PHOTOMETRIC STATS

AREA	AVERAGE	MAX	MIN	MAX/MIN	AVG/MIN
WHOLE SITE	0.0 FC	26.8 FC	0.0 FC	N/A	N/A
ROADWAY	0.1 FC	26.8 FC	0.0 FC	N/A	N/A
PROPERTY LINE	0.0 FC	0.0 FC	0.0 FC	N/A	N/A

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REVISION HISTORY

DRAWING SHEET TITLE

Area 1.2
Lighting Plan

PH-002

GENERAL NOTES

- PHOTOMETRIC PLAN SUBMITTED PURSUANT TO CITY OF EAGLE APPLICABLE CODES, INCLUDING CODE OF ORDINANCES CHAPTER 4.13 OUTDOOR LIGHTING. 17500 US-6
- ALL LIGHT SOURCES TO BE 3000K CCT.
- ALL LIGHT SOURCES SHALL BE SHIELDED SO THAT LIGHT WILL NOT SHINE ONTO ADJACENT PROPERTIES.
- ALL EXTERIOR LIGHTING SHALL BE INSTALLED IN SUCH A MANNER THAT THE LIGHT SOURCE WILL BE SUFFICIENTLY OBSCURED TO PREVENT EXCESSIVE GLARE ONTO PUBLIC STREETS.
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LEGEND
◆ BOLLARD - DIRECTIONAL

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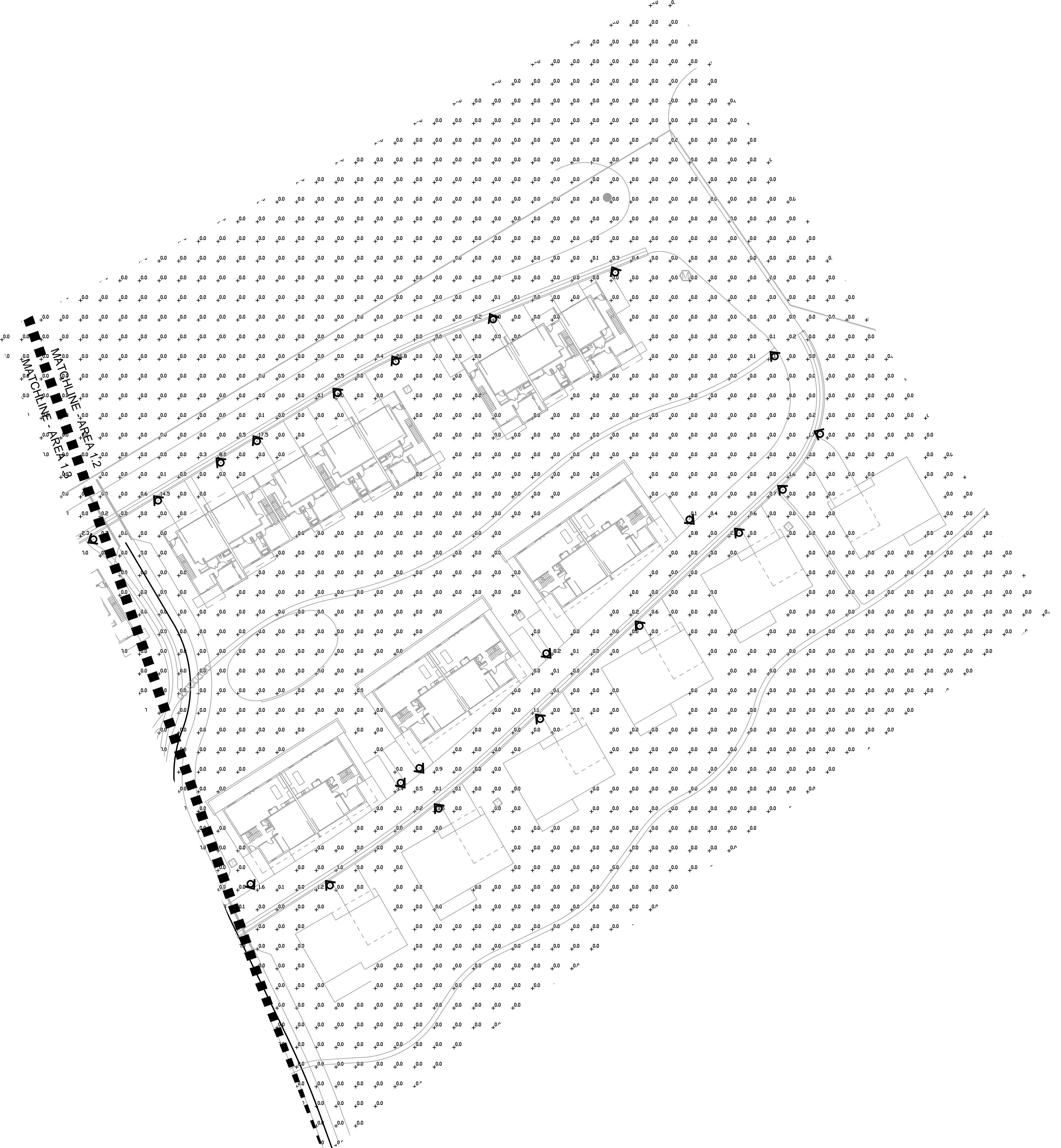
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CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE
Area 1.3
Lighting Plan

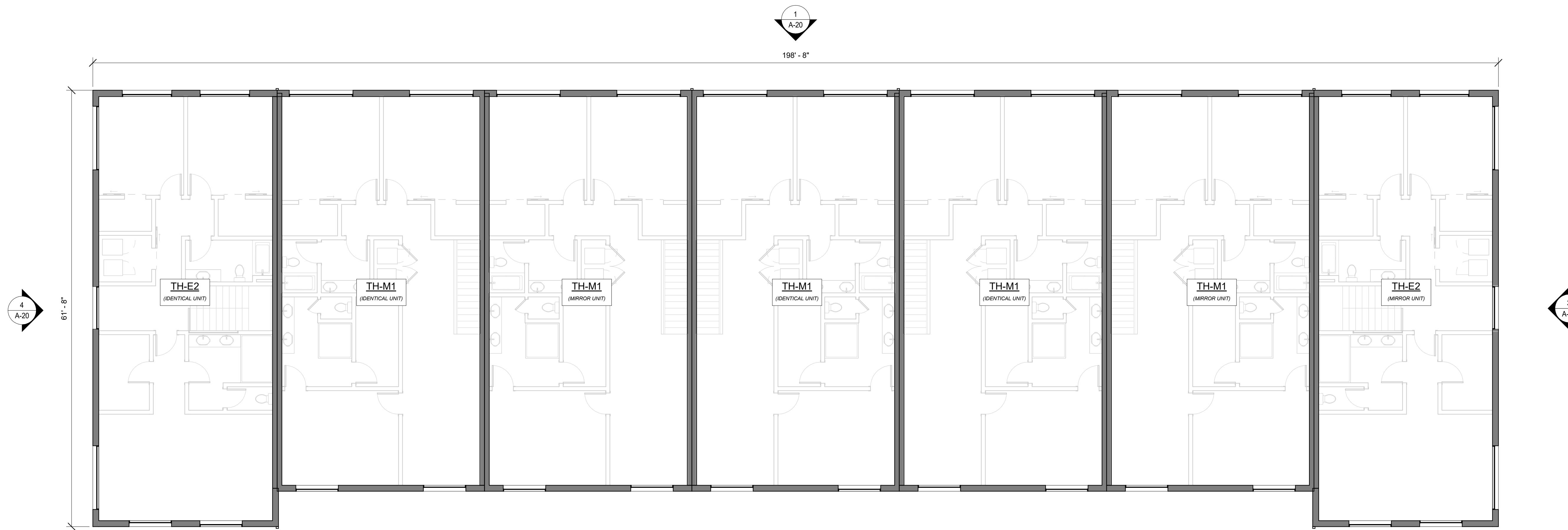
PH-003



1 AREA 1.3 LIGHTING PLAN

SCALE: 1" = 40'

LIGHTING PHOTOMETRIC STATS					
AREA	AVERAGE	MAX	MIN	MAX/MIN	AVG/MIN
WHOLE SITE	0.0 FC	26.8 FC	0.0 FC	N/A	N/A
ROADWAY	0.1 FC	26.8 FC	0.0 FC	N/A	N/A
PROPERTY LINE	0.0 FC	0.0 FC	0.0 FC	N/A	N/A



2 LEVEL 2
SCALE: 1/8" = 1'-0"



1 LEVEL 1
SCALE: 1/8" = 1'-0"

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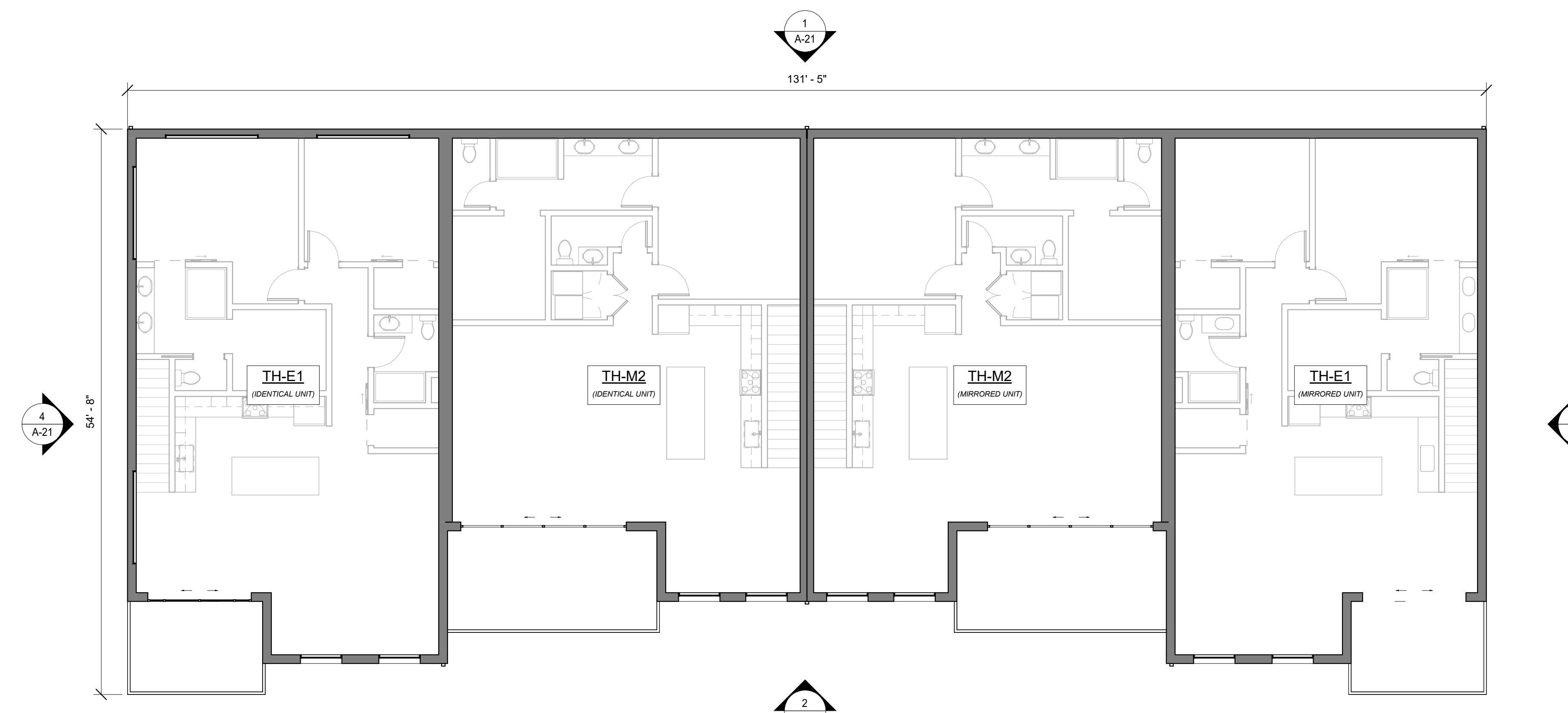
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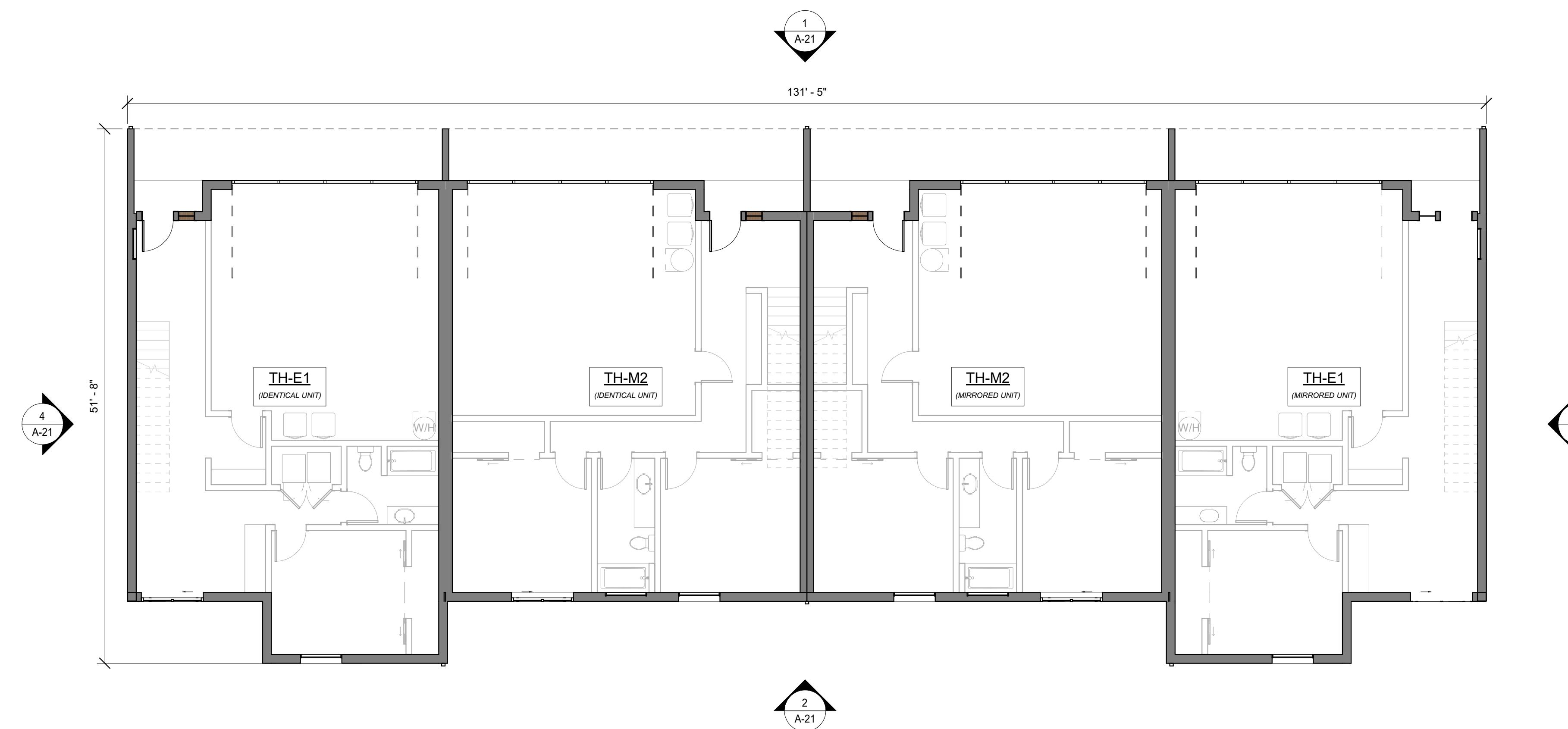
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DRAWING SHEET TITLE
**TH-B OVERALL
PLANS**



2 LEVEL 2

SCALE: 1/8" = 1'-0"



1 LEVEL 1

SCALE: 1/8" = 1'-0"

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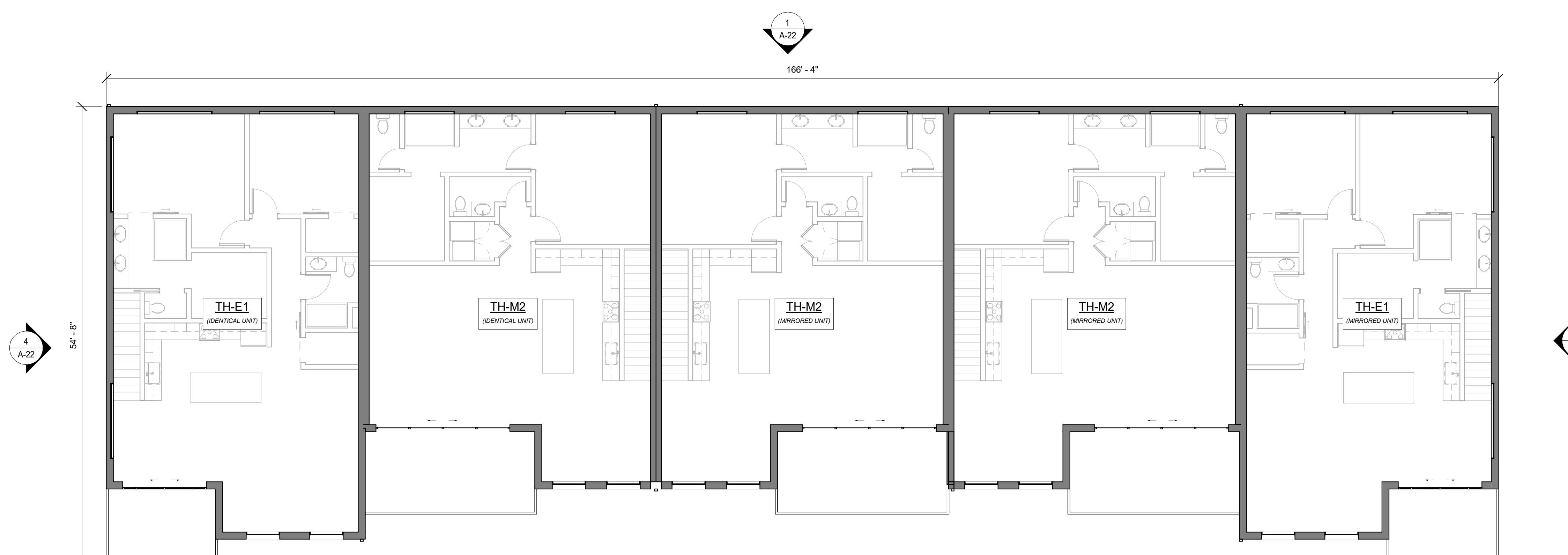
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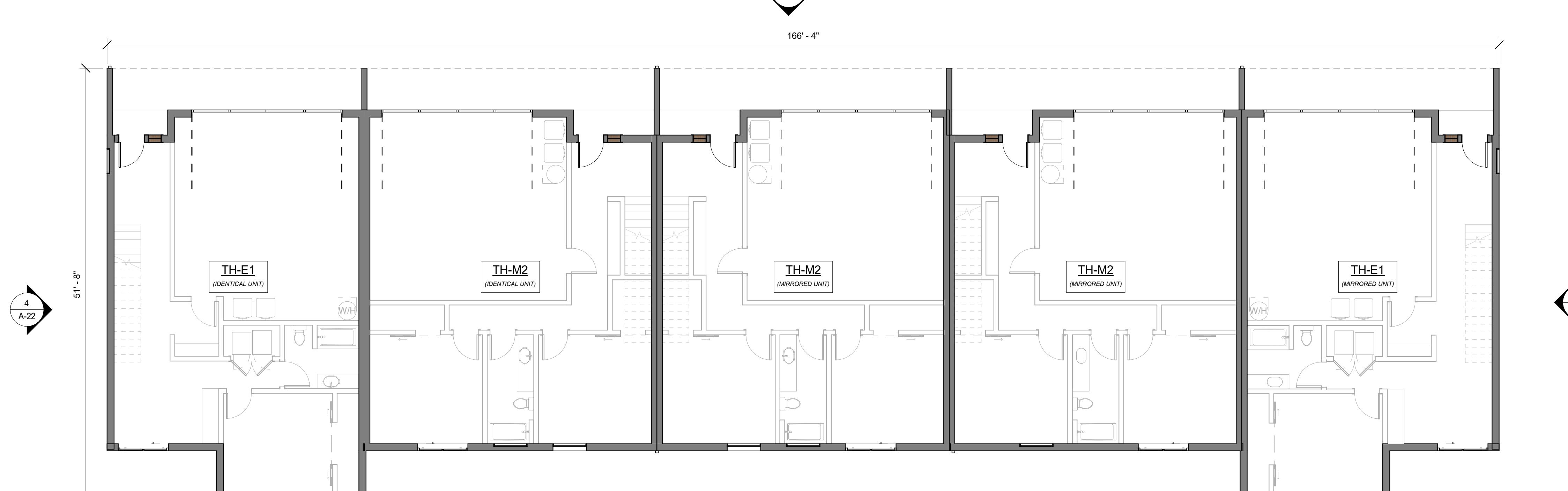
DRAWING SHEET TITLE
**TH-C OVERALL
PLANS**

A-12



2 LEVEL 2

SCALE: 1/8" = 1'-0"



1 LEVEL 1

SCALE: 1/8" = 1'-0"

2
A-22

1
A-22

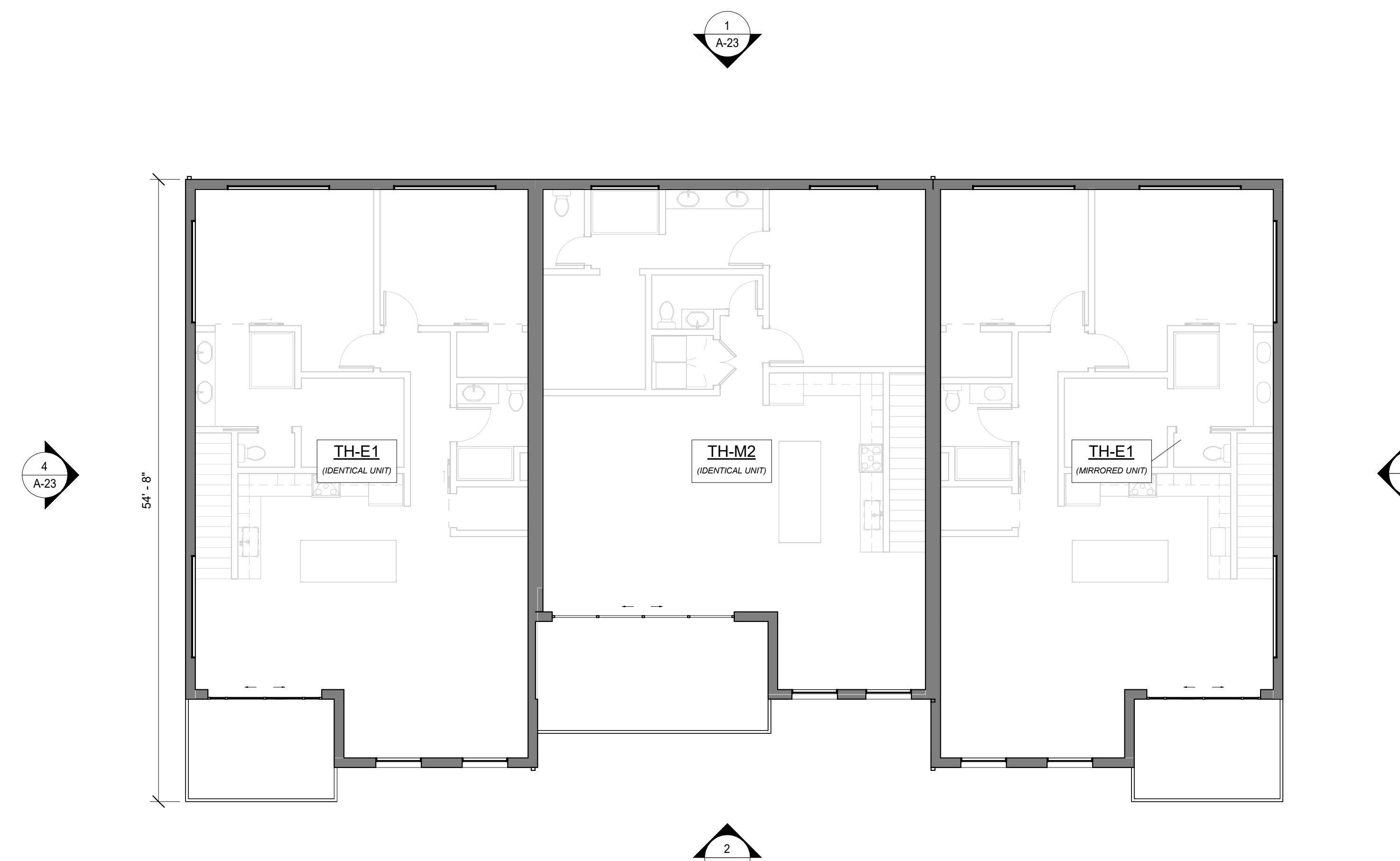
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A-22

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A-22

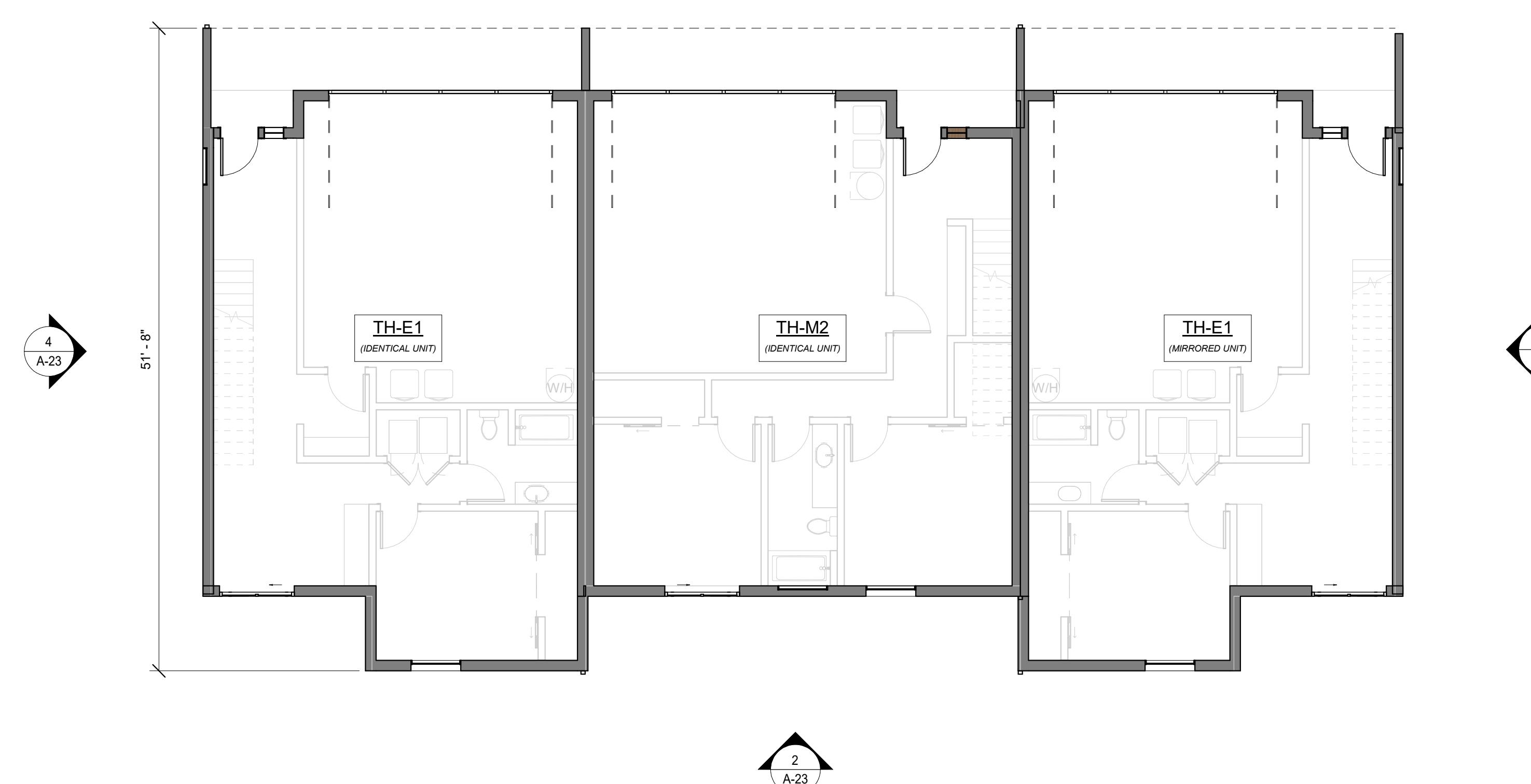
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3
A-22

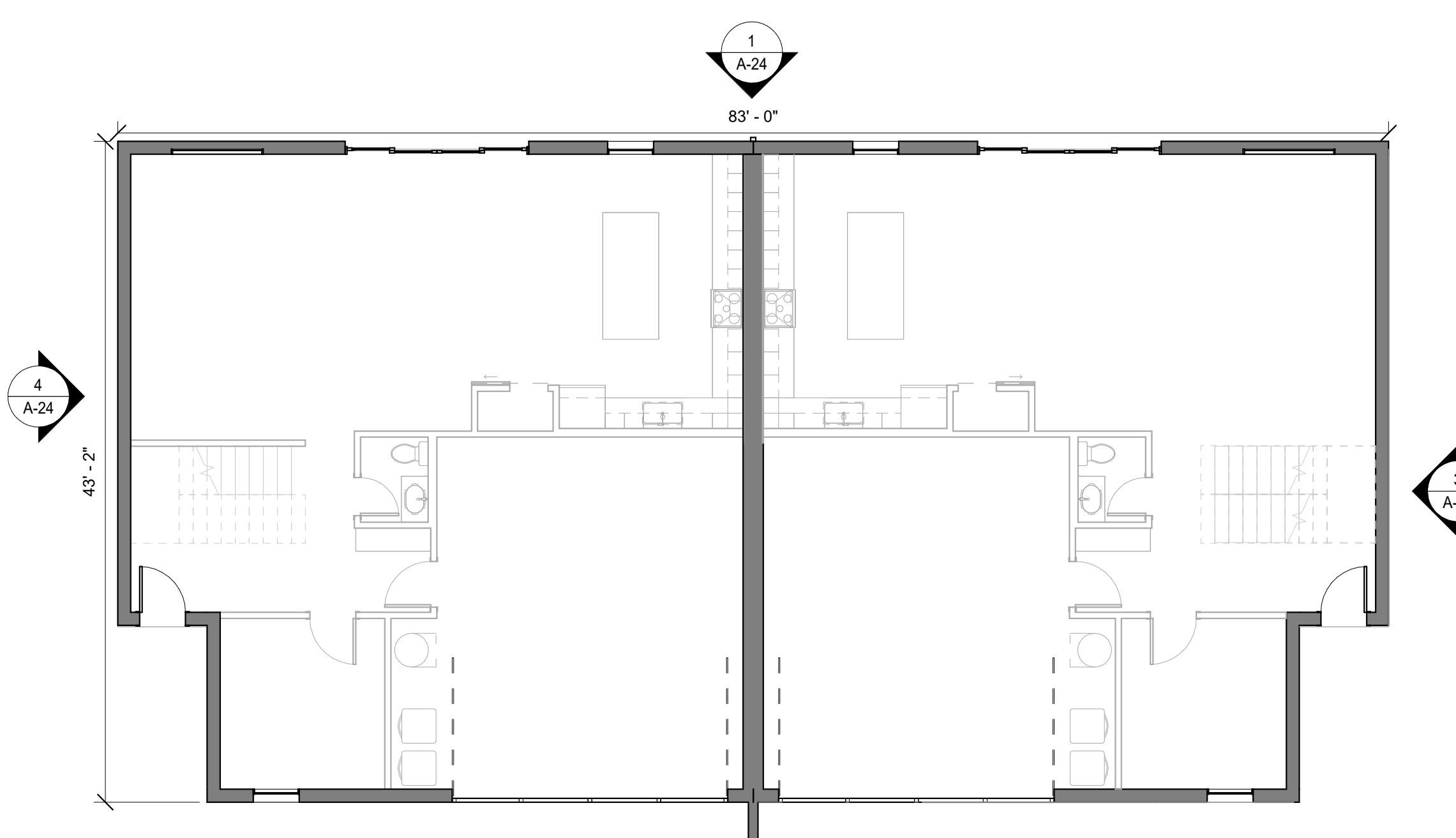
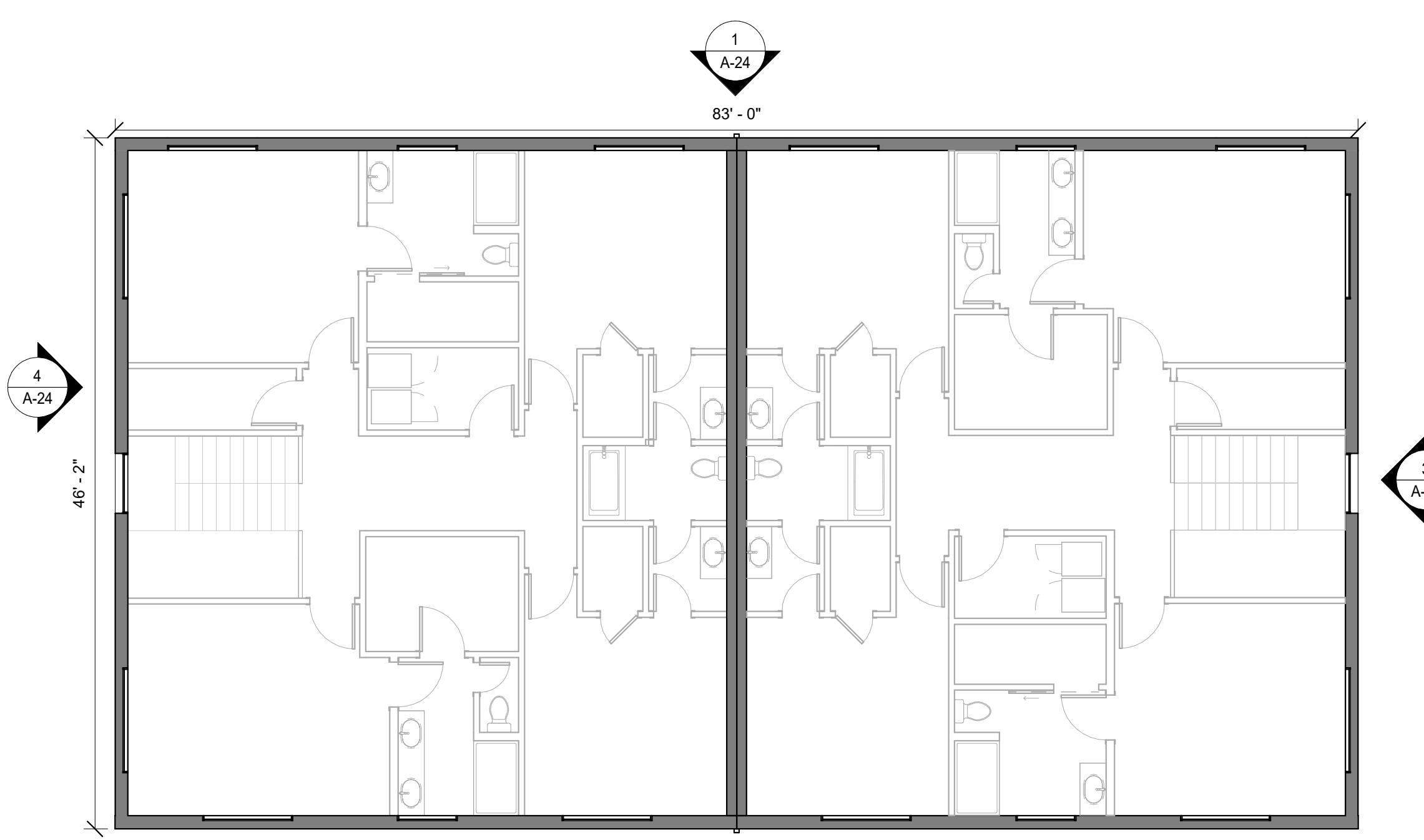
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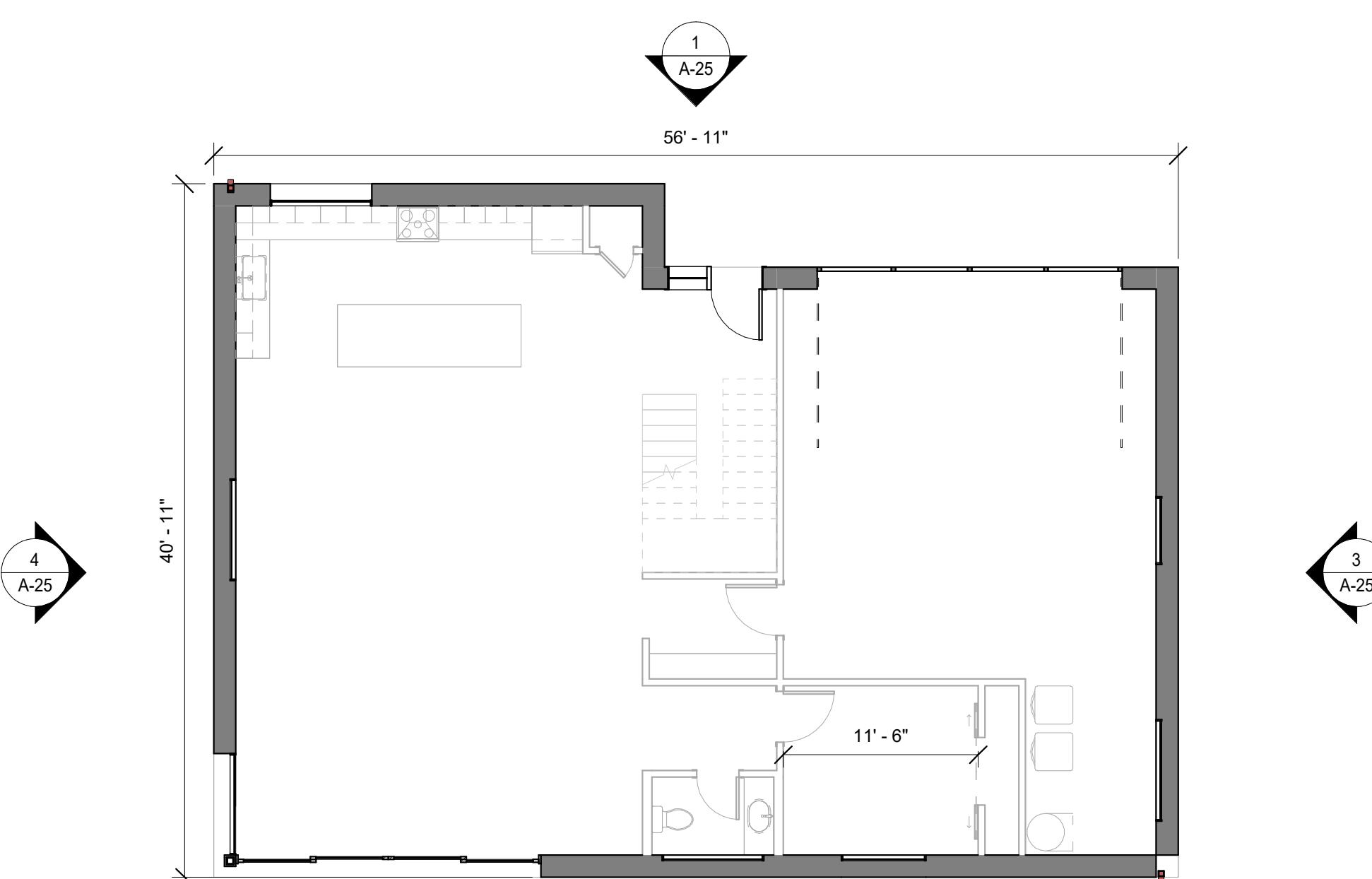
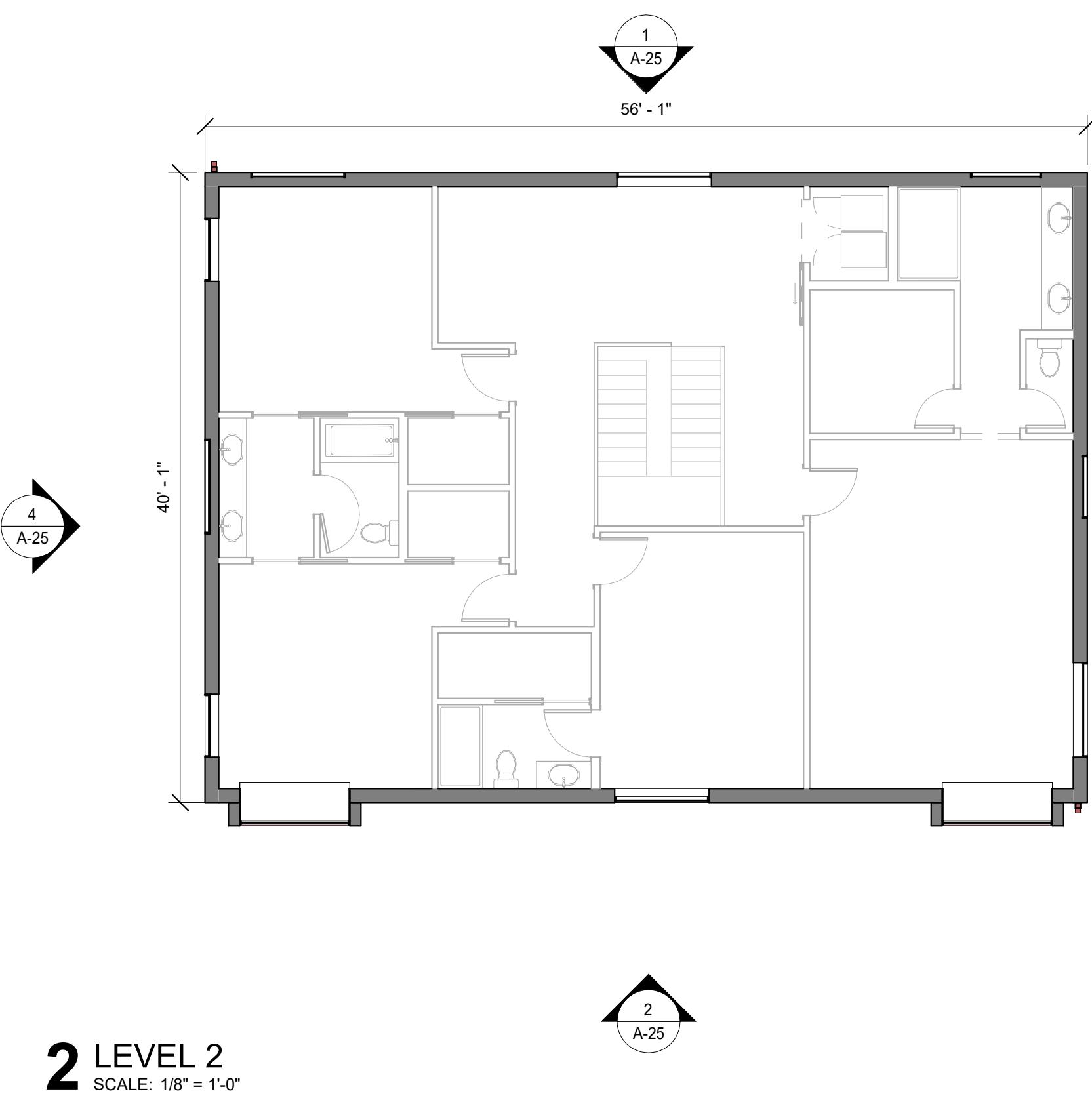


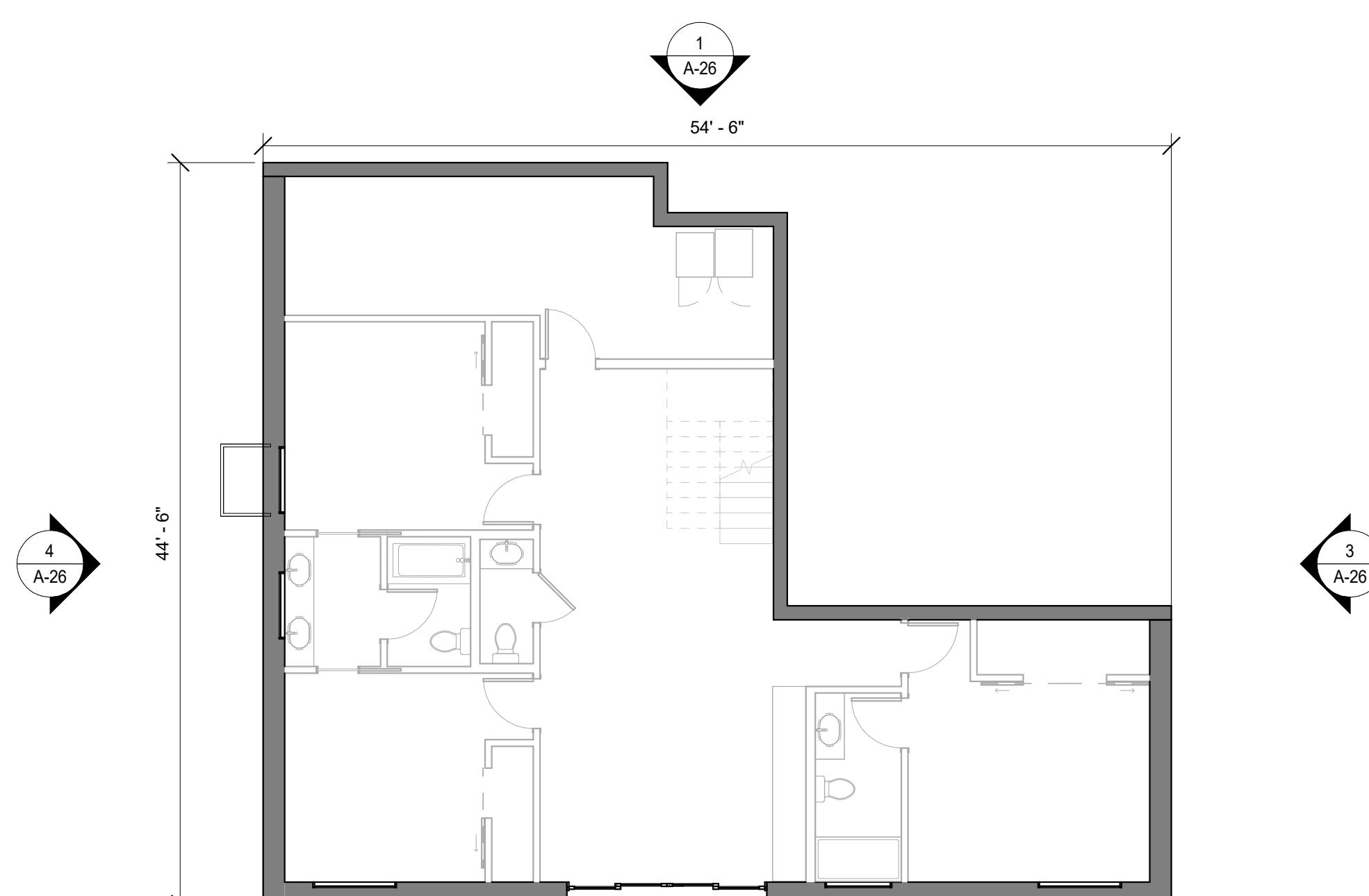
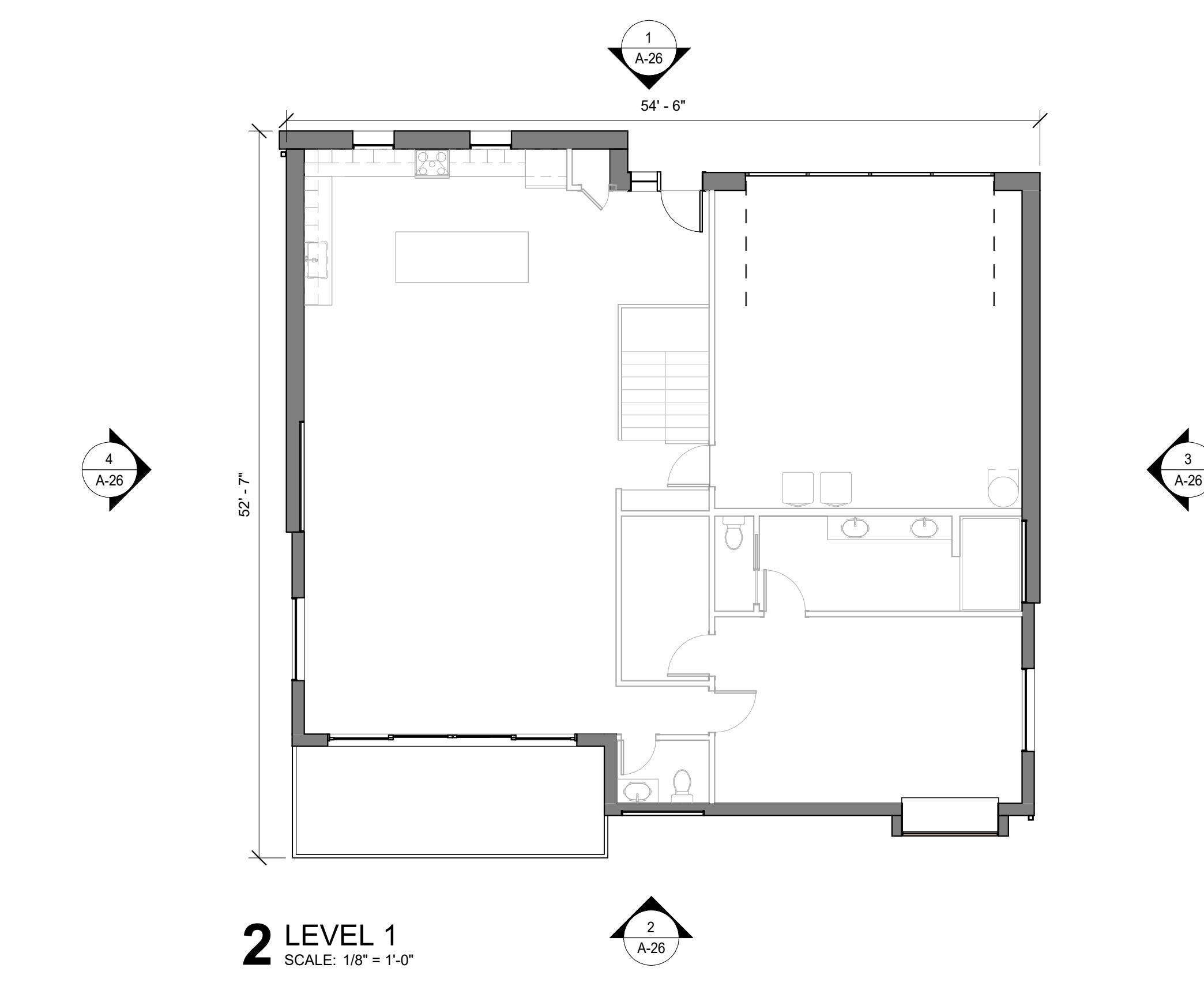
2 LEVEL 2
SCALE: 1/8" = 1'-0"



1 LEVEL 1
SCALE: 1/8" = 1'-0"

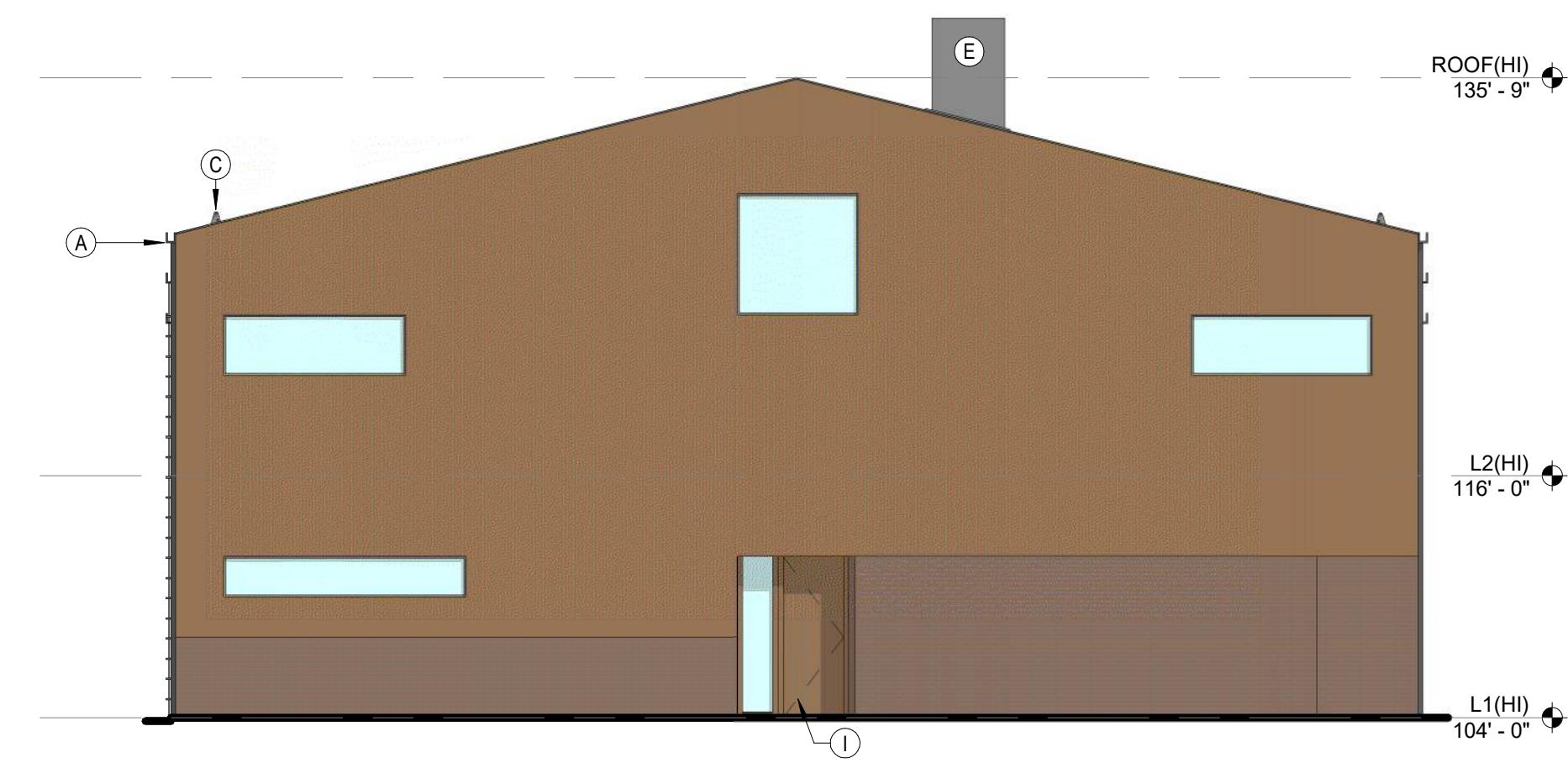






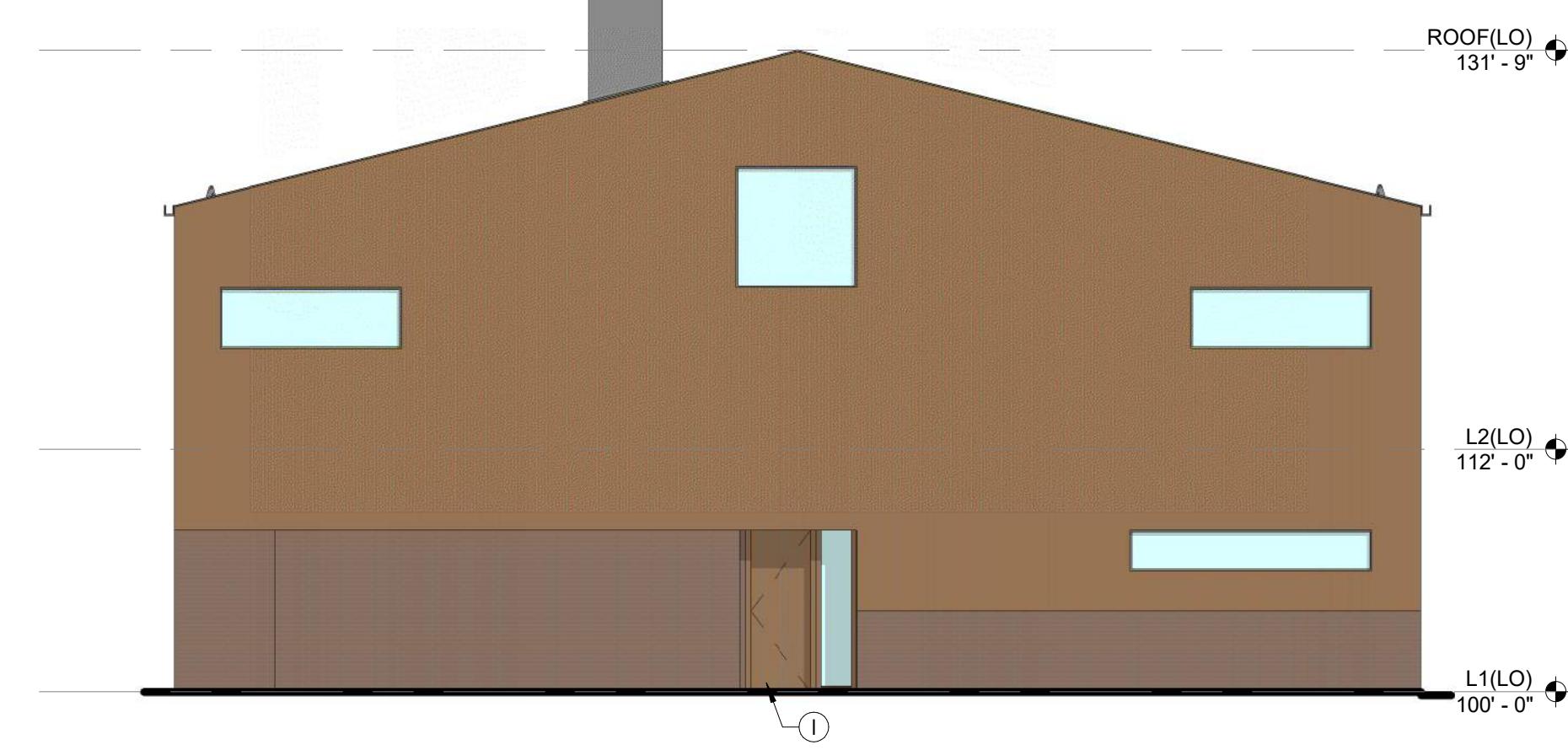
GENERAL NOTES

1. GROUND LEVEL FFE WILL STEP TO ACCOMMODATE GRADE.
2. THIS STEP AVERAGES 2'-0" BUT DOES VARY DEPENDING ON GRADE AT SPECIFIC BUILDING LOCATIONS.
3. RE: OVERALL GRADING PLAN FOR FFEs SPECIFIC TO INDIVIDUAL BUILDINGS



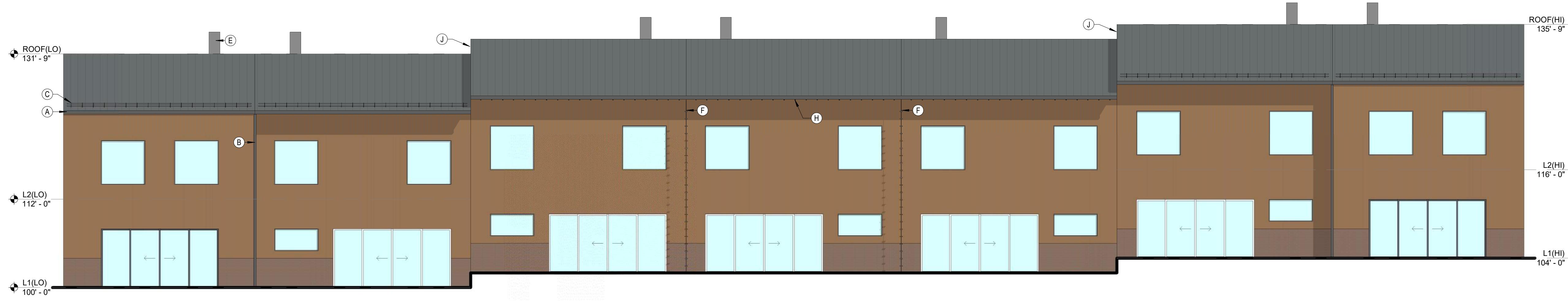
3 EAST ELEVATION

SCALE: 1/8" = 1'-0"



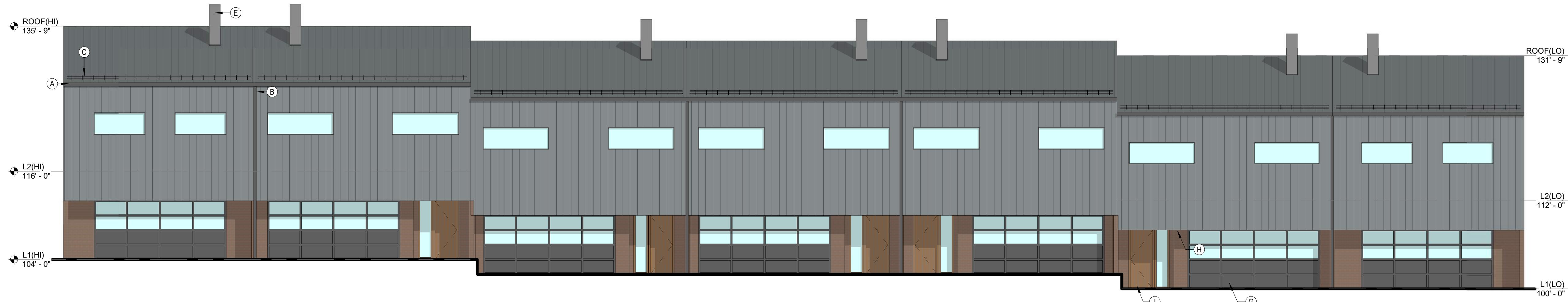
4 WEST ELEVATION

SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

SHEET NOTES

- A GUTTER, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- B DOWNSPOUT, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- C SNOW GUARD, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- E AIR SOURCE HEAT PUMP, EQUIPMENT CONCEALED IN A PREFABRICATED METAL ENCLOSURE, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- F RAIN CHAIN DOWNSPOUT
- G GARAGE DOORS, BOTTOM PANELS TO BE OPAQUE AND FINISHED SIM. TO OTHER METAL TRIM. UPPER PANELS TO BE GLASS
- H SOFFIT TO BE FINISHED IN WOOD PANELS SIMILAR TO FAÇADE
- I SOLID WOOD AT MAIN UNIT ENTRY DOOR
- J METAL TRIM, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS

FACADE MATERIALS

METAL PANEL



LOCATION: ROOF AND NORTH FAÇADE
FINISH: STANDING SEAM, MATTE GREY (BONDERIZED)
INTENDED TO WEATHER SLIGHTLY AS IT AGES.

WOOD SIDING



LOCATION: SOUTH, EAST AND WEST FAÇADES
FINISH: VERTICAL WOOD PANELING, CLEAR FINISH
DOUGLAS FIR (OR SIM.) WITH VARIATIONS IN TONE OR
GRAIN ACROSS INDIVIDUAL BOARDS.

BRICK MASONRY



LOCATION: WHERE EXTERIOR WALLS CONTACT THE
GROUND WHERE DURABILITY IS REQUIRED
FINISH: RECLAIMED BRICK, DEPENDING ON RECLAIMED
STOCK AVAILABLE, THE TONE OR SHAPE OF BRICKS USED
COULD VARY AT DIFFERENT BUILDINGS

PROJECT
**RED MOUNTAIN
RANCH**

PARCEL 1
17500 US-6
EAGLE, CO 81631

ARCHITECT/
GENERAL CONTRACTOR
tres birds

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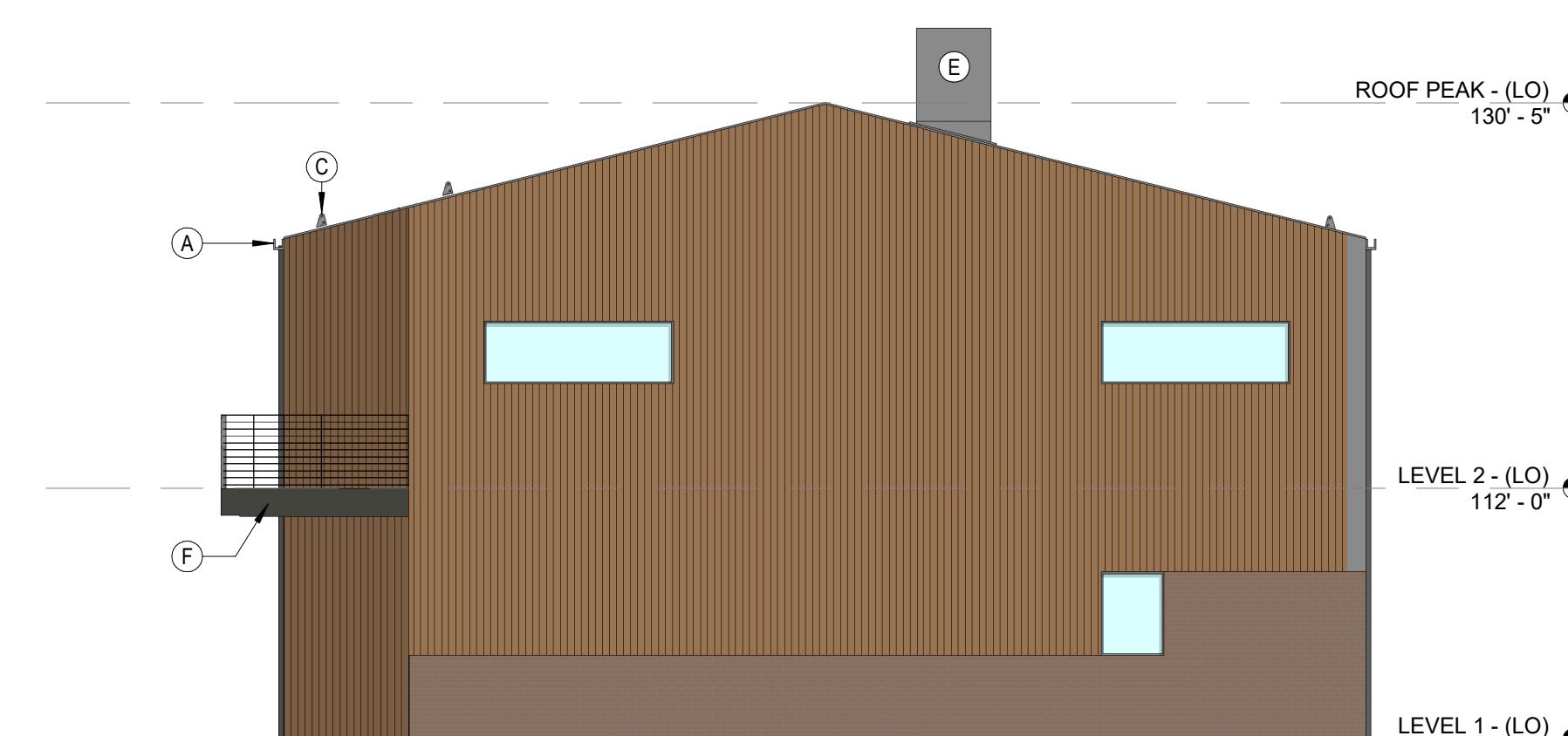
REVISION HISTORY

DRAWING SHEET TITLE
**TH-B
ELEVATIONS**

A-21

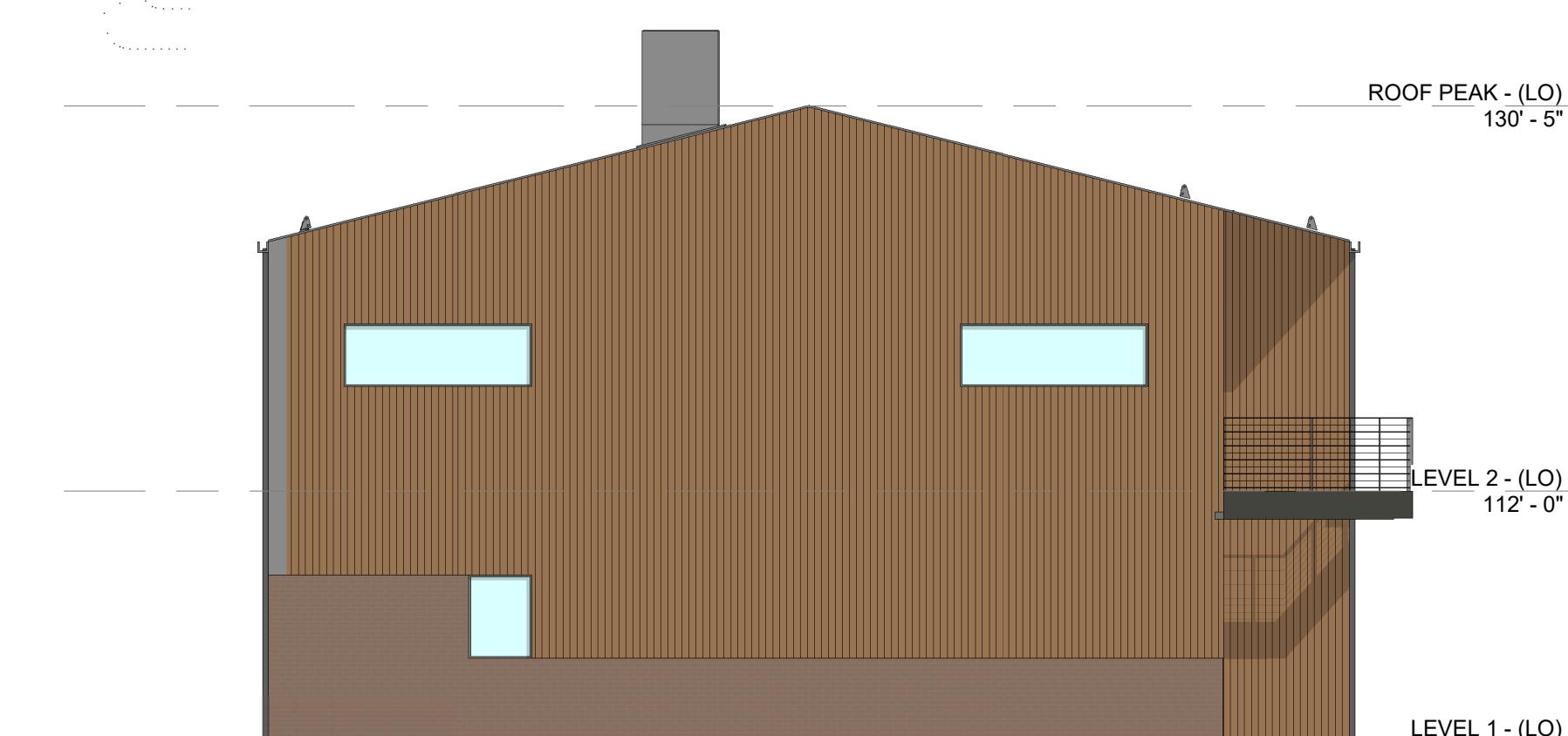
GENERAL NOTES

- RE: OVERALL GRADING PLAN FOR FFE'S SPECIFIC TO INDIVIDUAL BUILDINGS



3 EAST ELEVATION

SCALE: 1/8" = 1'-0"



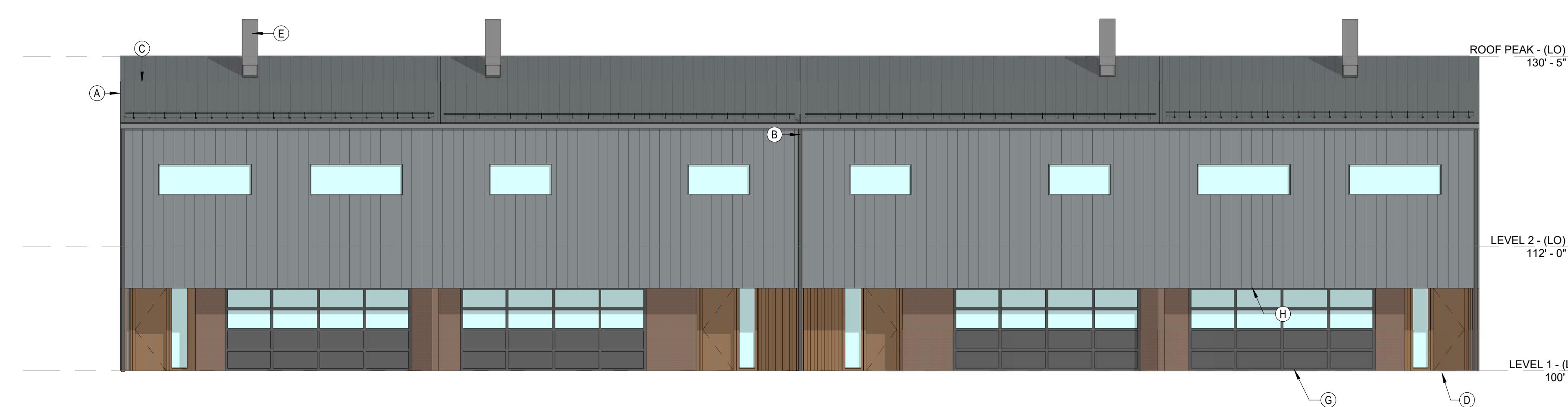
4 WEST ELEVATION

SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

SHEET NOTES

- A GUTTER, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- B DOWNSPOUT, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- C SNOW GUARD, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- D SOLID WOOD AT MAIN UNIT ENTRY DOOR
- E AIR SOURCE HEAT PUMP, EQUIPMENT CONCEALED IN A PREFABRICATED METAL ENCLOSURE, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- F EXTERIOR BALCONY, RAILING AND TRIM TO BE FINISHED SIM. TO OTHER METAL TRIM
- G GARAGE DOORS, BOTTOM PANELS TO BE OPAQUE AND FINISHED SIM. TO OTHER METAL TRIM, UPPER PANELS TO BE GLASS
- H SOFFIT TO BE FINISHED IN WOOD PANELS SIMILAR TO FAÇADE

FACADE MATERIALS



LOCATION: ROOF AND NORTH FAÇADE
FINISH: STANDING SEAM, MATTE GREY (BONDERIZED)
INTENDED TO WEATHER SLIGHTLY AS IT AGES.



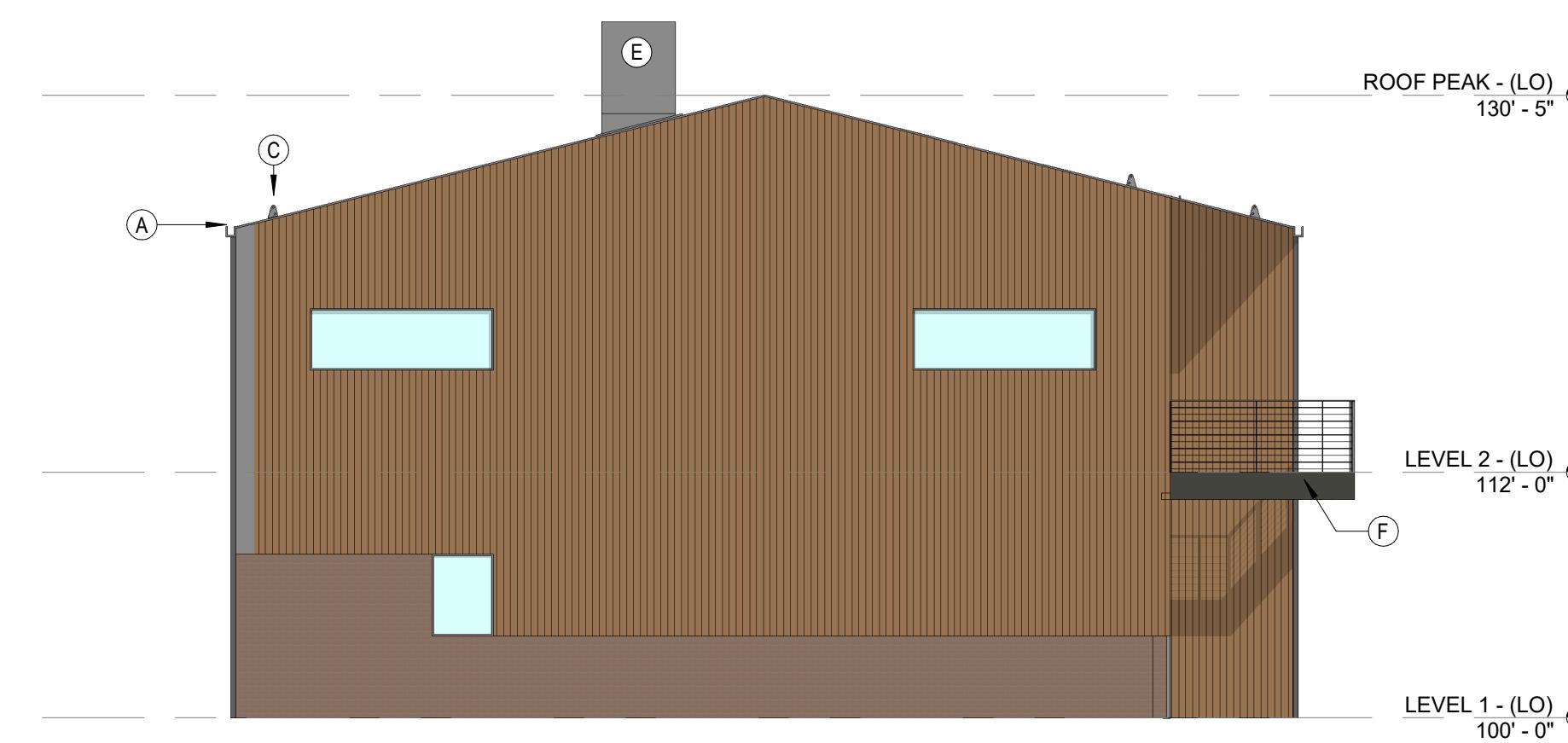
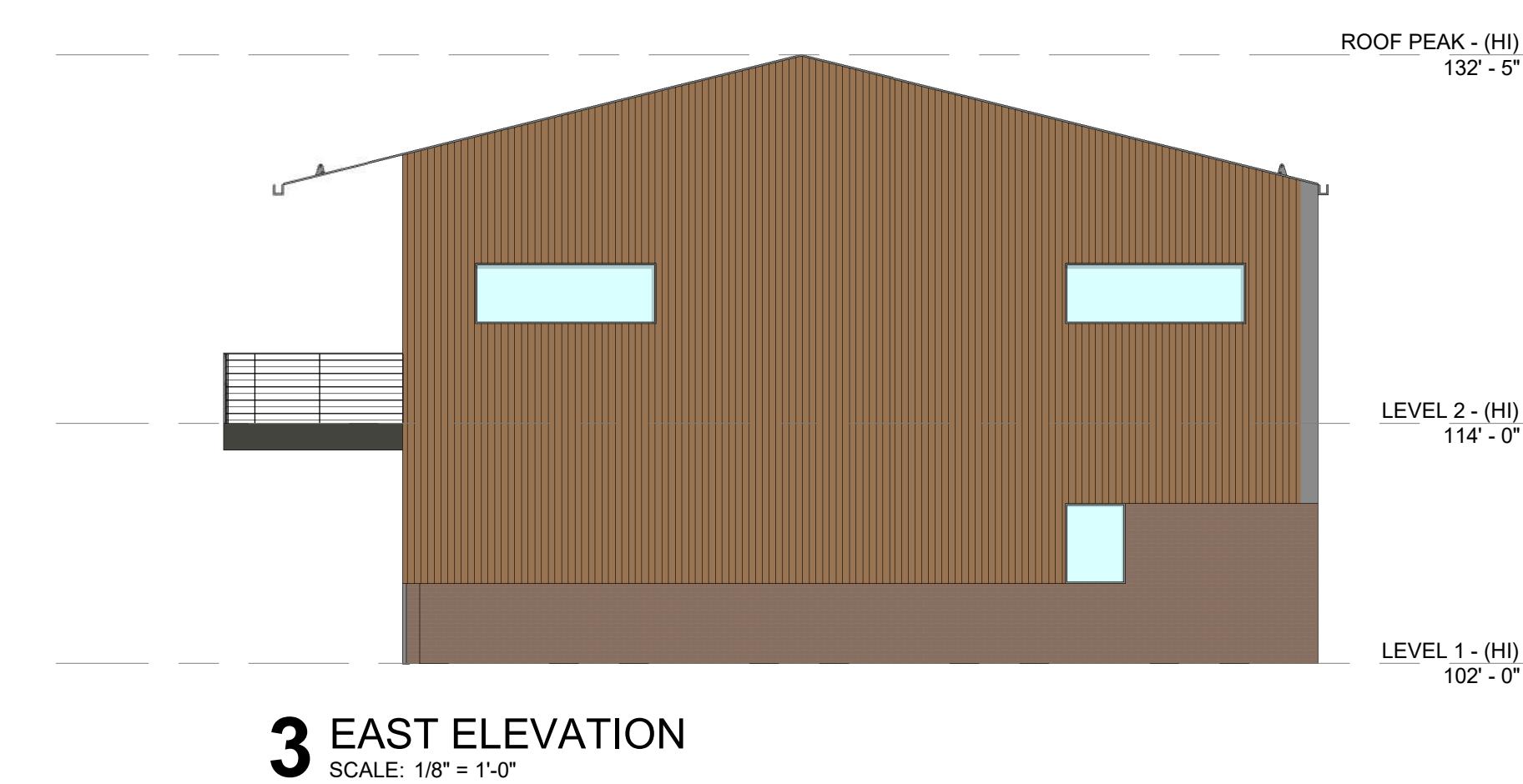
LOCATION: SOUTH, EAST AND WEST FAÇADES
FINISH: VERTICAL WOOD PANELING, CLEAR FINISH
DOUGLAS FIR (OR SIM.) WITH VARIATIONS IN TONE OR
GRAIN ACROSS INDIVIDUAL BOARDS.



LOCATION: WHERE EXTERIOR WALLS CONTACT THE
GROUND WHERE DURABILITY IS REQUIRED
FINISH: RECLAIMED BRICK, DEPENDING ON RECLAIMED
STOCK AVAILABLE, THE TONE OR SHAPE OF BRICKS USED
COULD VARY AT DIFFERENT BUILDINGS

GENERAL NOTES

1. GROUND LEVEL FFE WILL STEP TO ACCOMMODATE GRADE.
2. THIS STEP AVERAGES 2'-0" BUT DOES VARY DEPENDING ON GRADE AT SPECIFIC BUILDING LOCATIONS.
3. RE: OVERALL GRADING PLAN FOR FFEs SPECIFIC TO INDIVIDUAL BUILDINGS



FACADE MATERIALS

METAL PANEL



LOCATION: ROOF AND NORTH FAÇADE
FINISH: STANDING SEAM, MATTE GREY (BONDERIZED)
INTENDED TO WEATHER SLIGHTLY AS IT AGES.

WOOD SIDING



LOCATION: SOUTH, EAST AND WEST FAÇADES
FINISH: VERTICAL WOOD PANELING, CLEAR FINISH
DOUGLAS FIR (OR SIM.) WITH VARIATIONS IN TONE OR
GRAIN ACROSS INDIVIDUAL BOARDS.

BRICK MASONRY



LOCATION: WHERE EXTERIOR WALLS CONTACT THE
GROUND WHERE DURABILITY IS REQUIRED
FINISH: RECLAIMED BRICK DEPENDING ON RECLAIMED
STOCK AVAILABLE, THE TONE OR SHAPE OF BRICKS USED
COULD VARY AT DIFFERENT BUILDINGS

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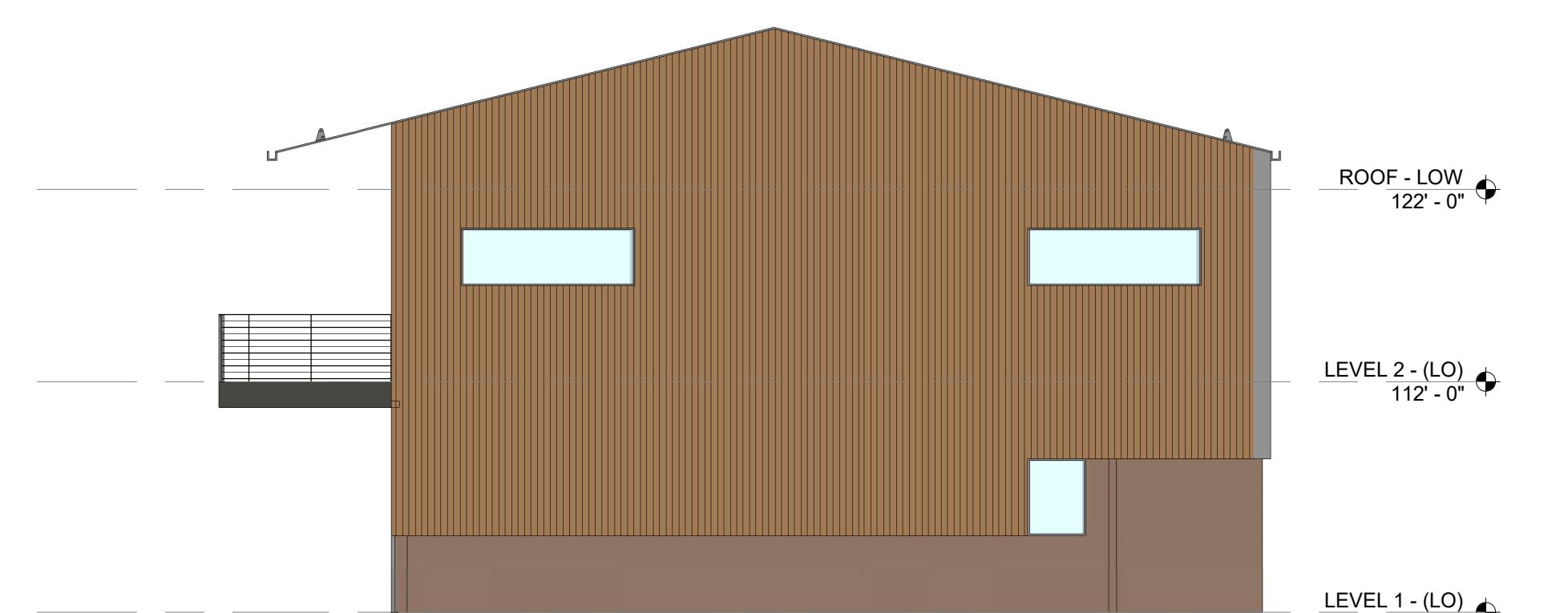
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**MAJOR
DEVELOPMENT
PERMIT**
ISSUE DATE
01.13.2025

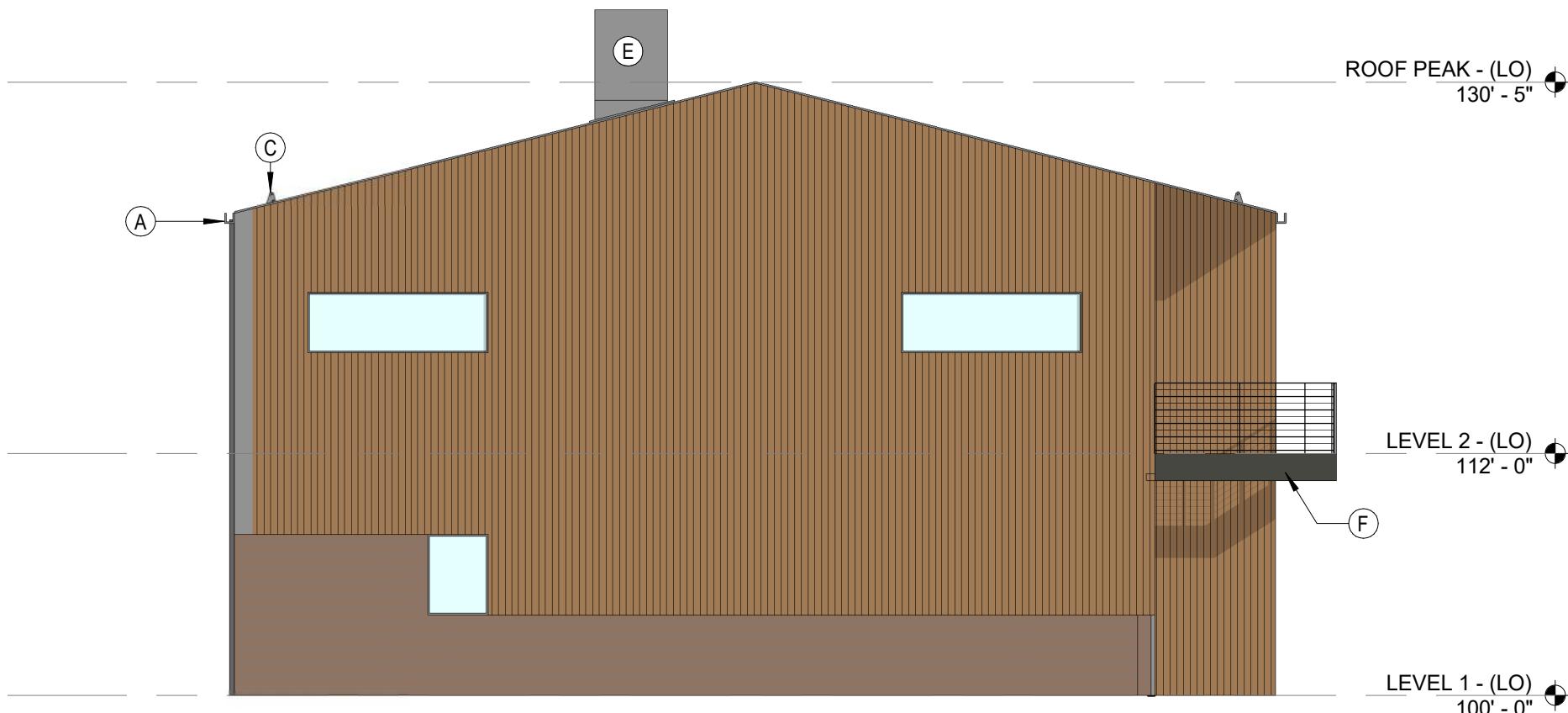
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3. RE: OVERALL GRADING PLAN FOR FFEs SPECIFIC TO INDIVIDUAL BUILDINGS



3 EAST ELEVATION

SCALE: 1/8" = 1'-0"



4 WEST ELEVATION

SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

FACADE MATERIALS

METAL PANEL



LOCATION: ROOF AND NORTH FAÇADE
FINISH: STANDING SEAM, MATTE GREY (BONDERIZED)
INTENDED TO WEATHER SLIGHTLY AS IT AGES.

WOOD SIDING



LOCATION: SOUTH, EAST AND WEST FAÇADES
FINISH: VERTICAL WOOD PANELING, CLEAR FINISH
DOUGLAS FIR (OR SIM.) WITH VARIATIONS IN TONE OR
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BRICK MASONRY



LOCATION: WHERE EXTERIOR WALLS CONTACT THE
GROUND WHERE DURABILITY IS REQUIRED
FINISH: RECLAIMED BRICK DEPENDING ON RECLAIMED
STOCK AVAILABLE, THE TONE OR SHAPE OF BRICKS USED
COULD VARY AT DIFFERENT BUILDINGS

DRAWING SHEET TITLE

**TH-D
ELEVATIONS**

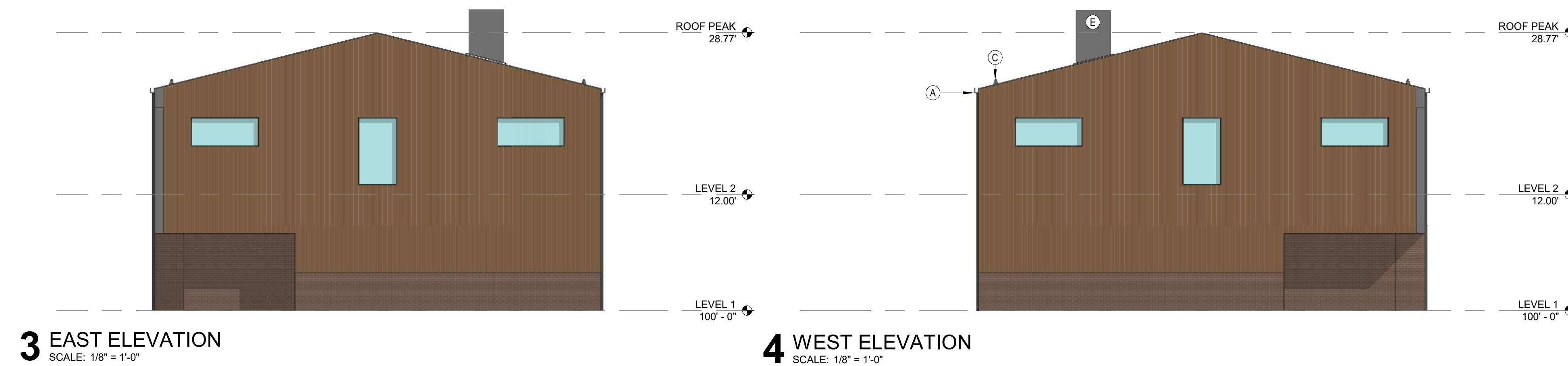
A-23

GENERAL NOTES

1. GROUND LEVEL FFE WILL STEP TO ACCOMMODATE GRADE.
2. RE: OVERALL GRADING PLAN FOR FFEs SPECIFIC TO INDIVIDUAL BUILDINGS

SHEET NOTES

- A GUTTER, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- B DOWNSPOUT, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- C SNOW GUARD, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- D SOLID WOOD AT MAIN UNIT ENTRY DOOR
- E AIR SOURCE HEAT PUMP, EQUIPMENT CONCEALED IN A PREFABRICATED METAL ENCLOSURE, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- G GARAGE DOORS, BOTTOM PANELS TO BE OPAQUE AND FINISHED SIM. TO OTHER METAL TRIM, UPPER PANELS TO BE GLASS
- H SOFFIT TO BE FINISHED IN WOOD PANELS SIMILAR TO FAÇADE



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

FACADE MATERIALS

METAL PANEL



LOCATION: ROOF AND SOUTH FAÇADE
FINISH: STANDING SEAM, MATTE GREY (BONDERIZED)
INTENDED TO WEATHER SLIGHTLY AS IT AGES.

WOOD SIDING

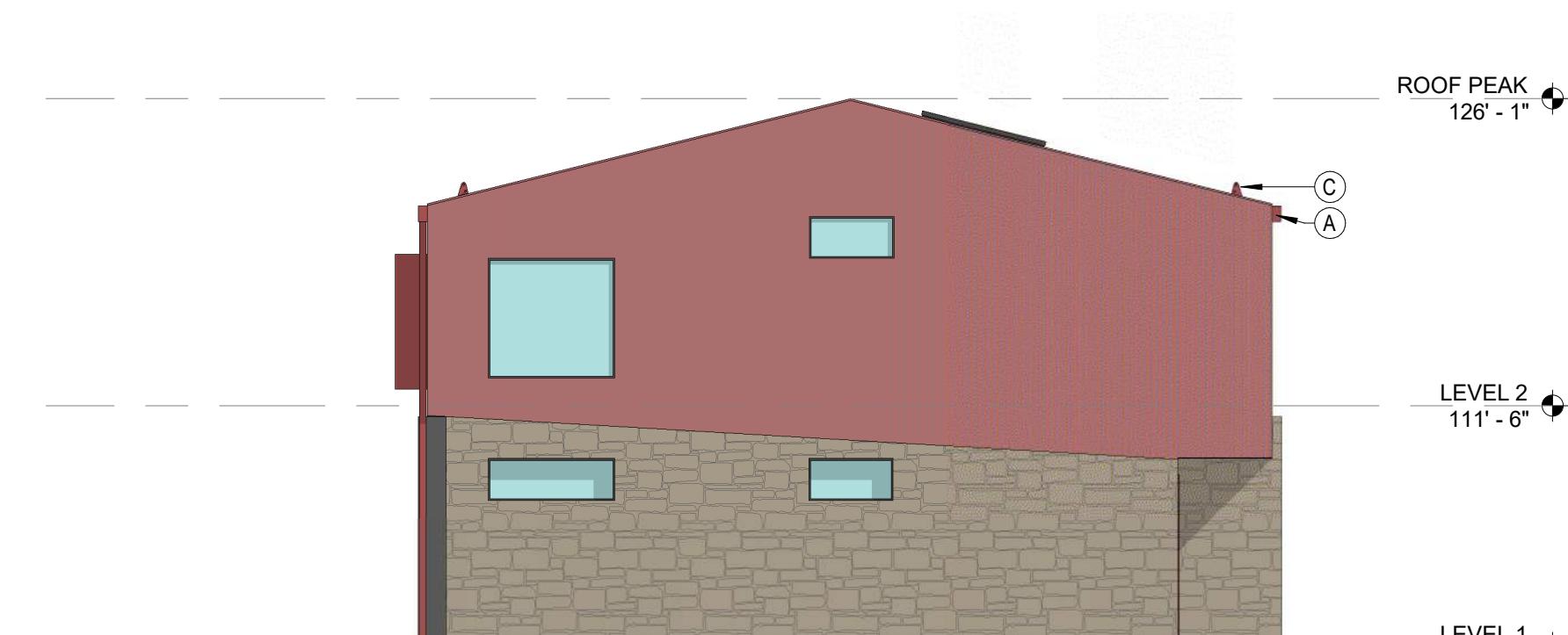


LOCATION: NORTH, EAST AND WEST FAÇADES
FINISH: VERTICAL WOOD PANELING, CLEAR FINISH
DOUGLAS FIR (OR SIM.) WITH VARIATIONS IN TONE OR
GRAIN ACROSS INDIVIDUAL BOARDS.

BRICK MASONRY

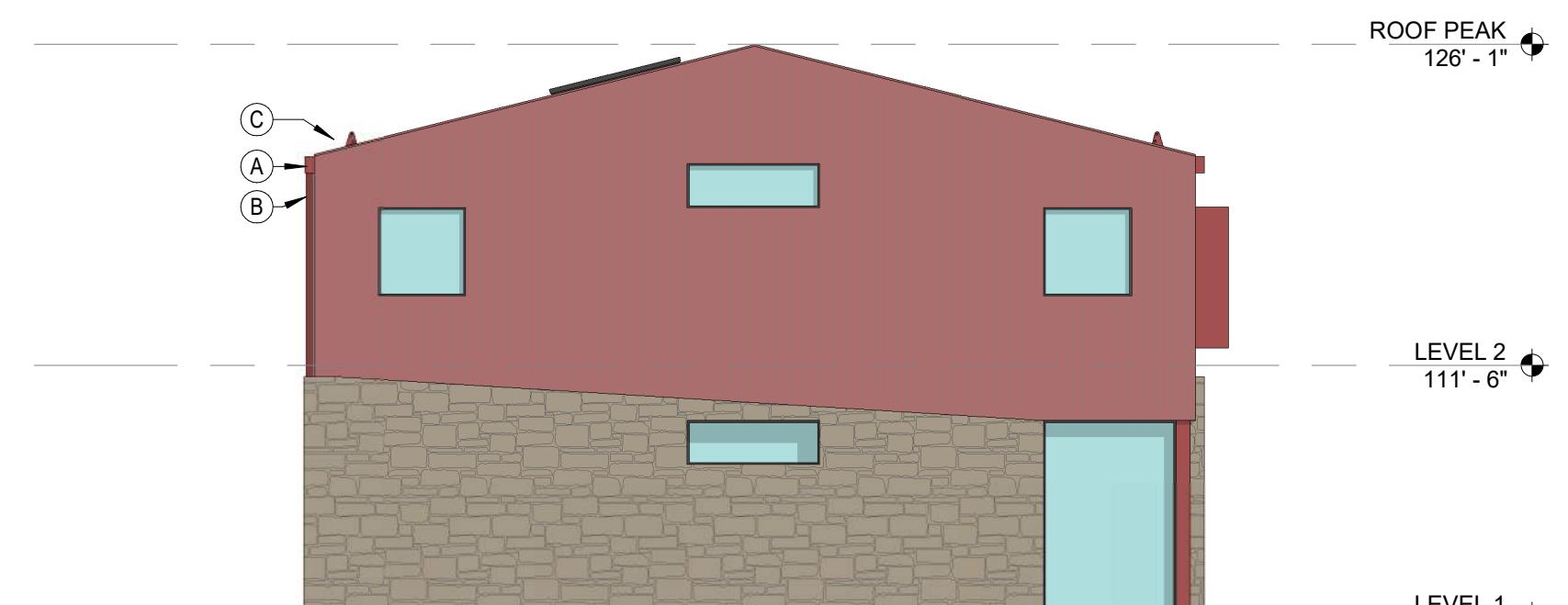


LOCATION: WHERE EXTERIOR WALLS CONTACT THE
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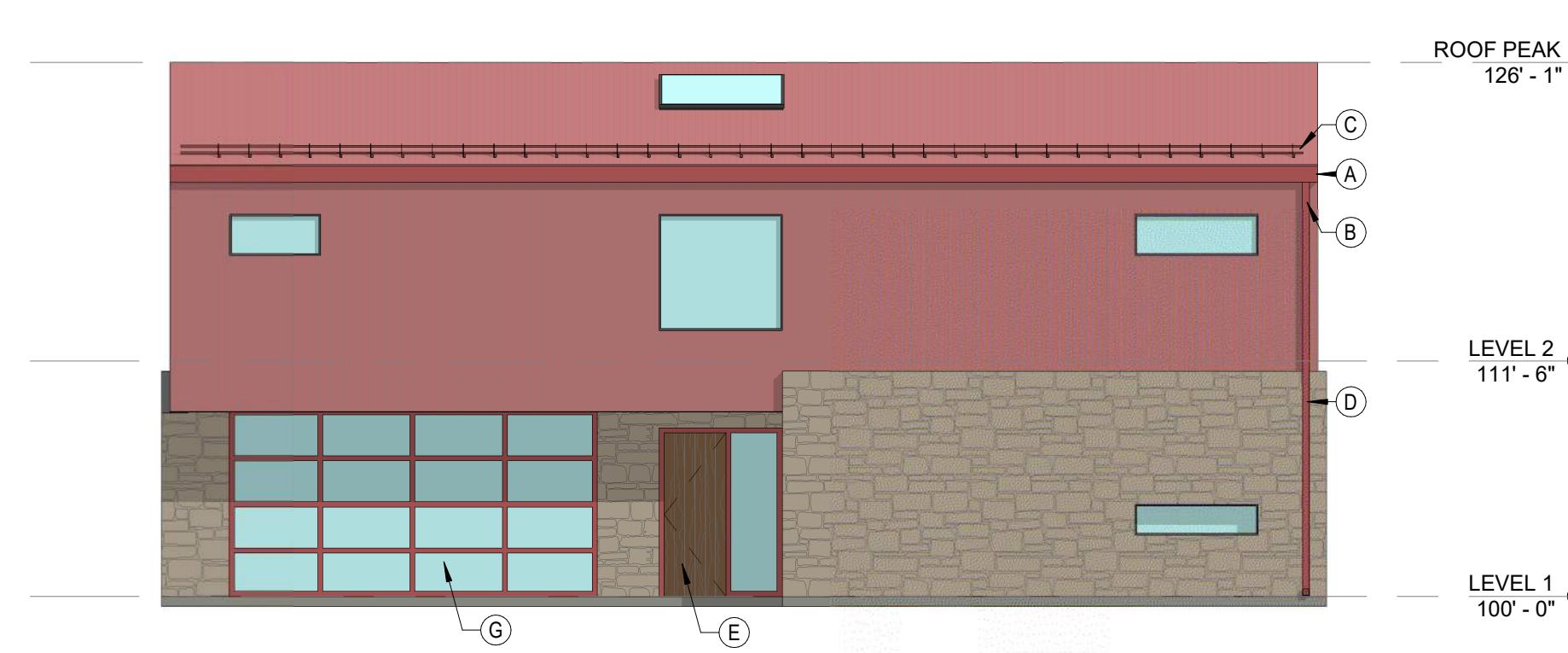
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GENERAL NOTES

1. GROUND LEVEL FFE WILL STEP TO ACCOMMODATE GRADE.
2. RE: OVERALL GRADING PLAN FOR FFEs SPECIFIC TO INDIVIDUAL BUILDINGS

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FAMILY - TYPE A
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ARCHITECT/
GENERAL CONTRACTOR
tres birds

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ISSUANCE MAJOR DEVELOPMENT PERMIT

ISSUE DATE
01.13.2025

FACADE MATERIALS

METAL PANEL



REVISION HISTORY

STONE MASONRY



DRAWING SHEET TITLE
**SF-A
ELEVATIONS**

A-25

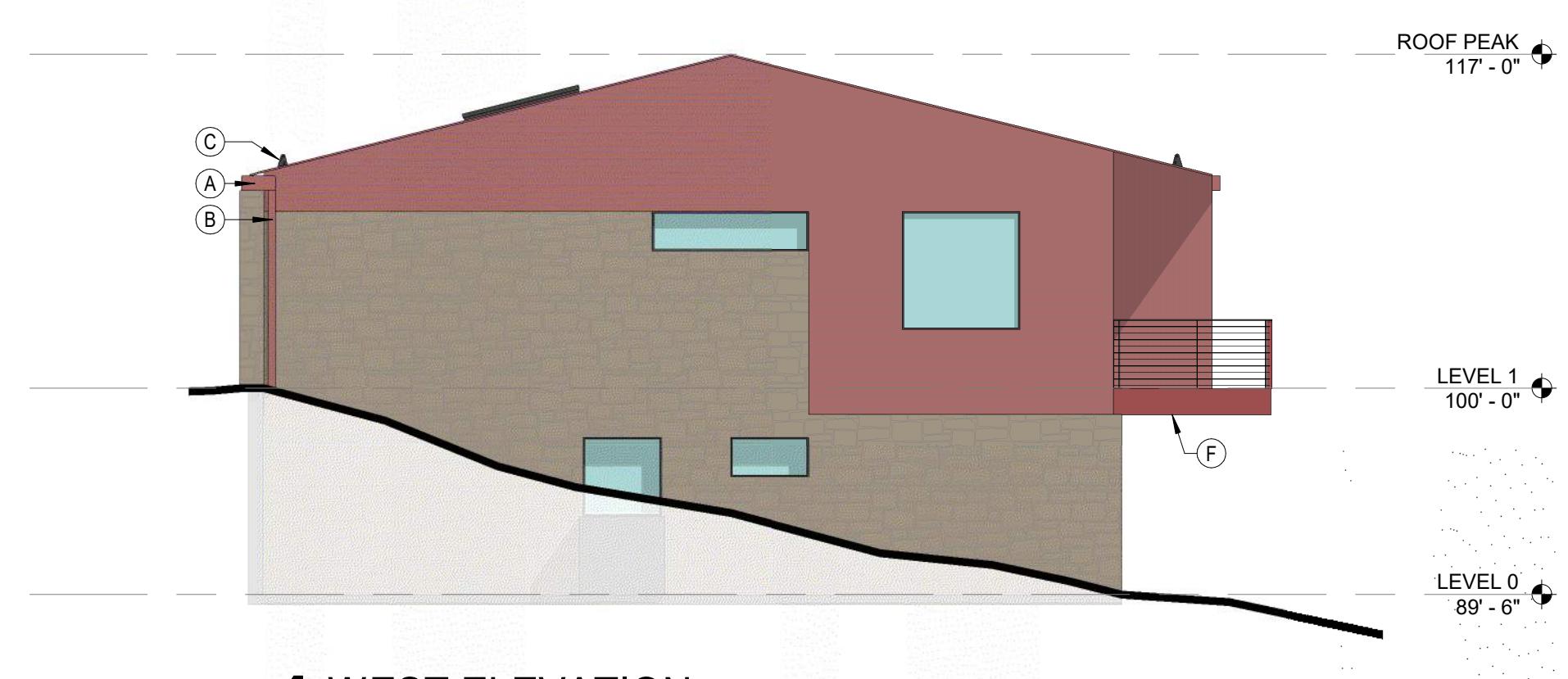
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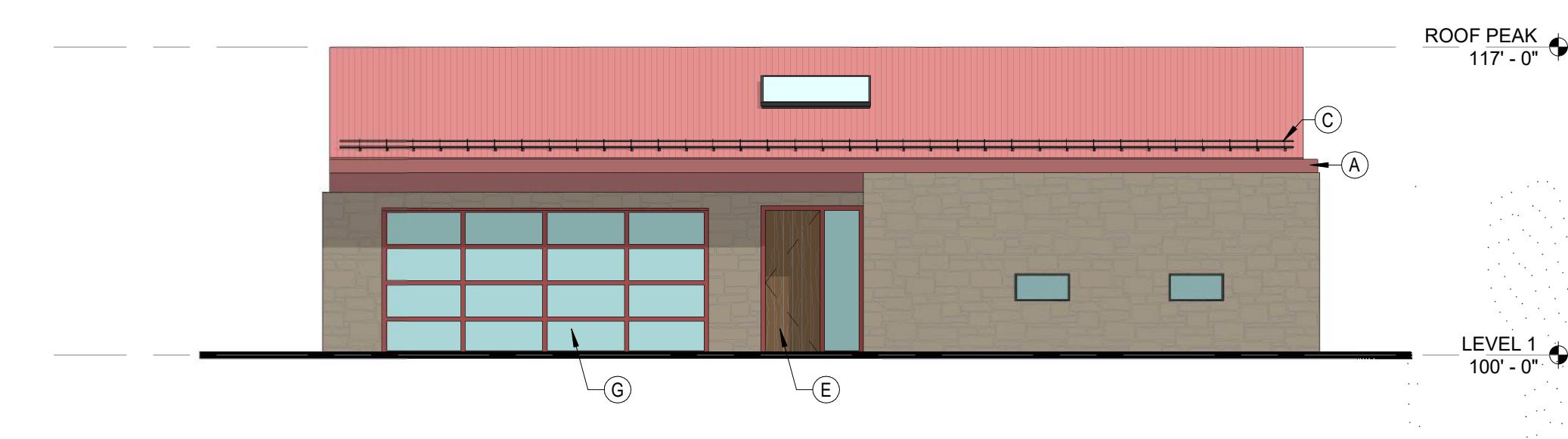
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4 WEST ELEVATION

SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

FACADE MATERIALS

METAL PANEL



REVISION HISTORY

STONE MASONRY



LOCATION: WHERE EXTERIOR WALLS CONTACT THE GROUND SURFACE IS REQUIRED.
FINISH: LOCALLY SOURCED NATURAL STONE INTENDED TO REFLECT A MORE ORGANIC MATERIAL APPROACH THAN THE BRICK MASONRY USED ELSEWHERE. STONES VARYING IN SIZE, SHAPE AND TONE PREFERRED.

DRAWING SHEET TITLE

**SF-B
ELEVATIONS**

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