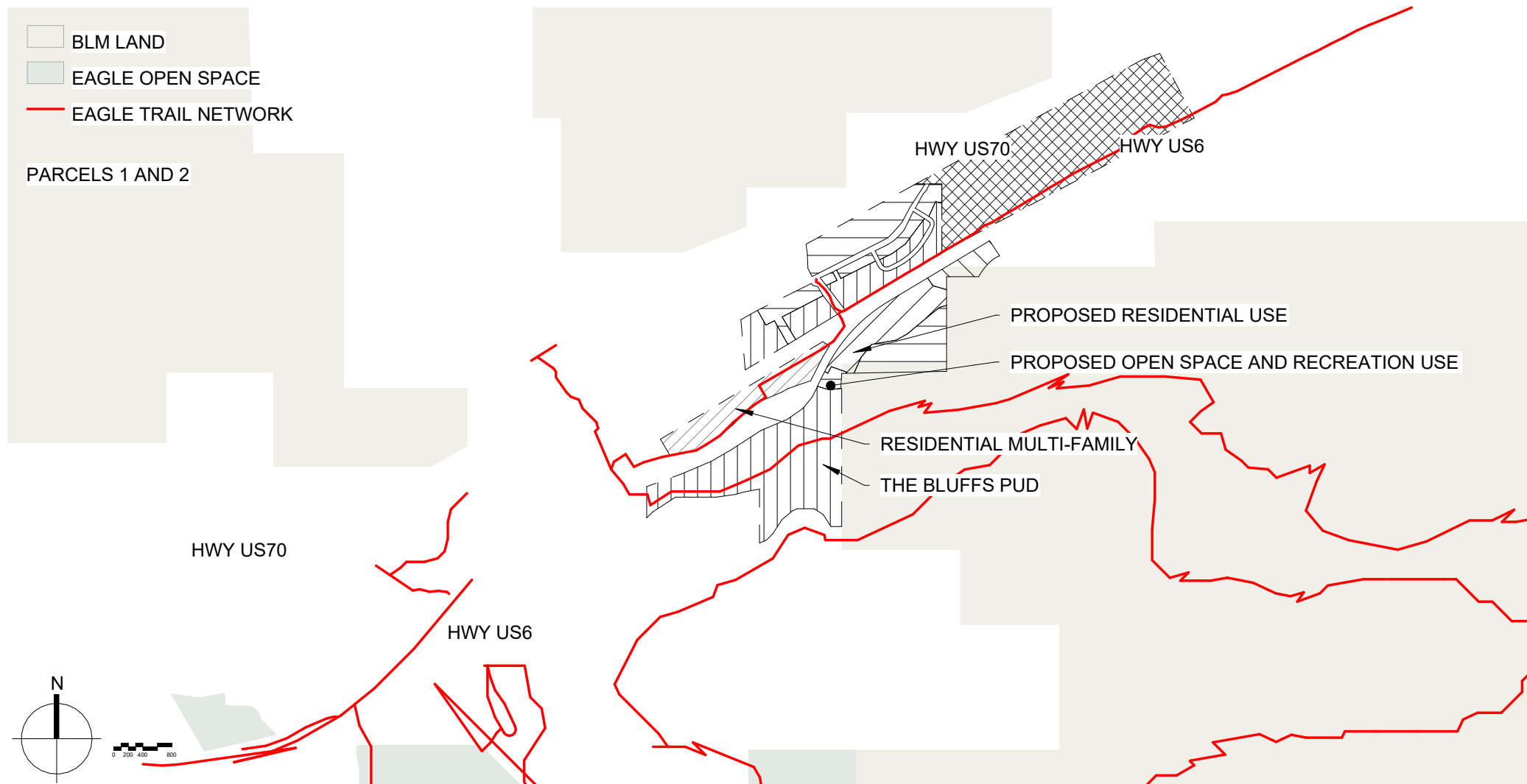


RED MOUNTAIN RANCH

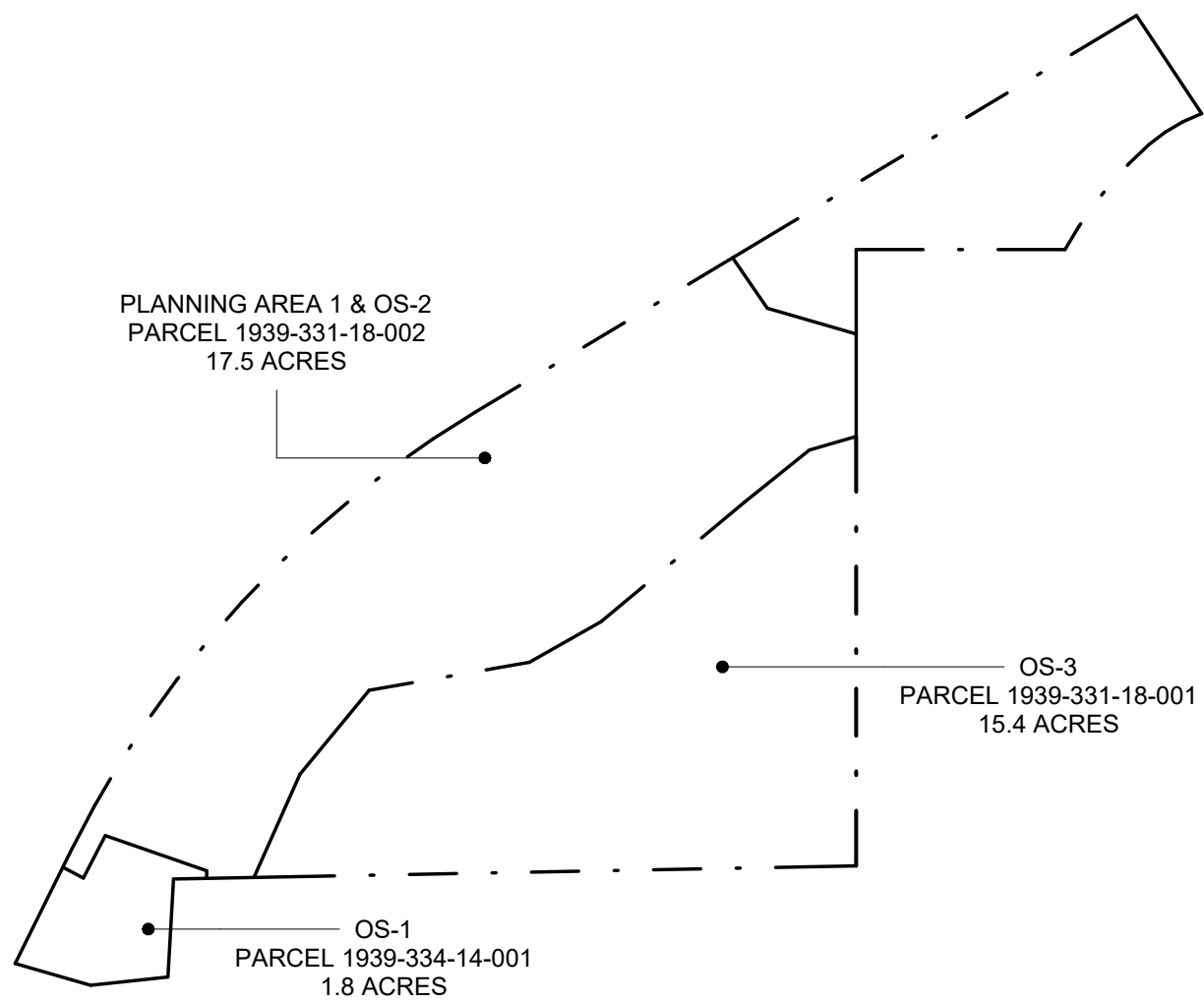
MAJOR DEVELOPMENT PERMIT - 01.13.2025



OVERALL VICINITY MAP



PLOT PLAN



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PROJECT RED MOUNTAIN RANCH

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ISSUANCE

MAJOR DEVELOPMENT PERMIT (MDP)

ISSUE DATE

01.13.2025

CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE

COVER SHEET

G-00

GENERAL (G-SERIES)	
G-00	COVER SHEET
G-01	SHEET INDEX
G-02	VICINITY MAP
G-03	PROJECT DATA

ARCHITECTURAL SITE (AS-SERIES)	
AS-00	PARCEL 1 SITE PLAN
AS-01	ENLARGED SITE AREA 1.1
AS-02	ENLARGED SITE AREA 1.2
AS-03	ENLARGED SITE AREA 1.3

CIVIL (C-SERIES)	
C-01	OVERALL UTILITY PLAN - WEST
C-02	OVERALL UTILITY PLAN - EAST
C-03	OVERALL UTILITY PLAN - NORTHEAST
C-04	OVERALL GRADING PLAN - WEST
C-05	OVERALL GRADING PLAN - EAST
C-06	EROSION CONTROL INITIAL - WEST
C-07	EROSION CONTROL INITIAL - EAST
C-08	EROSION CONTROL INTERIM - WEST
C-09	EROSION CONTROL INTERIM - EAST
C-10	EROSION CONTROL FINAL - WEST
C-11	EROSION CONTROL FINAL - EAST

LANDSCAPE (L-SERIES)	
L-000	COVER SHEET
L-101	LAYOUT AND MATERIAL PLAN
L-102	LAYOUT AND MATERIAL PLAN
L-103	LAYOUT AND MATERIAL PLAN
L-104	LAYOUT AND MATERIAL PLAN
L-105	LAYOUT AND MATERIAL PLAN
L-106	LAYOUT AND MATERIAL PLAN
L-107	LAYOUT AND MATERIAL PLAN
L-108	LAYOUT AND MATERIAL PLAN
L-400	PLANTING NOTES
L-401	PLANTING SCHEDULES
L-402	PLANTING PLAN
L-403	PLANTING PLAN
L-404	PLANTING PLAN
L-405	PLANTING PLAN
L-406	PLANTING PLAN
L-407	PLANTING PLAN
L-408	PLANTING PLAN
L-409	PLANTING PLAN

IRRIGATION (I-SERIES)	
IR-401	IRRIGATION SCHEDULE
IR-402	IRRIGATION PLAN
IR-403	IRRIGATION PLAN
IR-404	IRRIGATION PLAN
IR-405	IRRIGATION PLAN
IR-406	IRRIGATION PLAN
IR-407	IRRIGATION PLAN
IR-408	IRRIGATION PLAN
IR-409	IRRIGATION PLAN

LIGHTING (PH-SERIES)	
PH-001	AREA 1.1 LIGHTING PLAN
PH-002	AREA 1.2 LIGHTING PLAN
PH-003	AREA 1.3 LIGHTING PLAN
PH-004	LIGHTING PHOTOMETRIC DETAILS

ARCHITECTURE (A-SERIES)	
A-00	COVER SHEET
A-10	TH-A OVERALL PLANS
A-11	TH-B OVERALL PLANS
A-12	TH-C OVERALL PLANS
A-13	TH-D OVERALL PLANS
A-14	DUP OVERALL PLANS
A-15	SF-A OVERALL PLANS
A-16	SF-B OVERALL PLANS
A-20	TH-A ELEVATIONS
A-21	TH-B ELEVATIONS
A-22	TH-C ELEVATIONS
A-23	TH-D ELEVATIONS
A-24	DUP ELEVATIONS
A-25	SF-A ELEVATIONS
A-26	SF-B ELEVATIONS

PROJECT

RED MOUNTAIN RANCH

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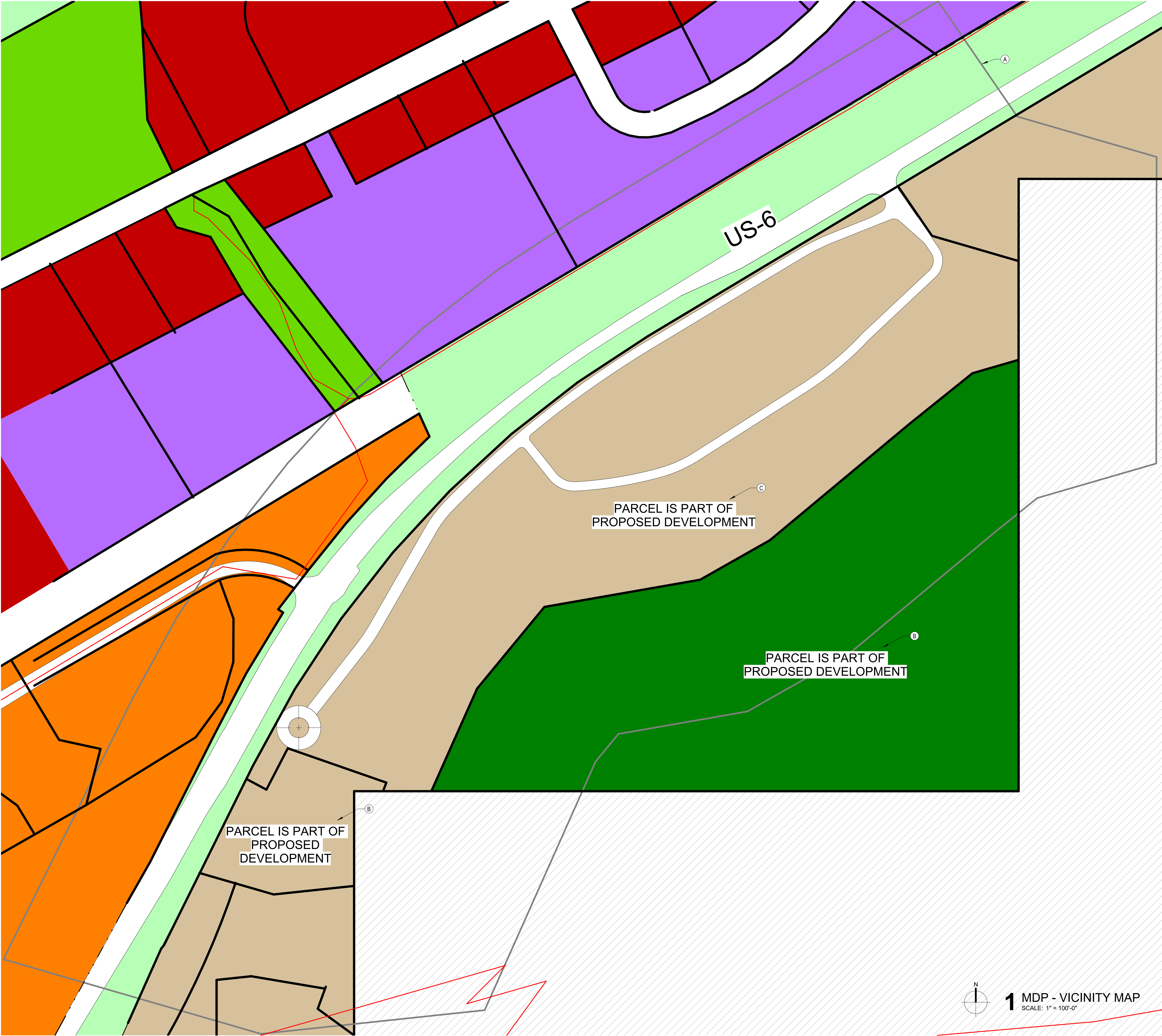
CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE

SHEET INDEX

G-01



SHEET NOTES

- A 300' ADJACENCY
- B PROPOSED OPEN SPACE AND RECREATION USE
- C PROPOSED RESIDENTIAL USE

PROJECT
RED MOUNTAIN RANCH

PARCEL 1
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LEGEND

- PUD
PLANNED UNIT DEVELOPMENT
- (R3)
RESIDENTIAL MULT-FAMILY
- (CG)
COMMERCIAL GENERAL
- (IND)
INDUSTRIAL
- (PC1)
PUBLIC & CIVIC
- (R)
RESOURCE
- (PC2)
PUBLIC & CIVIC 2 OPEN SPACE
- BLM LAND
- EAGLE TRAIL NETWORK
- PROPERTY LINE
- PARCEL LINE
- 300' ADJACENCY

ISSUANCE

MAJOR
DEVELOPMENT
PERMIT (MDP)

ISSUE DATE

01.13.2025

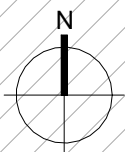
CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE

VICINITY MAP

G-02



1 MDP - VICINITY MAP
SCALE: 1" = 100'-0"

PROJECT INFORMATION

PROJECT DESCRIPTION	
THE PROPOSED SCOPE OF RED MOUNTAIN RANCH - PARCEL 1 ENCOMPASSES PLANNING AREA 1 OF THE RED MOUNTAIN RANCH PUD LOCATED IN THE TOWN OF EAGLE. THIS SUBMITTAL DOES NOT INCLUDE PLANNING AREAS 2, 3, 4, 5, AND 6 OF RED MOUNTAIN RANCH.	
PLANNING AREA 1 CONSISTS OF 3 SEPARATE AREAS: <ul style="list-style-type: none">OS-1 IS TO BE DEDICATED TO THE TOWN OF EAGLE FOR USE AS PUBLIC OPEN SPACE.OS-2 IS TO CONTAIN RESIDENTIAL DWELLING UNITS, LANDSCAPED PRIVATE OPEN SPACE, AND THE PUBLIC DISCOVERY TRAIL.OS-3 IS CURRENTLY OPEN SPACE INCLUDING NATURAL RIPARIAN ZONES ALONG THE EAGLE RIVER. UNDER THIS PROPOSAL, IT WILL REMAIN UNDISTURBED OPEN SPACE.	
PLANNING AREA 1 LIES COMPLETELY WITHIN THE REGULATIONS SET FORTH IN THE PUD FOR RED MOUNTAIN RANCH AND CONSISTS OF 66 TOTAL DWELLING UNITS: 42 TOWNHOMES, 12 DUPLEXES, AND 12 SINGLE-FAMILY HOMES. THERE ARE TWO INTERNAL ROADS FOR CIRCULATION, A TWO-WAY ROAD NEIGHBORING HIGHWAY 158 WITH ACCESS TO THE TOWNHOMES, AND A SECONDARY LOOP FOR ACCESS TO THE DUPLEXES AND SINGLE-FAMILY HOMES.	
CONSISTENT WITH THE RIPARIAN AREA MANAGEMENT PLAN (RAMP) AND THE TOWN OF EAGLE 'S GUIDELINES, RED MOUNTAIN RANCH AIMS TO DISTURB THE EXISTING SITE AS LITTLE AS POSSIBLE. DWELLING UNITS ARE INCORPORATED INTO THE NATURAL TOPOGRAPHY OF THE SITE, WHILE MAINTAINING EXISTING HEALTHY ECOLOGY, WHILE ROADS ARE KEPT TO A MINIMUM TO INCREASE SHARED OUTDOOR SPACE FOR RESIDENTS.	
LEGAL DESCRIPTION	
GRIFFIN DEVELOPMENT LLC, EAGLE RIVER COMMERCIAL LLC, & RED MOUNTAIN RANCH PARTNERSHIP LLLP BEING THE OWNERS OF 100 PERCENT OF THE PROPERTY EXCLUSIVE OF STREETS AND ALLEYS DESCRIBED AS: A PARCEL OF LAND SITUATE IN SECTIONS 26, 27, 33, AND 34, TOWNSHIP 4 SOUTH, RANGE 84 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, BEING A PORTION OF TRACTS 58, 59 AND 70, OF SAID TOWNSHIP AND RANGE, COUNTY OF EAGLE, STATE OF COLORADO, BEING A PORTION OF THESE LANDS DESCRIBED IN LAND SURVEY PLAT NO. 574, 575, AND 576, AS DEPOSITED IN THE EAGLE COUNTY LAND SURVEY PLAT RECORDS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTH LINE OF HIGHWAY 6 RIGHT OF WAY AND SUBJECT PROPERTY; THENCE DEPARTING SAID SOUTH LINE S 73°54'09" E, 166.17 FEET; THENCE N 83°53'51" E, 164.57 FEET; THENCE N 03°16'32" E, 207.75 FEET; THENCE N 88°53'49" E, 1444.68 FEET; THENCE N 00°03'48" E, 1304.45 FEET; THENCE N 89°56'08" E, 1452.88 FEET; THENCE N 01°28'49" W, 410.52 FEET TO APPROXIMATE CENTERLINE OF THE EAGLE RIVER; THENCE ALONG SAID APPROXIMATE CENTER OF THE EAGLE RIVER S 74°05'42" E, 81.00 FEET; THENCE N 89°29'45" E, 168.06 FEET; THENCE N 60°21'13" E, 237.26 FEET; THENCE N 41°29'08" E, 382.43 FEET; THENCE N 36°38'50" E, 287.00 FEET; THENCE N 47°37'56" E, 301.83 FEET; THENCE N 53°45'25" E, 221.64 FEET; THENCE N 56°52'49" E, 306.49 FEET; THENCE N 67°43'57" E, 484.77 FEET; THENCE S 85°00'54" E, 131.72 FEET; THENCE S 75°53'38" E, 341.84 FEET; THENCE N 83°57'06" E, 341.07 FEET; THENCE N 71°13'40" E, 310.58 FEET; THENCE N 57°40'11" E, 499.51 FEET; THENCE N 42°33'26" E, 259.34 FEET; THENCE N 32°48'52" E, 282.87 FEET; THENCE N 21°21'27" E, 271.70 FEET; THENCE N 18°01'29" E, 171.02 FEET; THENCE N 38°30'11" E, 154.44 FEET; THENCE N 52°40'07" E, 201.11 FEET; THENCE DEPARTING SAID APPROXIMATE CENTERLINE OF THE EAGLE RIVER N 26°50'41" W, 63.81 FEET TO THE SOUTH LINE OF HIGHWAY 6 RIGHT OF WAY; THENCE ALONG SAID SOUTH LINE OF HIGHWAY 6 RIGHT OF WAY S 63°08'01" W, 3932.72 FEET; THENCE IN A SOUTHWESTERLY DIRECTION WITH A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 11410.00 FEET, HAVING A CHORD BEARING OF S 61°05'01" W AND A CHORD DISTANCE OF 816.31 FEET, HAVING A CENTRAL ANGLE OF 04°06'00" AND AN ARC LENGTH OF 816.48 FEET; THENCE S 59°02'01" W, 2572.80 FEET; THENCE IN A SOUTHWESTERLY DIRECTION WITH A TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 2242.00 FEET, HAVING A CHORD BEARING OF S 42°41'01" W AND A CHORD DISTANCE OF 1262.26 FEET, HAVING A CENTRAL ANGLE OF 32°42'00" AND AN ARC LENGTH OF 1279.58 FEET; THENCE S 26°20'01" W, 267.31 FEET TO THE POINT OF BEGINNING - CONTAINING 106.194 ACRES MORE OR LESS.	
APPLICABLE CODES	
ZONING	<ul style="list-style-type: none">TOWN OF EAGLE LAND USE DEVELOPMENT CODE (LUDC) (DATED OCTOBER 2023)RMR PLANNED URBAN DEVELOPMENT (PUD) GUIDE (DATED SEPTEMBER 15, 2020)RMR DESIGN GUIDELINES
BUILDING	<ul style="list-style-type: none">2021 INTERNATIONAL RESIDENTIAL CODE (IRC)2021 INTERNATIONAL MECHANICAL CODE (IMC)2021 INTERNATIONAL PLUMBING CODE (IPC)2021 INTERNATIONAL ENERGY CODE (IECC)2021 INTERNATIONAL FIRE CODE (IFC)2020 NATIONAL ELECTRICAL CODE (NEC)TOWN OF EAGLE LOCALLY ADOPTED AMENDMENTS

LAND USE ANALYSIS

ZONE LOT INFORMATION		
ZONE DISTRICT PER TOWN OF EAGLE ZONING MAP (08.08.2023)		PLANNED URBAN DEVELOPMENT (PUD) <ul style="list-style-type: none">• PUD 15. RED MOUNTAIN RANCH• PLANNING AREA 1 (LOTS R/PUD-1, OS-1, OS-2, AND OS-3)
SITE ACREAGE		
PLANNING AREA 1		34.7 ACRES TOTAL
R/PUD-1	12.5 ACRES (36%) - RESIDENTIAL	
OS-1	1.8 ACRES (5%) - PUBLIC PARK	
OS-2	5.0 ACRES (14%) - OPEN SPACE	
OS-3	15.4 ACRES (45%) - OPEN SPACE	
LAND USES PER RMR PUD GUIDE (09.15.2020)		
USES @ R/PUD-1		PROPOSED: <ul style="list-style-type: none">• SINGLE FAMILY HOMES• TWO-FAMILY DWELLING• MULTI-FAMILY RESIDENTIAL (TOWNHOMES SPECIFICALLY)• PEDESTRIAN AND BICYCLE TRAILS (ACCESSORY)
<div>PERMITTED:<ul style="list-style-type: none">• SINGLE FAMILY HOMES• TWO-FAMILY DWELLING• MULTI-FAMILY RESIDENTIAL (INCLUDING TOWNHOMES)• ACCESSORY DWELLING UNIT TO OWNER OCCUPIED SINGLE FAMILY DWELLING• HOMEOWNER ASSOCIATION OWNED HOME OCCUPATION• PARKS, PLAYGROUND, POOLS (ACCESSORY)• MODEL HOMES AND SALES OFFICE (ACCESSORY)• PEDESTRIAN AND BICYCLE TRAILS (ACCESSORY)• DETACHED GARAGES (ACCESSORY)</div>		
USES @ LOT OS-1		
<div>PROPOSED:<ul style="list-style-type: none">• OS-1 WILL BE DEDICATED TO THE TOWN OF EAGLE FOR USE AS A PUBLIC OPEN SPACE</div>		
USES @ LOT OS-2		
<div>PERMITTED:<ul style="list-style-type: none">• SOFT SURFACE TRAILS WITH LIMITED RIVER ACCESS• NATURAL VEGETATION MANAGEMENT TO MAINTAIN THE NATIVE ECOSYSTEM• PLANTING OF NATIVE VEGETATION</div>	<div>PROPOSED:<ul style="list-style-type: none">• SOFT SURFACE TRAILS WITH LIMITED RIVER ACCESS (RE: PUBLIC "DISCOVERY TRAIL")• NATURAL VEGETATION MANAGEMENT TO MAINTAIN THE NATIVE ECOSYSTEM• PLANTING OF NATIVE VEGETATION</div>	
USES @ LOT OS-3		
<div>PROPOSED:<ul style="list-style-type: none">• OS-3 WILL REMAIN NATURAL PUBLIC OPEN SPACE. NO DEVELOPMENT IS PROPOSED</div>		
PLANNING AREA 1 OPEN SPACE		
DEVELOPMENT TO OPEN SPACE AREA	PER PUD	PROPOSED
PLANNING AREA 1 TOTAL SIZE MAXIMUM DEVELOPMENT AREA MINIMUM OPEN SPACE AREA	34.7 ACRES 11.5 ACRES - 33% 23.2 ACRES - 67%	34.7 ACRES 11.5 ACRES - 33% 23.2 ACRES - 67%
PLANNING AREA 1 DENSITY		
PLANNING AREA 1	PER PUD 97 RESIDENTIAL UNITS	PROPOSED 66 RESIDENTIAL UNITS 44 TOWNHOMES 12 DUPLEXES 12 SINGLE FAMILY

RESIDENTIAL ANALYSIS

DESIGN ELEMENTS PER RMR PUD GUIDE (09.15.2020)	
MAX BUILDING HEIGHT PLANNING AREA 1	35 FEET FOR SINGLE AND TWO-FAMILY DWELLINGS 40 FEET FOR MULTI-FAMILY RESIDENTIAL, MIXED USE AND COMMERCIAL BUILDINGS
SETBACKS PLANNING AREA 1	HIGHWAY 6 - 25 FEET (NON HABITABLE) 50 FEET (HABITABLE) FRONT - 10 FEET SIDE - 7.5 FEET REAR - 10 FEET RIVER - 75 FEET AS DEFINED IN PUD GUIDE
MAX LOT COVERAGE PLANNING AREA 1	TO ENCOURAGE CLUSTERING, SMALL LOTS AND THE PROVISION OF COMMON OPEN SPACE WHILE INTEGRATING CONSERVATION ORIENTED DESIGN AND RESIDENTIAL CLUSTER DESIGN TECHNIQUES THERE ARE NO MAXIMUM LOT COVERAGE RESTRICTIONS

GFA MATRIX BY BUILDING TYPE

UNIT TYPE	RESIDENTIAL GFA			UNIT TYPE	RESIDENTIAL GFA		
	TOTAL	LOWER	UPPER		TOTAL	LOWER	UPPER
TOWNHOME TYPE A							
TH-E2	3,161 SF	1,457 SF	1,704 SF	DUPLEX			
TH-E2	3,161 SF	1,457 SF	1,704 SF	DUP	3,541 SF	1,681 SF	1,860 SF
TH-M1	3,057 SF	1,492 SF	1,565 SF	DUP	3,541 SF	1,681 SF	1,860 SF
TH-M1	3,057 SF	1,492 SF	1,565 SF		7,082 SF	3,362 SF	3,720 SF
TH-M1	3,057 SF	1,492 SF	1,565 SF	SINGLE FAMILY			
TH-M1	3,057 SF	1,492 SF	1,565 SF	SF-A	4,328 SF	2,088 SF	2,240 SF
TH-M1	3,057 SF	1,492 SF	1,565 SF		4,328 SF	2,088 SF	2,240 SF
TH-M1	3,057 SF	1,492 SF	1,565 SF	SINGLE FAMILY			
TH-M1	3,057 SF	1,492 SF	1,565 SF	SF-B	4,157 SF	1,732 SF	2,425 SF
	21,607 SF	10,374 SF	11,233 SF		4,157 SF	1,732 SF	2,425 SF
TOWNHOME TYPE B							
TH-E1	2,856 SF	1,333 SF	1,523 SF				
TH-E1	2,856 SF	1,333 SF	1,523 SF				
TH-M2	2,845 SF	1,394 SF	1,451 SF				
TH-M2	2,845 SF	1,394 SF	1,451 SF				
	11,402 SF	5,454 SF	5,948 SF				
TOWNHOME TYPE C							
TH-E1	2,856 SF	1,333 SF	1,523 SF				
TH-E1	2,856 SF	1,333 SF	1,523 SF				
TH-M2	2,845 SF	1,394 SF	1,451 SF				
TH-M2	2,845 SF	1,394 SF	1,451 SF				
TH-M2	2,845 SF	1,394 SF	1,451 SF				
	14,247 SF	6,848 SF	7,399 SF				
TOWNHOME TYPE D							
TH-E1	2,856 SF	1,333 SF	1,523 SF				
TH-E1	2,856 SF	1,333 SF	1,523 SF				
TH-M2	2,845 SF	1,394 SF	1,451 SF				
	8,557 SF	4,060 SF	4,497 SF				

GFA MATRIX BY BUILDING

BLDG #	BLDG TYPE	UNIT COUNT	RESIDENTIAL GFA		
			TOTAL	LOWER	UPPER
BLDG 01	TOWNHOME TYPE A	7	21,607 SF	10,374 SF	11,233 SF
BLDG 02	TOWNHOME TYPE A	7	21,607 SF	10,374 SF	11,233 SF
BLDG 03	TOWNHOME TYPE A	7	21,607 SF	10,374 SF	11,233 SF
BLDG 04	TOWNHOME TYPE B	4	11,402 SF	5,454 SF	5,948 SF
BLDG 05	TOWNHOME TYPE B	4	11,402 SF	5,454 SF	5,948 SF
BLDG 06	TOWNHOME TYPE C	5	14,247 SF	6,848 SF	7,399 SF
BLDG 07	TOWNHOME TYPE C	5	14,247 SF	6,848 SF	7,399 SF
BLDG 08	TOWNHOME TYPE D	3	8,557 SF	4,060 SF	4,497 SF
BLDG 09	DUPLEX	2	7,082 SF	3,362 SF	3,720 SF
BLDG 10	DUPLEX	2	7,082 SF	3,362 SF	3,720 SF
BLDG 11	DUPLEX	2	7,082 SF	3,362 SF	3,720 SF
BLDG 12	DUPLEX	2	7,082 SF	3,362 SF	3,720 SF
BLDG 13	DUPLEX	2	7,082 SF	3,362 SF	3,720 SF
BLDG 14	DUPLEX	2	7,082 SF	3,362 SF	3,720 SF
BLDG 15	SINGLE FAMILY	1	4,157 SF	1,732 SF	2,425 SF
BLDG 16	SINGLE FAMILY	1	4,157 SF	1,732 SF	2,425 SF
BLDG 17	SINGLE FAMILY	1	4,157 SF	1,732 SF	2,425 SF
BLDG 18	SINGLE FAMILY	1	4,157 SF	1,732 SF	2,425 SF
BLDG 19	SINGLE FAMILY	1	4,328 SF	2,088 SF	2,240 SF
BLDG 20	SINGLE FAMILY	1	4,328 SF	2,088 SF	2,240 SF
BLDG 21	SINGLE FAMILY	1	4,328 SF	2,088 SF	2,240 SF
BLDG 22	SINGLE FAMILY	1	4,328 SF	2,088 SF	2,240 SF
BLDG 23	SINGLE FAMILY	1	4,328 SF	2,088 SF	2,240 SF
BLDG 24	SINGLE FAMILY	1	4,328 SF	2,088 SF	2,240 SF
BLDG 25	SINGLE FAMILY	1	4,328 SF	2,088 SF	2,240 SF
BLDG 26	SINGLE FAMILY	1	4,328 SF	2,088 SF	2,240 SF
PARCEL 1 TOTALS		66	218,420 SF	103,590 SF	114,830 SF

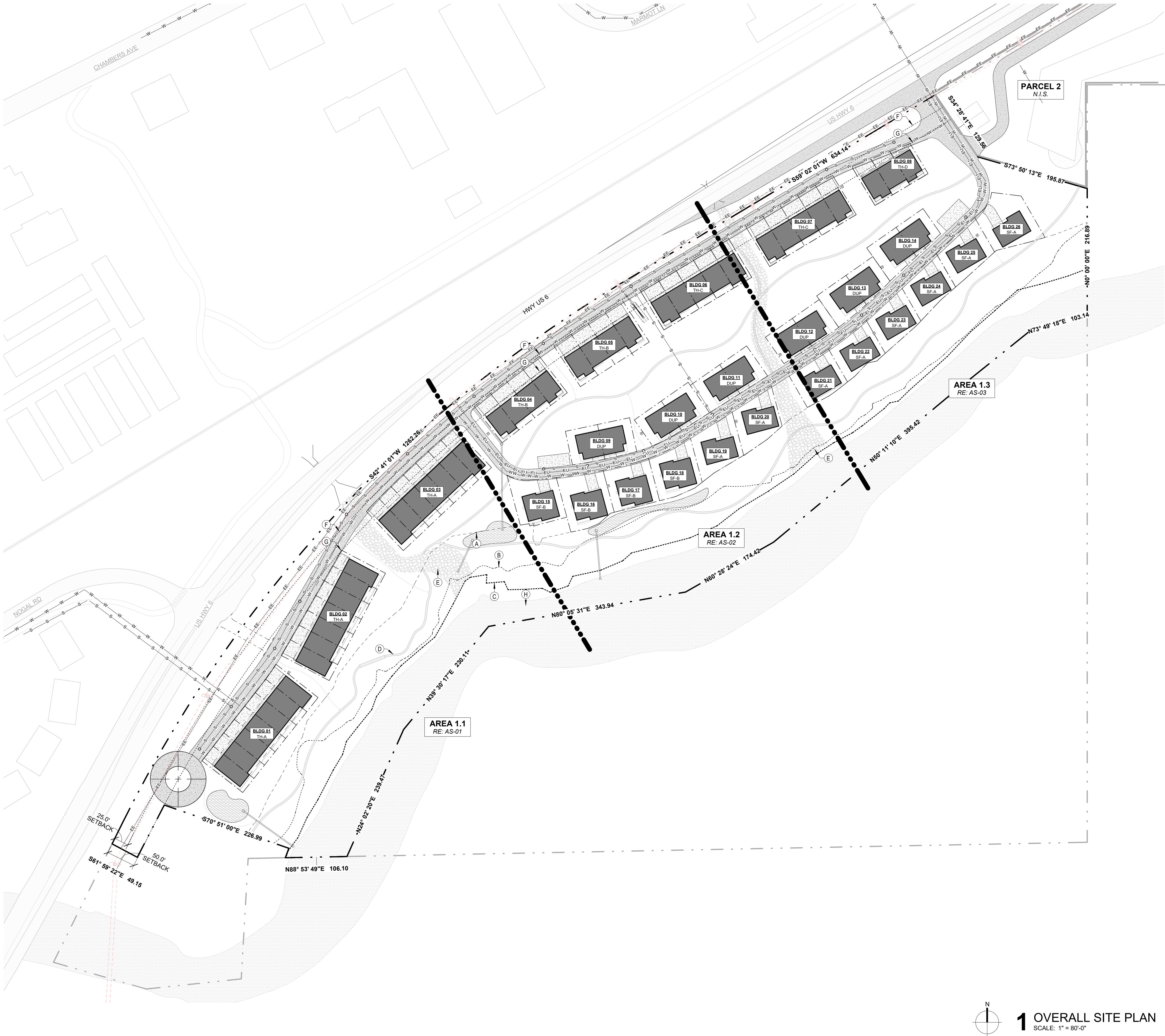
PARKING ANALYSIS

REQUIRED PARKING PER EAGLE LUDC TABLE 4.12-1

UNIT TYPE	CATEGORY	BEDROOMS	PARKING REQUIRED
TH-E1, TH-E2, TH-M1, TH-M2	DWELLING, MULTI-UNIT BUILDING	≥ 3 BEDROOMS	3 SPACES PER DU
DUP	DWELLING ATTACHED, TWO UNITS	≥ 3 BEDROOMS	3 SPACES PER DU
SF-A, SF-B	DWELLING DETACHED, SINGLE-FAMILY	≥ 3 BEDROOMS	3 SPACES PER DU

PARKING MATRIX BY BUILDING

UNIT		PARKING				UNIT		PARKING			
#	TYPE	REQ'D	TOT	EXT	INT	#	TYPE	REQ'D	TOT	EXT	INT
BLDG 01											
0101	TH-E2	3	4	2	2	BLDG 10					
0102	TH-M1	3	4	2	2	1001	DUP	3	3	1	2
0103	TH-M1	3	4	2	2	1002	DUP	3	3	1	2
0104	TH-M1	3	4	2	2			6	6		
0105	TH-M1	3	4	2	2	BLDG 11					
0106	TH-M1	3	4	2	2	1101	DUP	3	3	1	2
0107	TH-E2	3	4	2	2	1102	DUP	3	3	1	2
		21	28					6	6		
BLDG 02											
0201	TH-E2	3	4	2	2	BLDG 12					
0202	TH-M1	3	4	2	2	1201	DUP	3	3	1	2
0203	TH-M1	3	4	2	2	1202	DUP	3	3	1	2
0204	TH-M1	3	4	2	2			6	6		
0205	TH-M1	3	4	2	2	BLDG 13					
0206	TH-M1	3	4	2	2	1301	DUP	3	3	1	2
0207	TH-E2	3	4	2	2	1302	DUP	3	3	1	2
		21	28					6	6		
BLDG 03											
0301	TH-E2	3	4	2	2	BLDG 14					
0302	TH-M1	3	4	2	2	1401	DUP	3	3	1	2
0303	TH-M1	3	4	2	2	1402	DUP	3	3	1	2
0304	TH-M1	3	4	2	2			6	6		
0305	TH-M1	3	4	2	2	BLDG 15					
0306	TH-M1	3	4	2	2	1501	SF-B	3	4	2	2
0307	TH-E2	3	4	2	2			3	4		
		21	28			BLDG 16					
BLDG 04											
0401	TH-E1	3	4	2	2	1601	SF-B	3	4	2	2
0402	TH-M2	3	4	2	2			3	4		
0403	TH-M2	3	4	2	2	BLDG 17					
0404	TH-E1	3	4	2	2	1701	SF-B	3	4	2	2
		12	16					3	4		
BLDG 05											
0501	TH-E1	3	4	2	2	BLDG 18					
0502	TH-M2	3	4	2	2	1801	SF-B	3	4	2	2
0503	TH-M2	3	4	2	2			3	4		
0504	TH-E1	3	4	2	2	BLDG 19					
		12	16			1901	SF-A	3	4	2	2
BLDG 06											
0601	TH-E1	3	4	2	2			3	4		
0602	TH-M2	3	4	2	2	BLDG 20					
0603	TH-M2	3	4	2	2	2001	SF-A	3	4	2	2
0604	TH-M2	3	4	2	2			3	4		
0605	TH-E1	3	4	2	2	BLDG 21					
		15	20			2101	SF-A	3	4	2	2
BLDG 07											
0701	TH-E1	3	4	2	2			3	4		
0702	TH-M2	3	4	2	2	BLDG 22					
0703	TH-M2	3	4	2	2	2201	SF-A	3	4	2	2
0704	TH-M2	3	4	2	2			3	4		
0705	TH-E1	3	4	2	2	BLDG 23					
		15	20			2301	SF-A	3	4	2	2
BLDG 08											
0801	TH-E1	3	4	2	2			3	4		
0802	TH-M2	3	4	2	2	BLDG 24					
0803	TH-E1	3	4	2	2	2401	SF-A	3	4	2	2
		9	12					3	4		
BLDG 09											
0901	DUP	3	3	1	2	BLDG 25					
0902	DUP	3	3	1	2	2501	SF-A	3	4	2	2
		6	6					3	4		



1 OVERALL SITE PLAN
SCALE: 1" = 80'-0"

GENERAL NOTES

- UTILITIES WILL BE CONNECTED TO THE LOCAL EAGLE MUNICIPALITY SYSTEMS.
- ONLY WATER AND ELECTRICITY WILL BE BROUGHT TO THE SITE AS THERE IS NO ACCESS TO GAS AND ALL BUILDINGS WILL BE ALL ELECTRIC.
- RE: CIVIL SHEETS (C-SERIES) FOR DETAILED UTILITY AND GRADING INFORMATION

SHEET NOTES

- A 75' STREAM SETBACK
B 100 YEAR FLOOD PLAIN
C AVERAGE HIGH WATER LINE
D DISCOVERY TRAIL
E SWALE FOR CONVEYING STORM WATER TO THE RIVER
F 25' SETBACK FROM HWY 6
G 50' SETBACK FROM HWY 6
H EAGLE RIVER

LEGEND

	ROAD ASPHALT
	SIDEWALK CONCRETE
	TRAIL DISCOVERY TRAIL
	STORMWATER SWALE
	STORMWATER/IRRIGATION POND
	BUILDING FOOTPRINT
	DRIVEWAY/PARKING CONCRETE
	PARCEL BOUNDARY LINE
	PROPERTY LINE SPECIFIC TO INDIVIDUAL UNITS
	75' STREAM SETBACK
	100 YEAR FLOOD PLAIN
	AVERAGE HIGH WATER LINE
	ELECTRICAL EXISTING OVERHEAD
	ELECTRICAL UNDERGROUND
	WATER SUPPLY
	SANITARY SEWER
	SANITARY FORCE MAIN
	TRANSFORMER
	SANITARY LIFT STATION
	IRRIGATION

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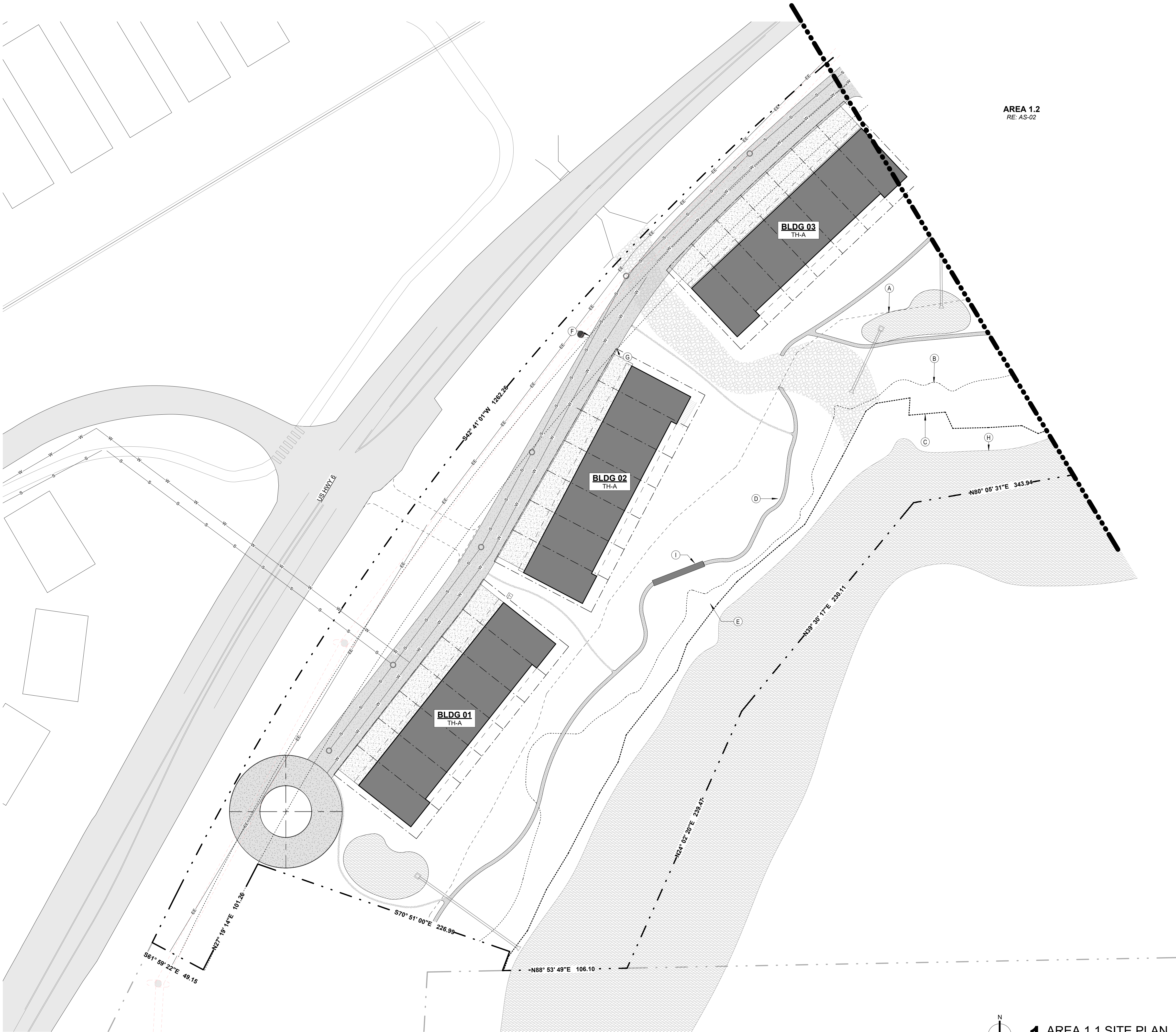
CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE

OVERALL SITE

AS-00



GENERAL NOTES

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E SWALE FOR CONVEYING STORM WATER TO THE RIVER
F 25' SETBACK FROM HWY 6
G 50' SETBACK FROM HWY 6
H EAGLE RIVER
I BRIDGE @ DISCOVERY TRAIL

LEGEND

- | | |
|--|---|
| | ROAD
ASPHALT |
| | SIDEWALK
CONCRETE |
| | TRAIL
DISCOVERY TRAIL |
| | STORMWATER SWALE |
| | STORMWATER/IRRIGATION POND |
| | BUILDING FOOTPRINT |
| | DRIVEWAY/PARKING
CONCRETE |
| | PARCEL BOUNDARY LINE |
| | PROPERTY LINE
SPECIFIC TO INDIVIDUAL UNITS |
| | 75' STREAM SETBACK |
| | 100 YEAR FLOOD PLAIN |
| | AVERAGE HIGH WATER LINE |
| | ELECTRICAL
EXISTING OVERHEAD |
| | ELECTRICAL
UNDERGROUND |
| | WATER SUPPLY |
| | SANITARY SEWER |
| | SANITARY FORCE MAIN |
| | TRANSFORMER |
| | SANITARY LIFT STATION |
| | IRRIGATION |

1 AREA 1.1 SITE PLAN
SCALE: 1" = 40'-0"

PROJECT

RED MOUNTAIN RANCH

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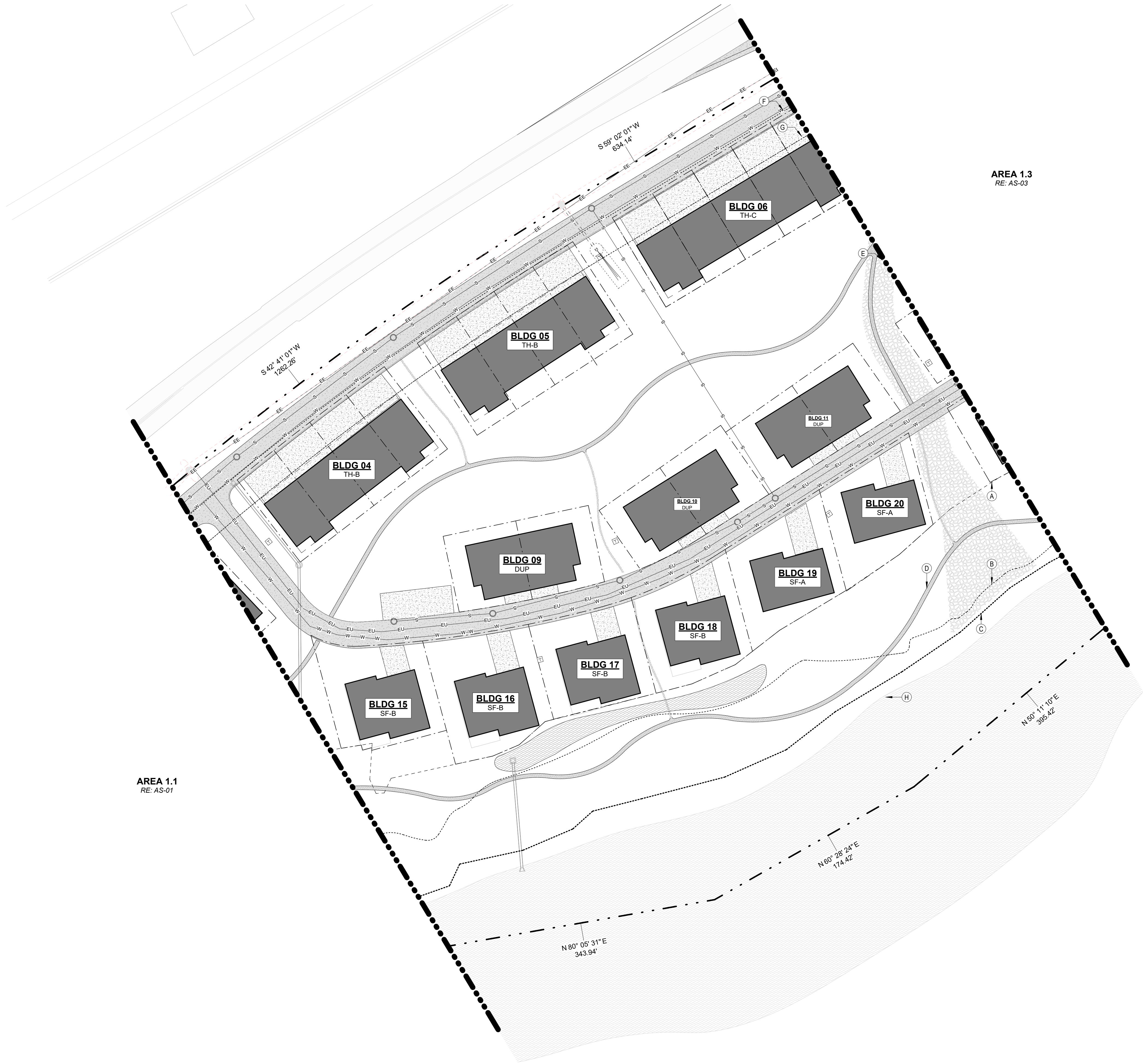
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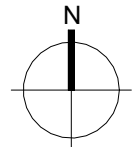
AREA 1.1

AS-01



AREA 1.1
RE: AS-01

AREA 1.3
RE: AS-03



1 SITE PLAN - AREA 1.2
SCALE: 1" = 40'-0"

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	WATER SUPPLY
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	SANITARY FORCE MAIN
	TRANSFORMER
	SANITARY LIFT STATION
	IRRIGATION

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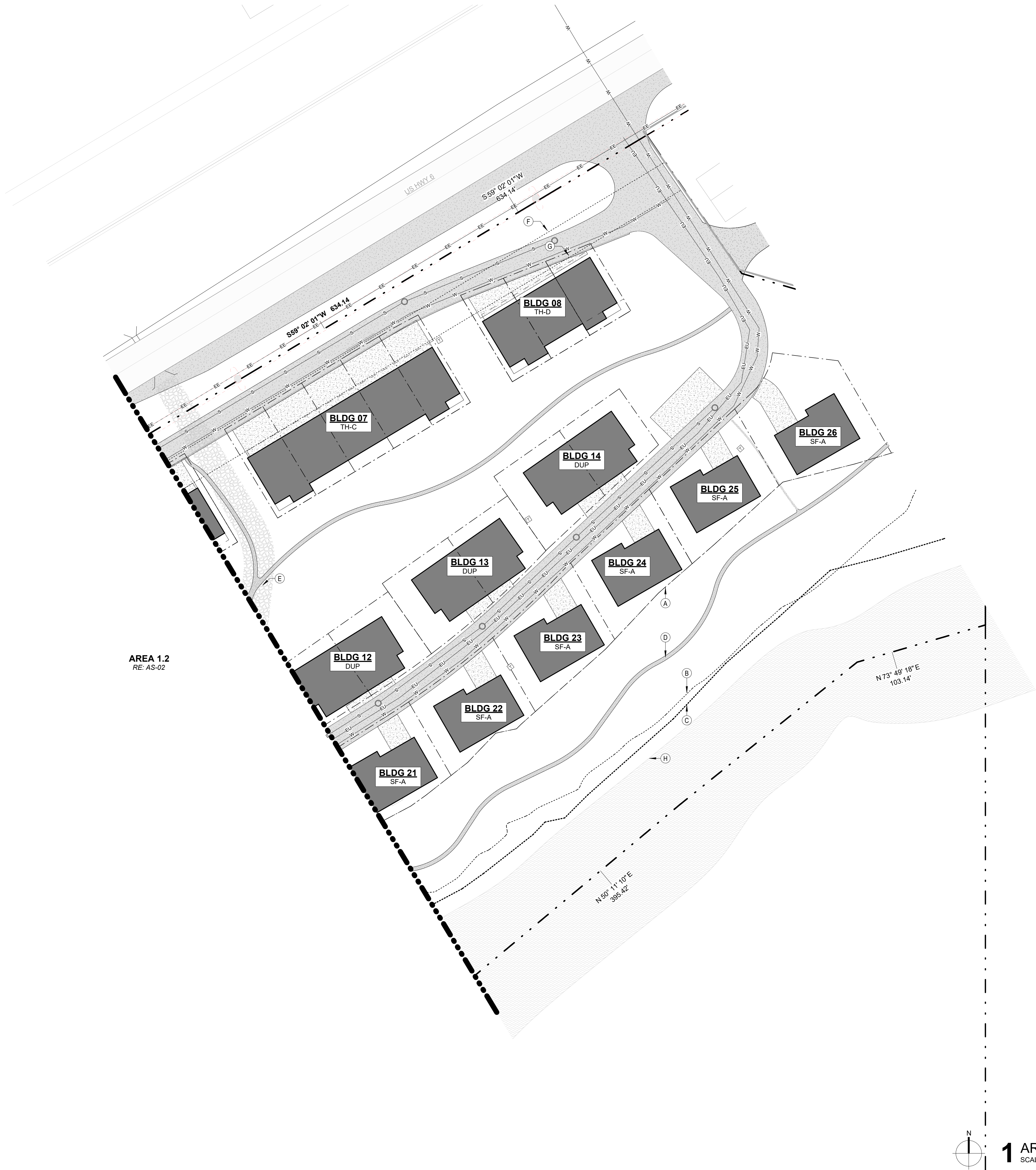
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REVISION HISTORY

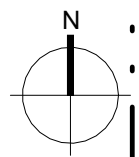
DRAWING SHEET TITLE

AREA 1.2

AS-02



AREA 1.2
RE: AS-02



1 AREA 1.3 SITE PLAN
SCALE: 1" = 40'-0"

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	WATER SUPPLY
	SANITARY SEWER
	SANITARY FORCE MAIN
	TRANSFORMER
	SANITARY LIFT STATION
	IRRIGATION

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ISSUE DATE

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CURRENT REVISION

REVISION HISTORY

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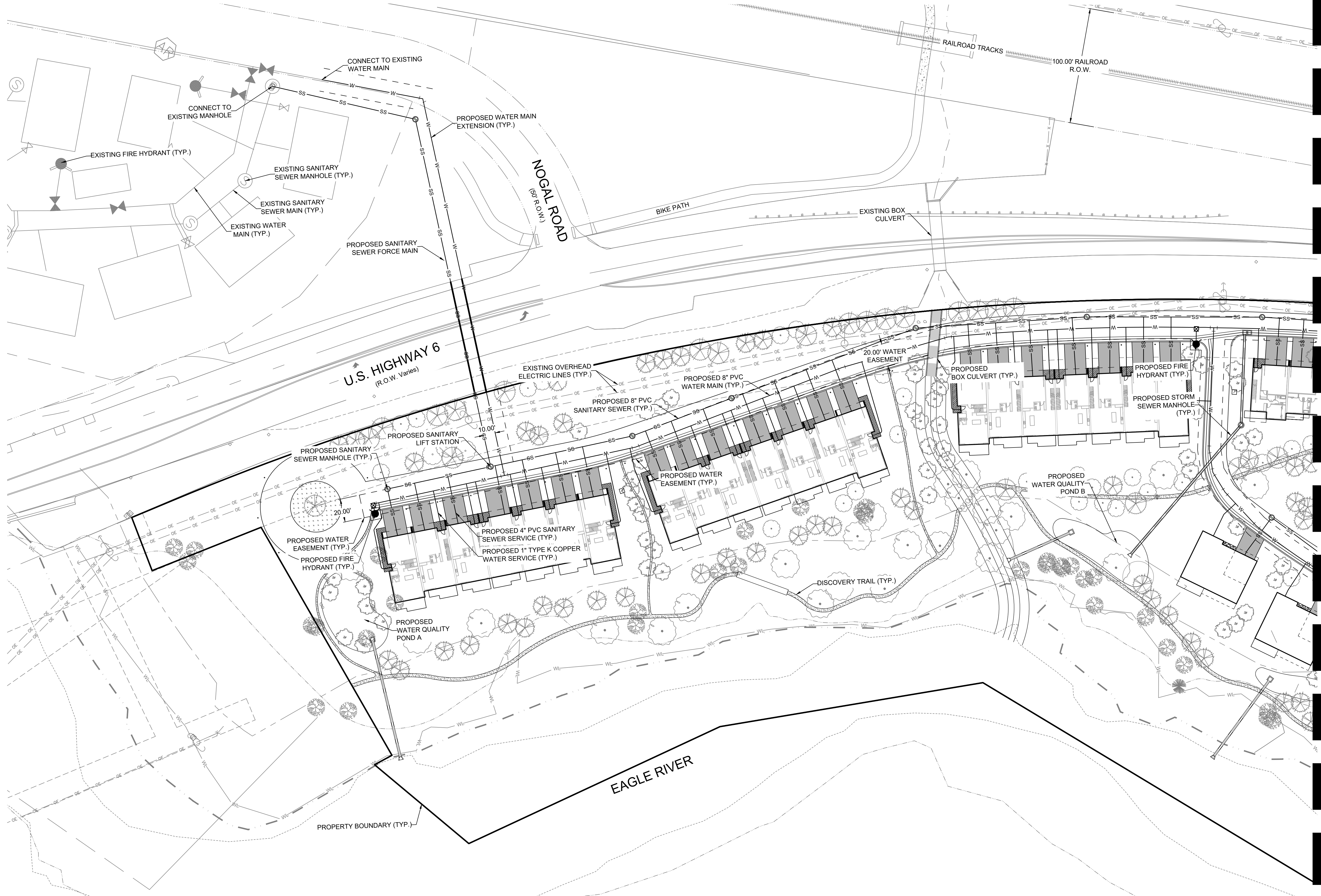
AREA 1.3

AS-03

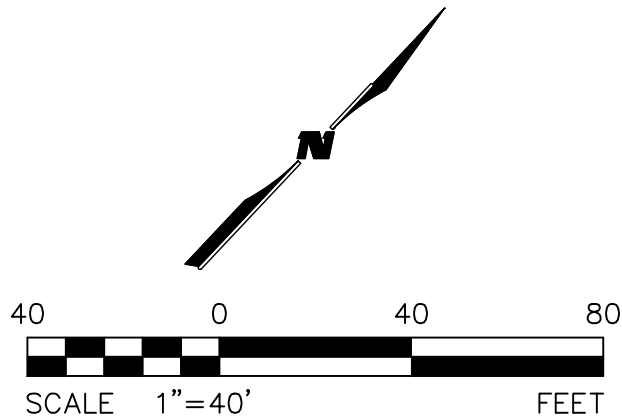
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Know what's below.
Call before you dig.



MATCHLINE - SEE SHEET C-02



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RED MOUNTAIN RANCH (SF-A)

17500 US-6, Eagle, CO 81631

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MAJOR DEVELOPMENT PERMIT

ISSUE DATE

1.13.2025

REVISION HISTORY

DRAWING SHEET TITLE

OVERALL UTILITY PLAN - WEST

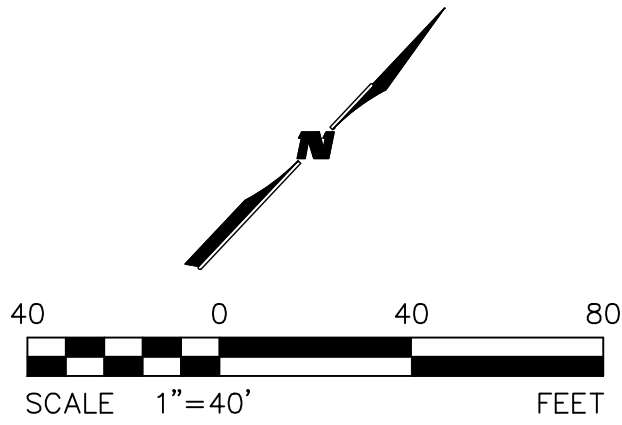
C-01

1/13/2025 M:\MSD\23-600-691+00\2_Disciplines_SHEETS\PSP\Red Mountain Ranch - PSP - Overall Utility Plan.dwg

MATCHLINE - SEE SHEET C-01



Know what's below.
Call before you dig.



PROJECT
RED MOUNTAIN RANCH (SF-A)

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tres birds

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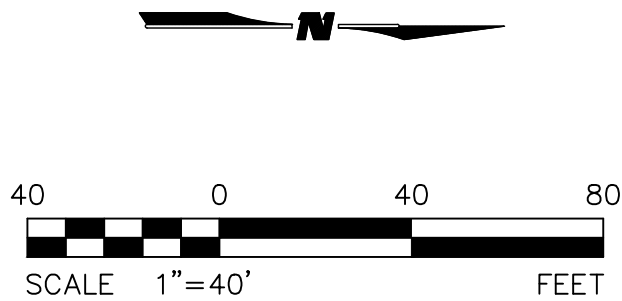
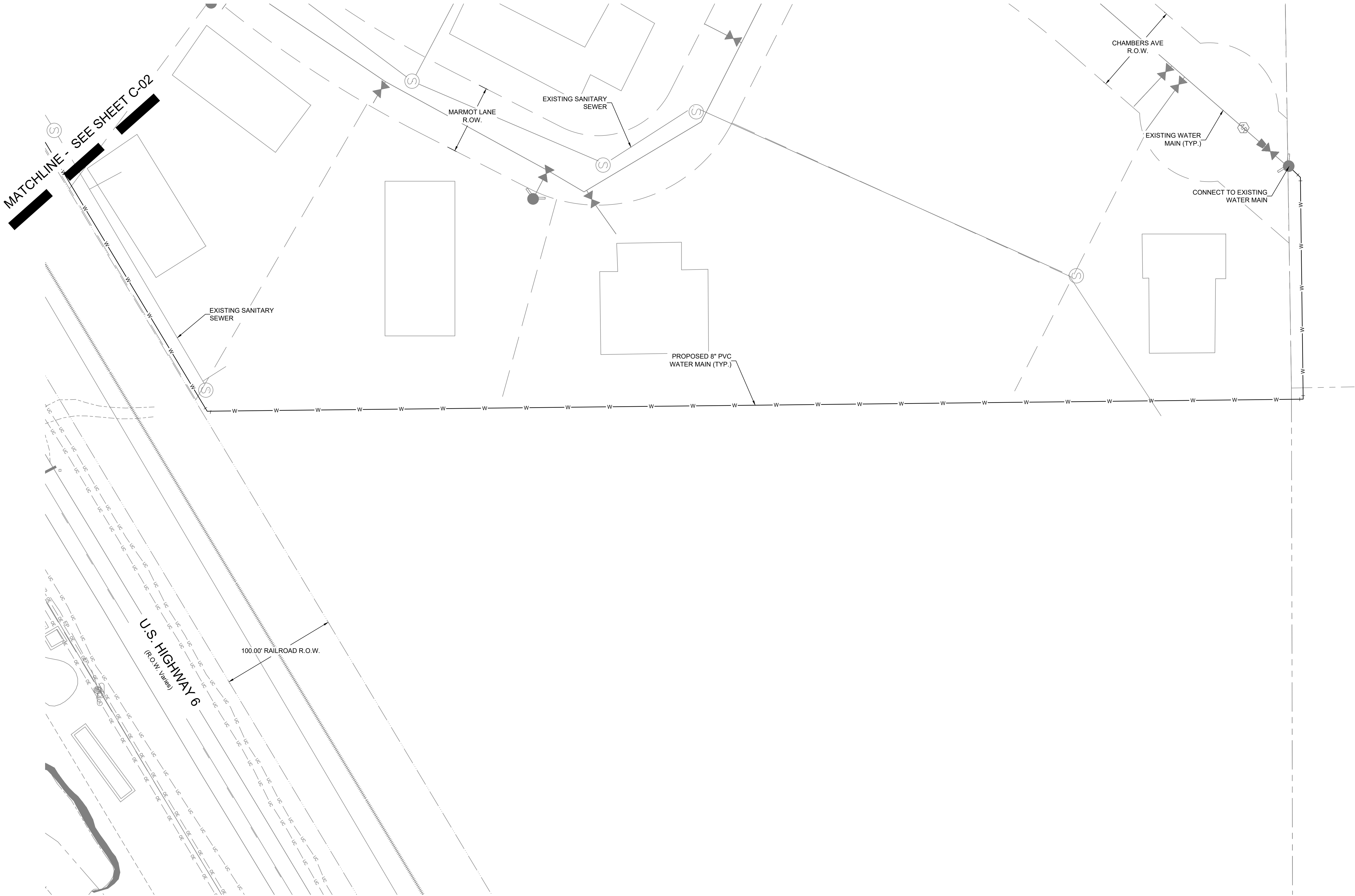
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DRAWING SHEET TITLE

OVERALL UTILITY PLAN - EAST

C-02

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PROJECT
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1.13.2025

REVISION HISTORY

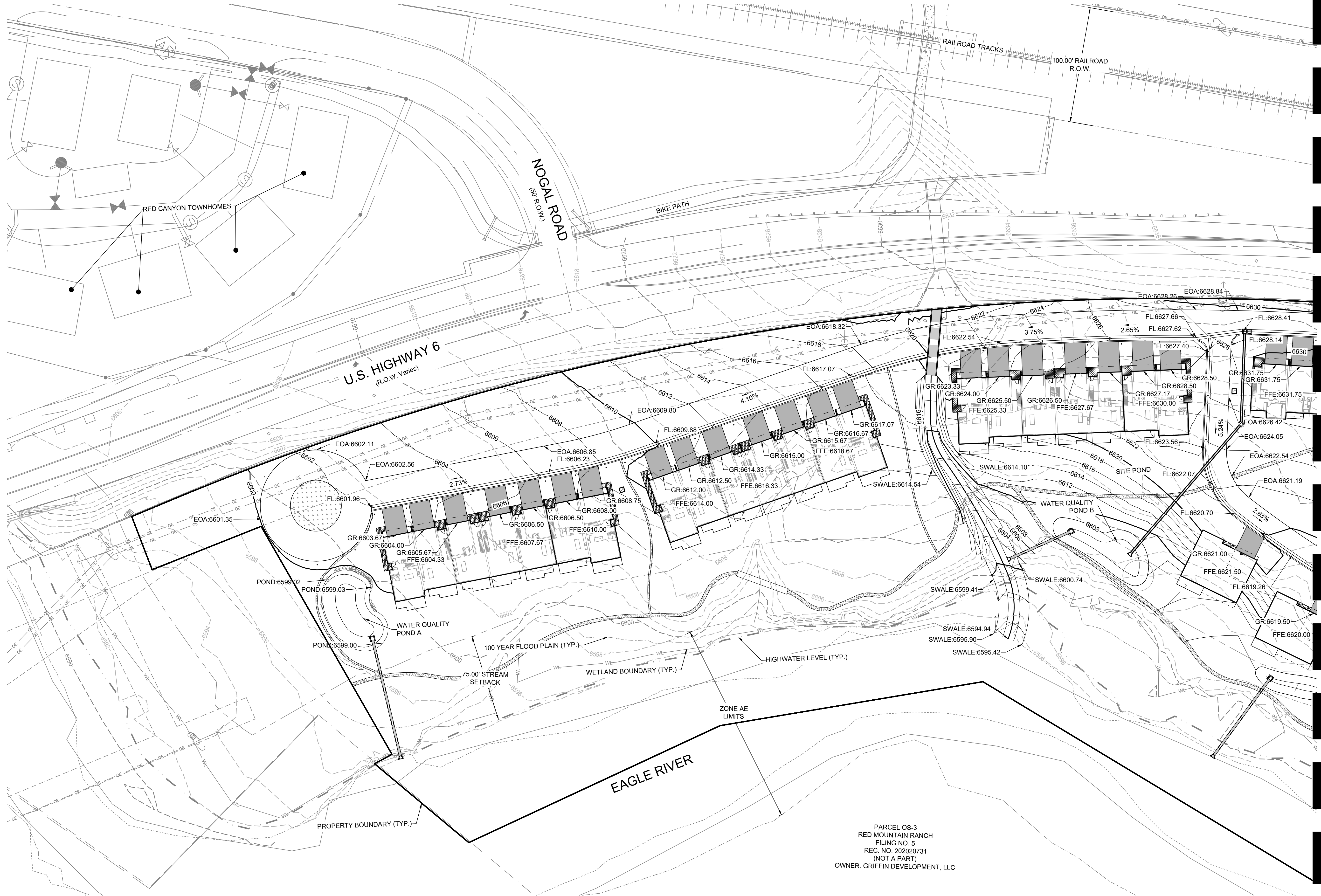
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OVERALL UTILITY PLAN - NORTHEAST

C-03

M:\MSD\23-600-691+00\2_Disciplines\ SHEETS\PSP\Red Mountain Ranch - PSP - Overall Grading Plan.dwg 1/13/2025



Know what's below.
Call before you dig.



PARCEL OS-3
RED MOUNTAIN RANCH
FILING NO. 5
REC. NO. 202020731
(NOT A PART)
OWNER: GRIFFIN DEVELOPMENT, LLC

PROJECT
**RED MOUNTAIN
RANCH (SF-A)**

17500 US-6, Eagle, CO 81631

ARCHITECT/
GENERAL CONTRACTOR

tres birds

PROJECT TEAM

MIKE MOORE
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MMM@TRESBIRDS.COM

DOUG NEWBY
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DAVID HOFFMAN
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ECOLOGY

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HEATHER HOUSTON
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DEVELOPMENT
PERMIT**

ISSUE DATE

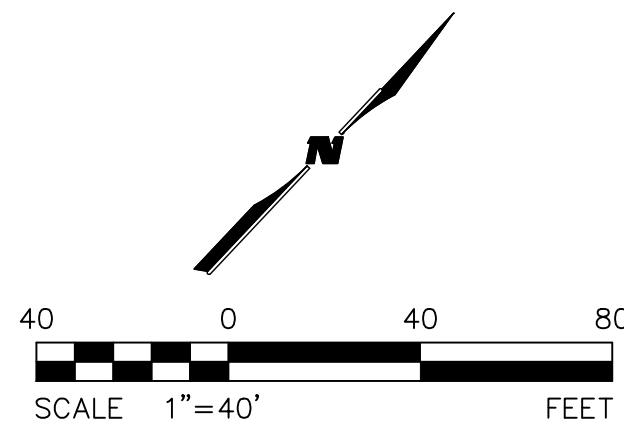
1.13.2025

REVISION HISTORY

DRAWING SHEET TITLE

**OVERALL GRADING
PLAN - WEST**

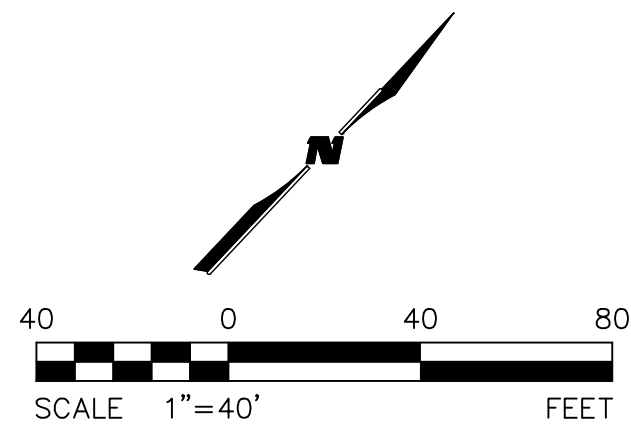
C-04



MATCHLINE - SEE SHEET C-04



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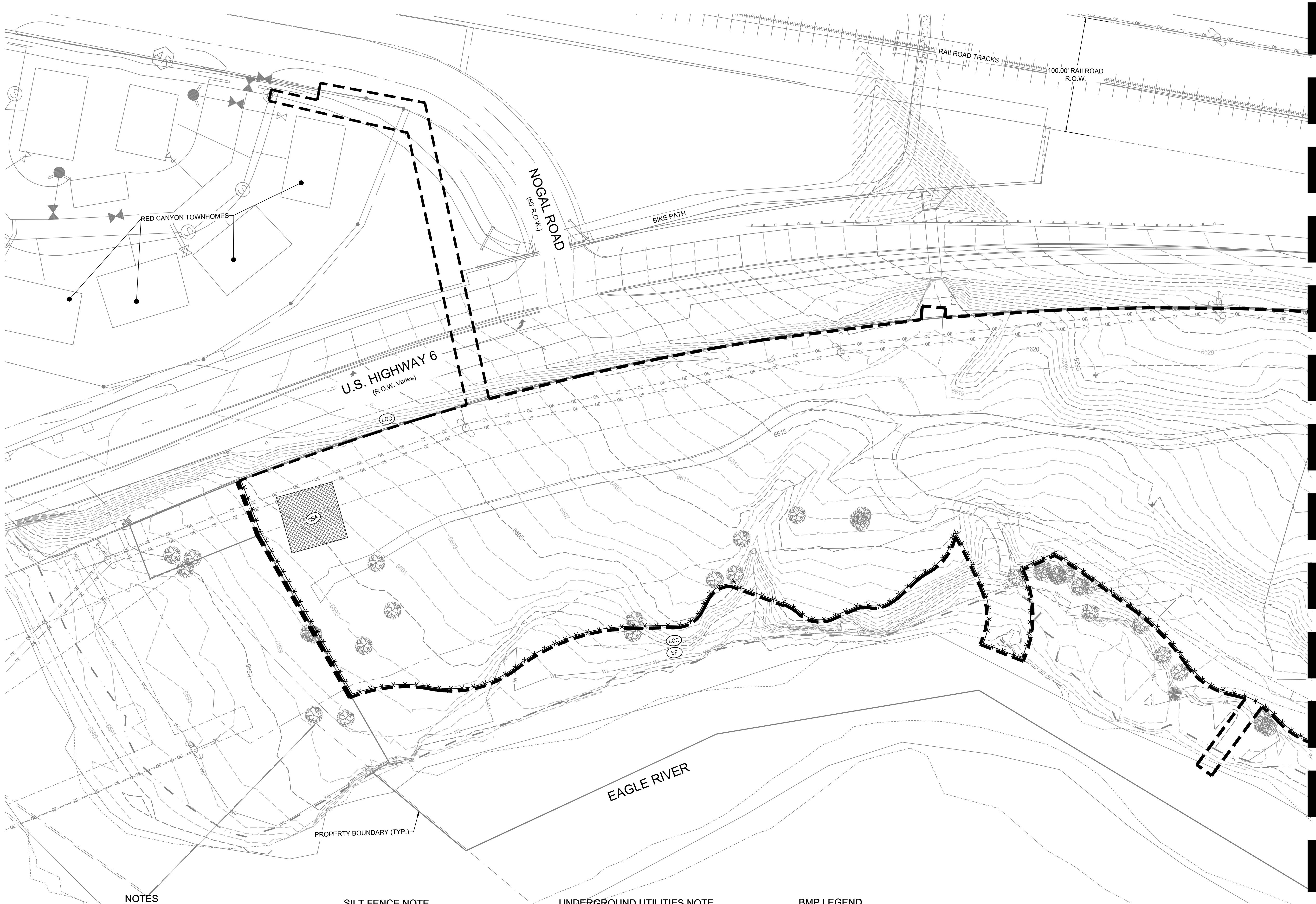
OVERALL GRADING PLAN - EAST

C-05

1/13/2025 M:\MSD\23-600-691-002_Disciplines_SHEETS\PSP\Red Mountain Ranch - PSP - Erosion Control Initial.dwg



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NOTES

1. WILSON & COMPANY DOES NOT GUARANTEE THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON. CONTRACTOR TO VERIFY EXISTING/PROPOSED UTILITIES VERTICAL AND HORIZONTAL LOCATIONS PRIOR TO CONSTRUCTION.
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SURFACE ROUGHENING NOTE

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UNDERGROUND UTILITIES NOTE

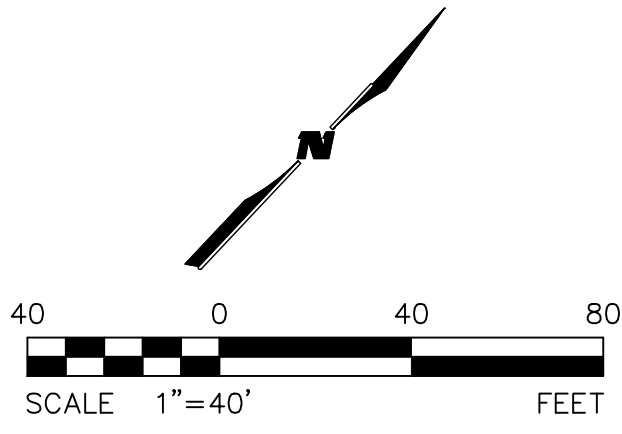
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BMP LEGEND

CF		CONSTRUCTION FENCE	SF		SILT FENCE
CWA		CONCRETE WASHOUT AREA	SSA		STABILIZED STAGING AREA
IP		INLET PROTECTION	SB		SEDIMENT BASIN
LOC		LIMITS OF CONSTRUCTION	SP		STOCK PILE
RS		ROCK SOCK	VTC		VEHICLE TRACTION CONTROL



PROJECT

RED MOUNTAIN RANCH (SF-A)

17500 US-6, Eagle, CO 81631

ARCHITECT/

GENERAL CONTRACTOR

tres birds

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ISSUANCE

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ISSUE DATE

1.13.2025

REVISION HISTORY

DRAWING SHEET TITLE

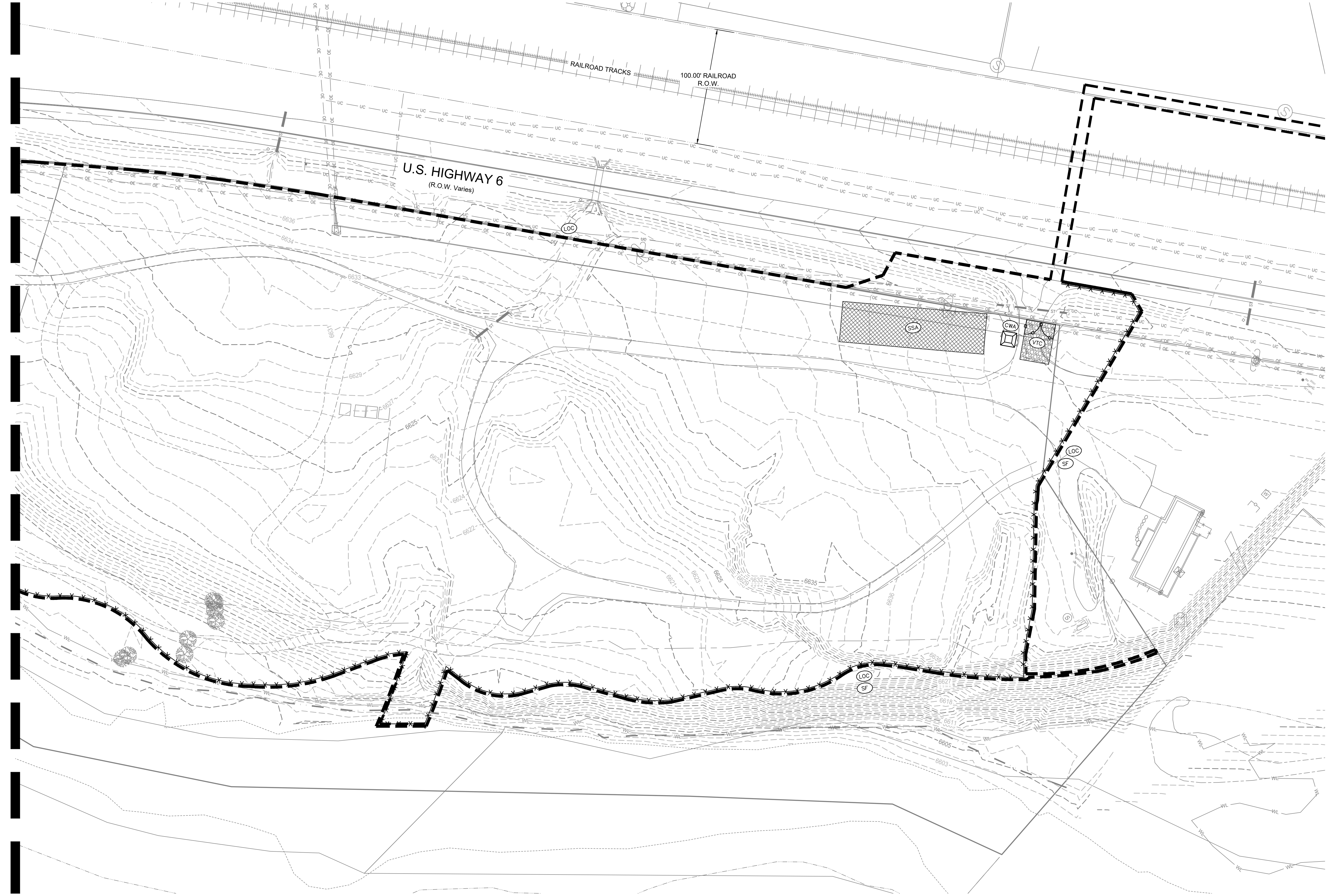
EROSION CONTROL INITIAL - WEST

C-06

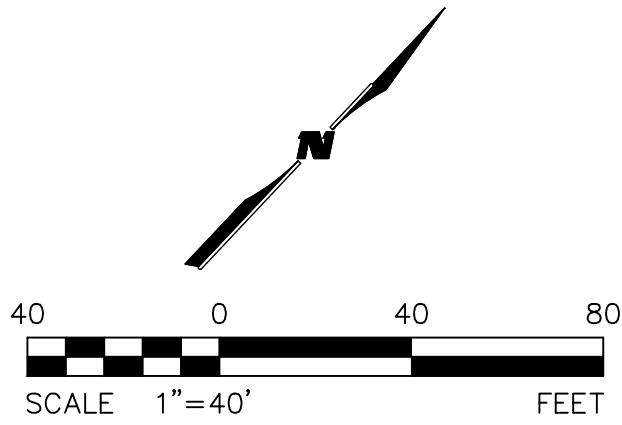
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1/13/2025

MATCHLINE - SEE SHEET C-06



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17500 US-6, Eagle, CO 81631

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REVISION HISTORY

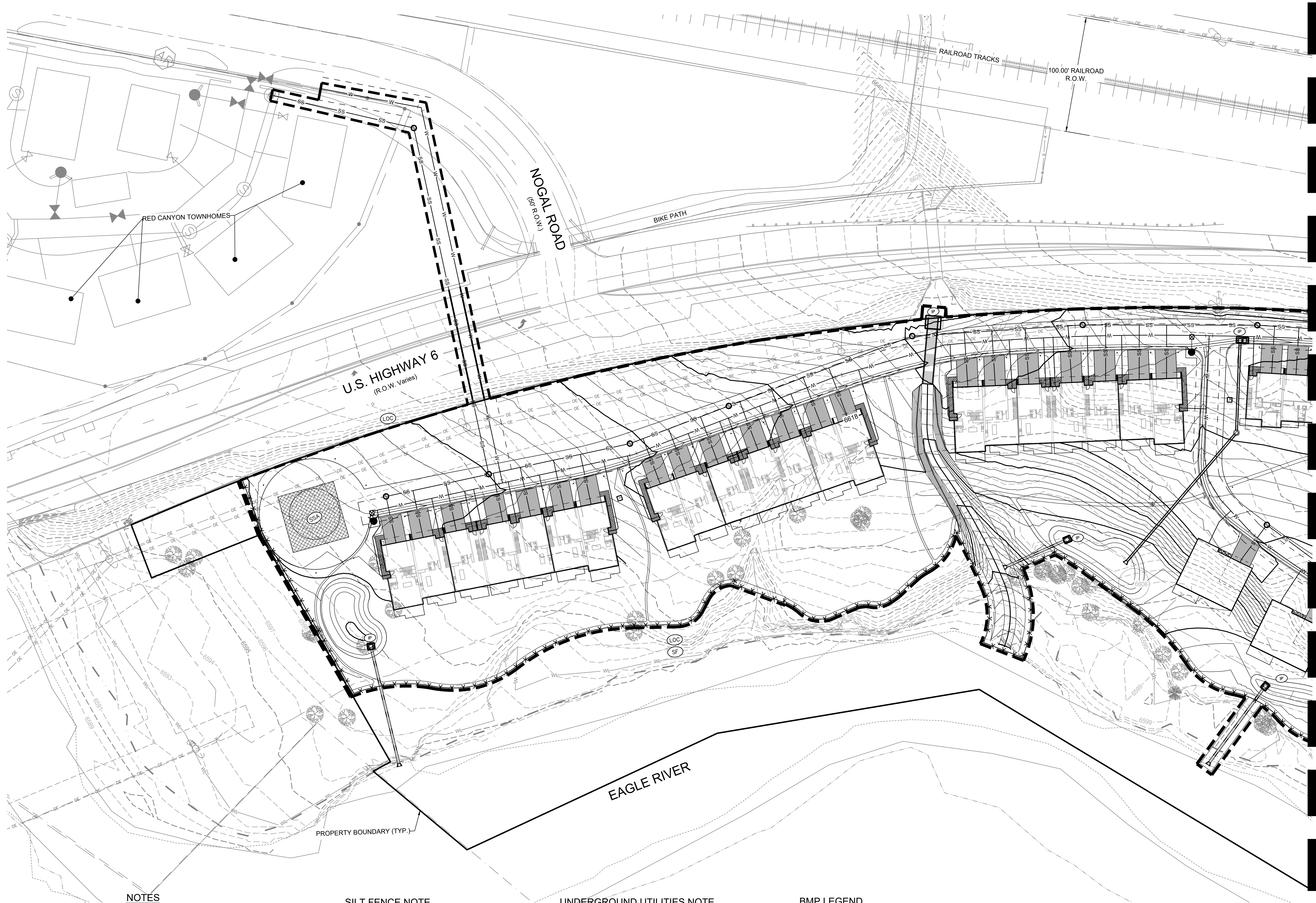
DRAWING SHEET TITLE

**EROSION CONTROL
INITIAL - EAST**

C-07



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NOTES

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UNDERGROUND UTILITIES NOTE

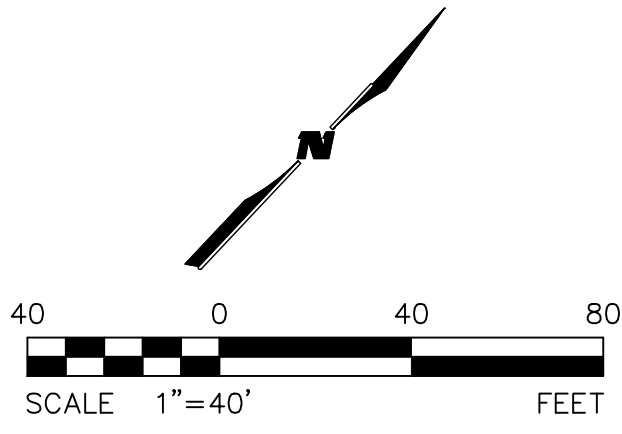
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BMP LEGEND

CF	CONSTRUCTION FENCE	SF	SILT FENCE
CWA	CONCRETE WASHOUT AREA	SSA	STABILIZED STAGING AREA
IP	INLET PROTECTION	SB	SEDIMENT BASIN
LOC	LIMITS OF CONSTRUCTION	SP	STOCK PILE
RS	ROCK SOCK	VTC	VEHICLE TRACTION CONTROL



MATCHLINE - SEE SHEET C-09

PROJECT
RED MOUNTAIN RANCH (SF-A)

17500 US-6, Eagle, CO 81631

ARCHITECT/
GENERAL CONTRACTOR

tres birds

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ISSUE DATE

1.13.2025

REVISION HISTORY

DRAWING SHEET TITLE

EROSION CONTROL
INTERIM - WEST

C-08

1/13/2025 M:\MSD\23-600-691-002_Disciplines_SHEETS\PSP\Red Mountain Ranch - PSP - Erosion Control Interim.dwg

MATCHLINE - SEE SHEET C-08



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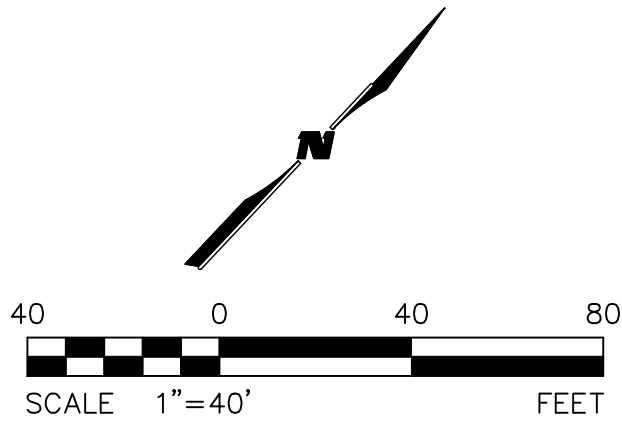
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IP		INLET PROTECTION	SB		SEDIMENT BASIN
LOC		LIMITS OF CONSTRUCTION	SP		STOCK PILE
RS		ROCK SOCK	VTC		VEHICLE TRACTION CONTROL



PROJECT

RED MOUNTAIN RANCH (SF-A)

17500 US-6, Eagle, CO 81631

ARCHITECT/

GENERAL CONTRACTOR

tres birds

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REVISION HISTORY

DRAWING SHEET TITLE

EROSION CONTROL INTERIM - EAST

C-09

M:\MSD\23-600-691+00\2_Disciplines_SHEETS\PSP\Red Mountain Ranch - PSP - Erosion Control Final.dwg

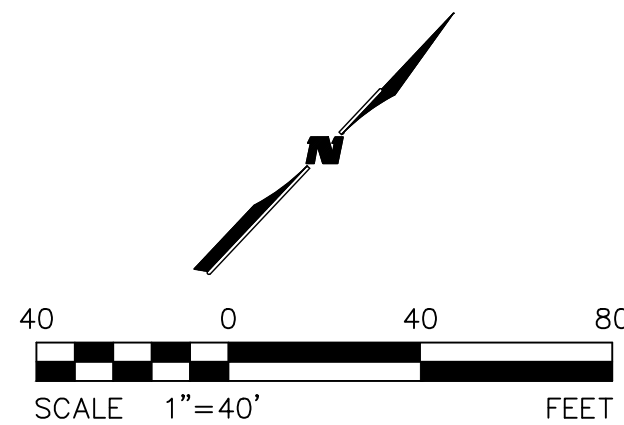
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RANCH (SF-A)**

17500 US-6, Eagle, CO 81631

ARCHITECT/

GENERAL CONTRACTOR

tres birds

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ISSUANCE

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DEVELOPMENT
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ISSUE DATE

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REVISION HISTORY

DRAWING SHEET TITLE

**EROSION CONTROL
FINAL - WEST**

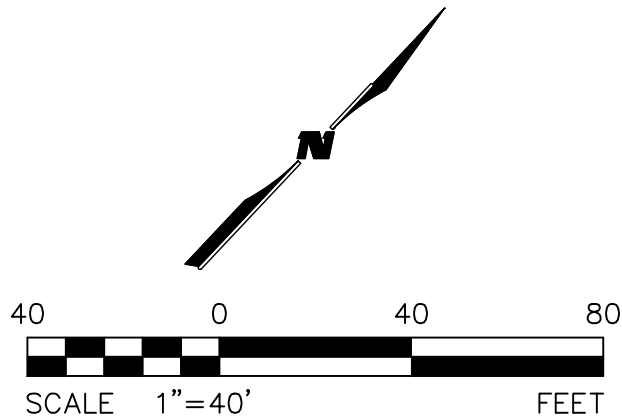
C-10

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MATCHLINE - SEE SHEET C-10



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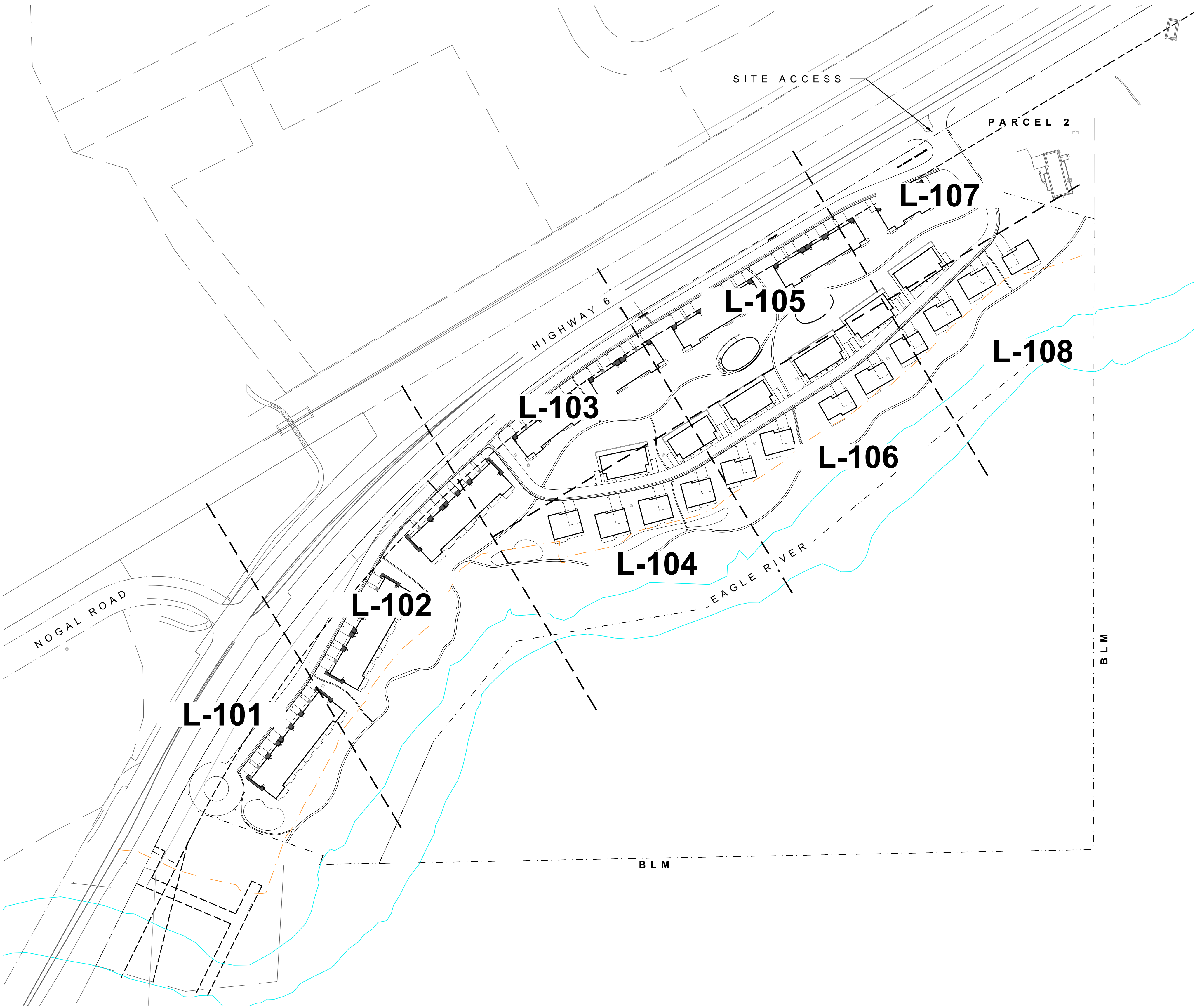
1.13.2025

REVISION HISTORY

DRAWING SHEET TITLE

**EROSION CONTROL
FINAL - EAST**

C-11



01 KEYMAP
1"=100'

LAYOUT AND MATERIALS NOTES

1. SURVEY WAS PREPARED BY ARCHIBEQUE LAND CONSULTING, LTD, DATED 02/29/2016. REFERENCE SURVEY NOTES FOR ADDITIONAL REQUIREMENTS FOR TOWN AND COUNTY OF EAGLE.
2. DO NOT SCALE THE PLANS. DIMENSIONS SUPERSEDE DRAWING SCALES. VERIFY LAYOUT PRIOR TO EXCAVATION.
3. DIMENSIONS ARE DRAWN TO FACE OF CURB, WALL, AND EDGE UNLESS OTHERWISE SPECIFIED.
4. IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS, THE SPECIFICATIONS WILL SUPERSEDE PLANS.
5. CONTRACTOR TO CLEARLY STAKE ALL CORNERS OF PAVED AREAS FOR OWNER'S REPRESENTATIVE'S APPROVAL PRIOR TO SETTING EDGES OR FORMS.
6. OBTAIN APPROVAL OF OWNER'S REPRESENTATIVE FOR ALL FORM WORK AT LEAST 24 HOURS PRIOR TO PLACING CURBS, FOUNDATIONS, OR PAVEMENTS.
7. CONTRACTOR TO PROVIDE EXPANSION JOINT AND SCORE JOINT LAYOUT PLAN FOR APPROVAL BY LANDSCAPE ARCHITECT/PROJECT MANAGER PRIOR TO CONSTRUCTION.

GRADING AND DRAINAGE NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND PLANS FOR BACK OF CURB ELEVATIONS, BUILDING FIRST FLOOR ELEVATIONS, ETC.
2. PAVED AREAS SHALL HAVE A MAXIMUM SLOPE OF 2% CROSS SLOPE UNLESS OTHERWISE SPECIFIED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
4. ALL FINISHED HARDSCAPE AND LANDSCAPE AREAS SHALL BE SLOPED TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TOWARD DRAINAGE INLETS AND FACILITIES.
5. GRADES IN LANDSCAPE AREAS SHALL SLOPE A MINIMUM OF 2% AND A MAXIMUM OF 3:1 UNLESS OTHERWISE NOTED OR APPROVED.
6. FEATHER ALL FINISH GRADES TO MEET EXISTING GRADES WITHOUT ABRUPT CHANGES IN SLOPE.
7. CONTRACTOR SHALL STABILIZE AND MAINTAIN EXISTING SLOPES AND GRADES AS REQUIRED AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY EROSION OR SLOPE FAILURE AT NO ADDITIONAL COST TO THE OWNER

LANDSCAPE SHEET INDEX

LANDSCAPE NOTES

L-000 COVER SHEET

LAYOUT & MATERIALS

L-101 LAYOUT AND MATERIALS PLAN
L-102 LAYOUT AND MATERIALS PLAN
L-103 LAYOUT AND MATERIALS PLAN
L-104 LAYOUT AND MATERIALS PLAN
L-105 LAYOUT AND MATERIALS PLAN
L-106 LAYOUT AND MATERIALS PLAN
L-107 LAYOUT AND MATERIALS PLAN
L-108 LAYOUT AND MATERIALS PLAN

PLANTING

L-400 PLANTING NOTES
L-401 PLANTING SCHEDULES
L-402 PLANTING PLAN
L-403 PLANTING PLAN
L-404 PLANTING PLAN
L-405 PLANTING PLAN
L-406 PLANTING PLAN
L-407 PLANTING PLAN
L-408 PLANTING PLAN
L-409 PLANTING PLAN

LANDSCAPE CALCULATIONS

1. HARDSCAPE
 - 1.1. 134,924 SF OF IMPERVIOUS SURFACE (INCLUDING BUILDING FOOTPRINTS)
 - 26,678 SF OF CONCRETE PAVING
 - 85,722 SF OF ASPHALT PAVING
 - 22,524 SF OF PAVERS
 - 1.1. 14,845 SF OF PERVIOUS SURFACE
 - 14,845 SF OF CRUSHER FINES/SOFT SURFACE TRAIL
2. IRRIGATION
 - 2.1. 246,597 SF OF TEMPORARY IRRIGATED AREA USING AN EFFICIENT IRRIGATION SYSTEM FOR SEED ESTABLISHMENT
 - 2.2. 18,945 SF OF PERMANENT IRRIGATED AREA USING AN EFFICIENT IRRIGATION SYSTEM
 - 5,136 SF IRRIGATED TURF
 - 13,809 SF CONTAINERIZED PLANTING, CONSISTS OF SHRUBS, GRASSES, AND PERENNIALS
 - 404 TREES ZONED SEPARATELY TO BE TURNED OFF AS NEEDED

PROJECT

RED MOUNTAIN RANCH

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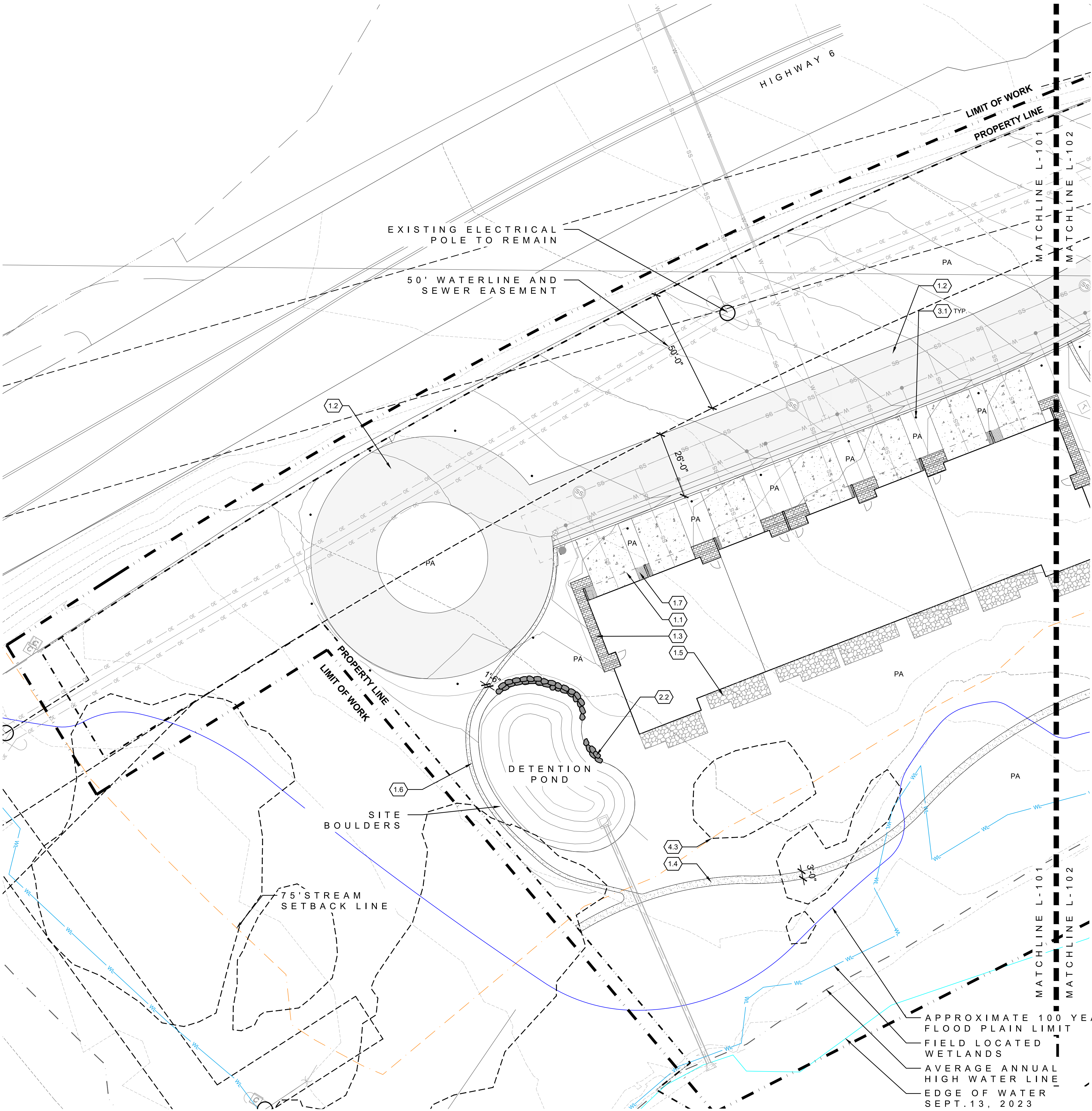
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COVER SHEET

L-000



01 LAYOUT AND MATERIALS
1"=20'

LAYOUT AND MATERIALS LEGEND

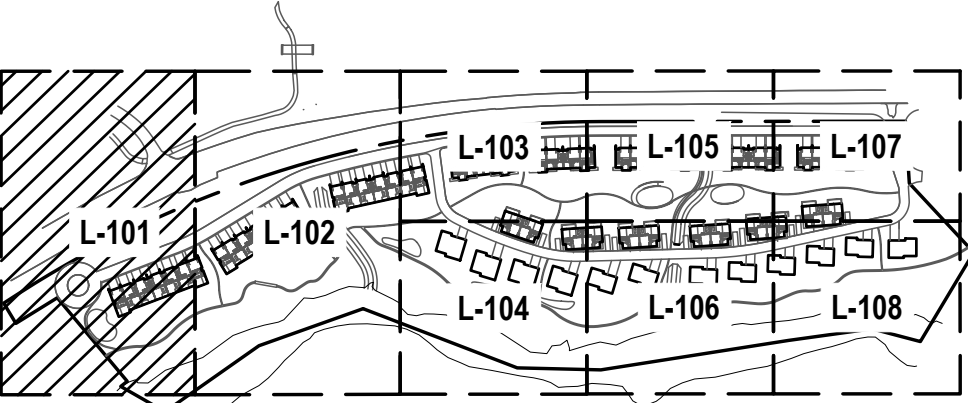
0.0	LEGEND	DETAIL
0.1	LIMIT OF WORK	NA
0.2	PROPERTY LINE NA	
0.3	50' WATERLINE&SEWER EASEMENT	NA
0.4	75' STREAM SETBACK LINE	NA
0.5	100 YEAR FLOOD PLAIN	NA
0.6	FIELD LOCATED WETLANDS	NA
0.7	EDGE OF WATER	NA
0.8	AVERAGE ANNUAL HIGH WATER LINE	NA
0.9	MATCHLINES	NA

1.0	PAVEMENTS AND BANDS	DETAIL
1.1	CONCRETE PAVING-VEHICULAR	NA
1.2	ASPHALT PAVING	NA
1.3	PAVING TYPE A	NA
1.4	CRUSHER FINES PAVING	NA
1.5	PAVING TYPE B	NA
1.6	NATIVE SOIL TRAIL	NA
1.7	ROCK COBBLE	NA
1.8	STONE SWALE CROSSING	NA

2.0	FURNISHING, FENCES, SIGNAGE & WALLS	DETAIL
2.1	8' TALL GABION WALL/FENCE	NA
2.2	STONE RETAINING WALL	NA
2.3	RETAINING WALL	NA
2.4	MONUMENT/ENTRY SIGN	NA

3.0	LIGHTING ELECTRICAL	DETAIL
3.1	PEDESTRIAN BOLLARD	RE: ELECTRICAL

4.0	LANDSCAPE PLANTING	DETAIL
4.1	IRRIGATED TURF	NA
4.2	PLANTING AREA	NA
4.3	EXISTING VEGETATION	



KEYMAP
NTS

PROJECT
RED MOUNTAIN
RANCH

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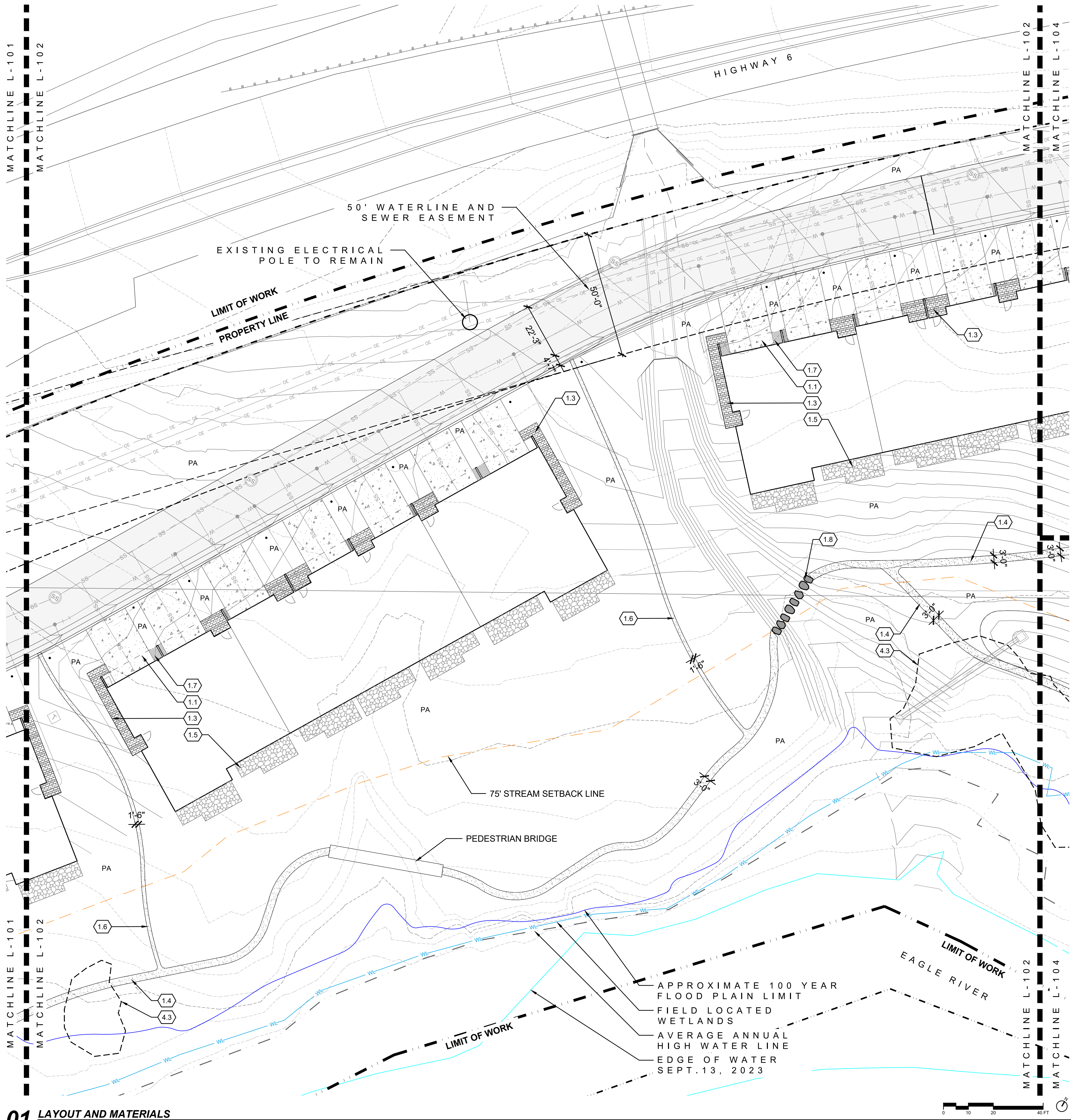
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REVISION HISTORY

DRAWING SHEET TITLE

LAYOUT AND
MATERIAL PLAN

L-101



01 LAYOUT AND MATERIALS
1"=20'

LAYOUT AND MATERIALS LEGEND

0.0	LEGEND	DETAIL
0.1	LIMIT OF WORK	NA
0.2	PROPERTY LINE NA	NA
0.3	50' WATERLINE&SEWER EASEMENT	NA
0.4	75' STREAM SETBACK LINE	NA
0.5	100 YEAR FLOOD PLAIN	NA
0.6	FIELD LOCATED WETLANDS	NA
0.7	EDGE OF WATER	NA
0.8	AVERAGE ANNUAL HIGH WATER LINE	NA
0.9	MATCHLINES	NA

1.0	PAVEMENTS AND BANDS	DETAIL
1.1	CONCRETE PAVING-VEHICULAR	NA
1.2	ASPHALT PAVING	NA
1.3	PAVING TYPE A	NA
1.4	CRUSHER FINES PAVING	NA
1.5	PAVING TYPE B	NA
1.6	NATIVE SOIL TRAIL	NA
1.7	ROCK COBBLE	NA
1.8	STONE SWALE CROSSING	NA

2.0	FURNISHING, FENCES, SIGNAGE & WALLS	DETAIL
2.1	8' TALL GABION WALL/FENCE	NA
2.2	STONE RETAINING WALL	NA
2.3	RETAINING WALL	NA
2.4	MONUMENT/ENTRY SIGN	NA

3.0	LIGHTING ELECTRICAL	DETAIL
3.1	PEDESTRIAN BOLLARD	RE: ELECTRICAL

4.0	LANDSCAPE PLANTING	DETAIL
4.1	IRRIGATED TURF	NA
4.2	PLANTING AREA	NA
4.3	EXISTING VEGETATION	NA

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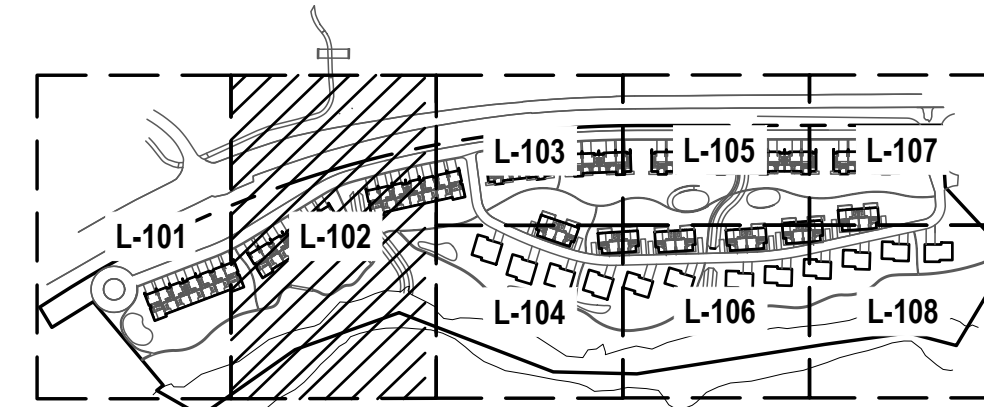
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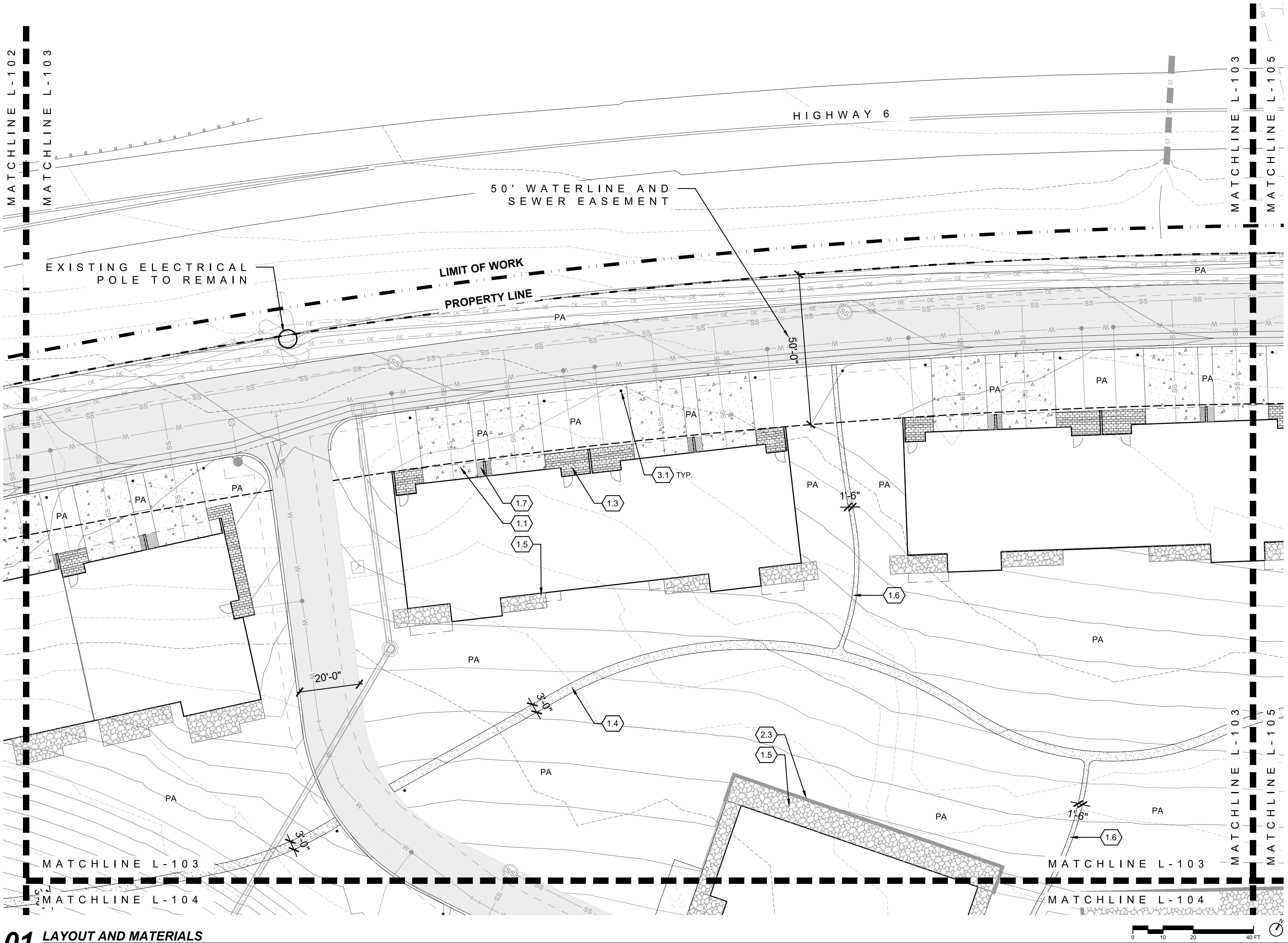
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KEYMAP
NTS

DRAWING SHEET TITLE
**LAYOUT AND
MATERIAL PLAN**

L-102



01 LAYOUT AND MATERIALS
1"=20'

LAYOUT AND MATERIALS LEGEND

LEGEND	DETAIL
0.1 LIMIT OF WORK	NA
0.2 PROPERTY LINE NA	NA
0.3 50' WATERLINE&SEWER EASEMENT	NA
0.4 75' STREAM SETBACK LINE	NA
0.5 100 YEAR FLOOD PLAIN	NA
0.6 FIELD LOCATED WETLANDS	NA
0.7 EDGE OF WATER	NA
0.8 AVERAGE ANNUAL HIGH WATER LINE	NA
0.9 MATCHLINES	NA

PAVEMENTS AND BANDS	DETAIL
1.1 CONCRETE PAVING-VEHICULAR	NA
1.2 ASPHALT PAVING	NA
1.3 PAVING TYPE A	NA
1.4 CRUSHER FINES PAVING	NA
1.5 PAVING TYPE B	NA
1.6 NATIVE SOIL TRAIL	NA
1.7 ROCK COBBLE	NA
1.8 STONE SWALE CROSSING	NA

FURNISHING, FENCES, SIGNAGE & WALLS	DETAIL
2.1 8' TALL GABION WALL/FENCE	NA
2.2 STONE RETAINING WALL	NA
2.3 RETAINING WALL	NA
2.4 MONUMENT/ENTRY SIGN	NA

LIGHTING ELECTRICAL	DETAIL
3.1 PEDESTRIAN BOLLARD	RE: ELECTRICAL

LANDSCAPE PLANTING	DETAIL
4.1 IRRIGATED TURF	NA
4.2 PLANTING AREA	NA
4.3 EXISTING VEGETATION	NA

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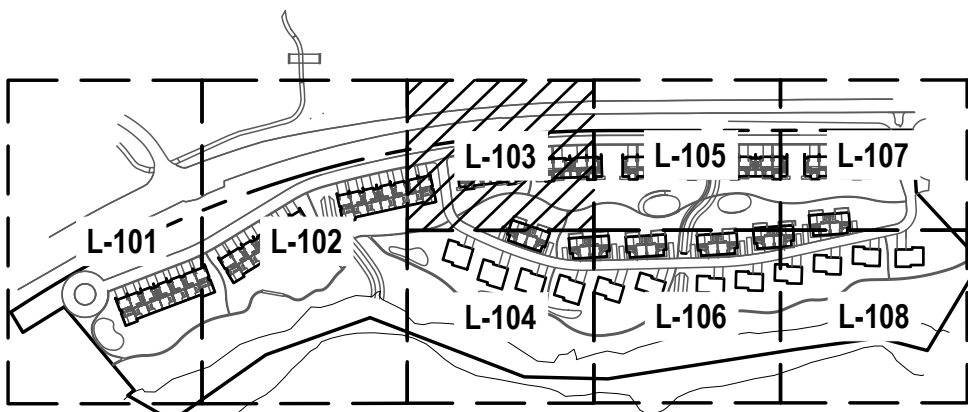
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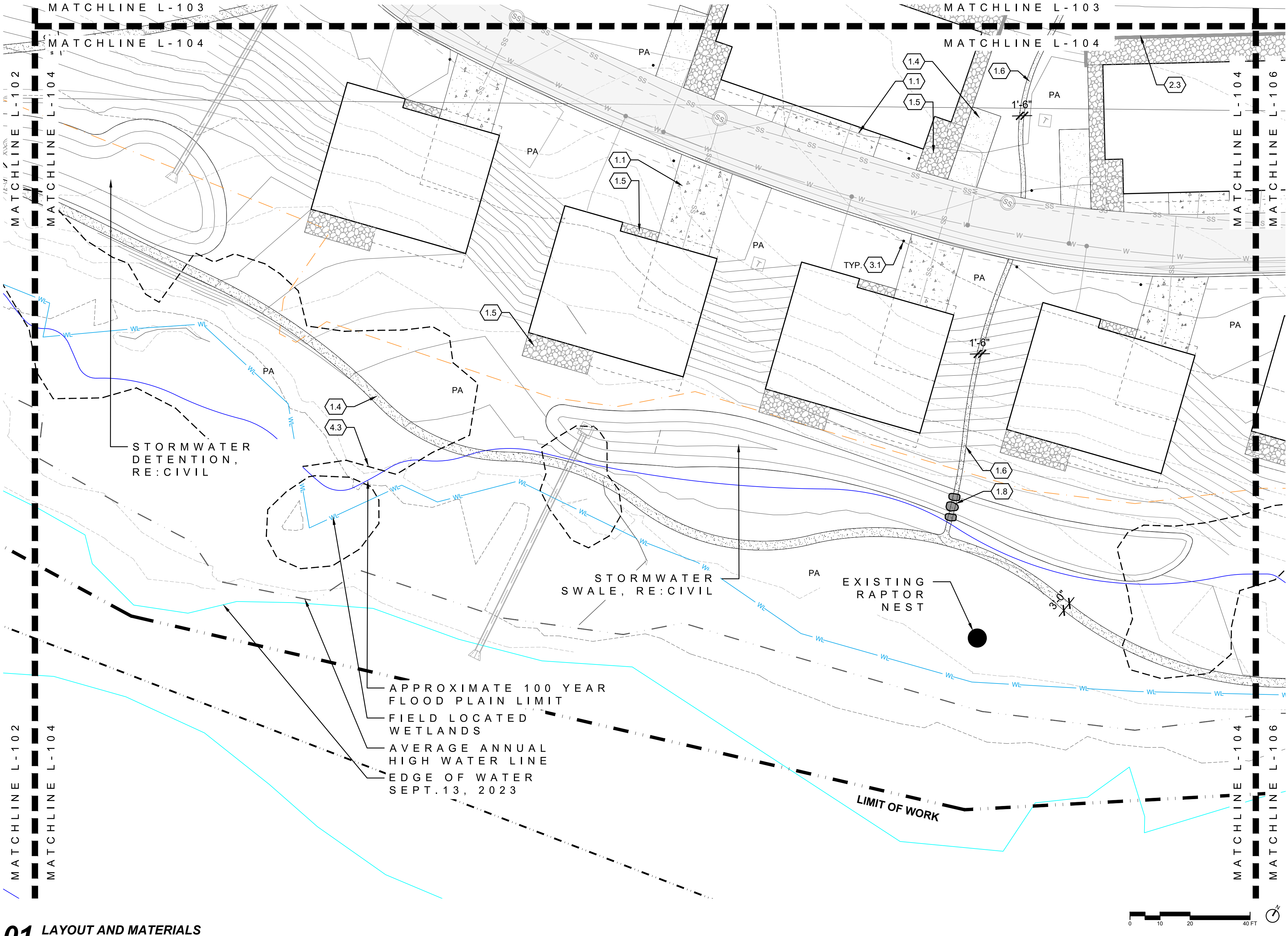
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KEYMAP
NTS

DRAWING SHEET TITLE
LAYOUT AND
MATERIAL PLAN

L-103



01 LAYOUT AND MATERIALS
1"=20'

LAYOUT AND MATERIALS LEGEND

LEGEND		DETAIL
0.1	LIMIT OF WORK	NA
0.2	PROPERTY LINE	NA
0.3	50' WATERLINE&SEWER EASEMENT	NA
0.4	75' STREAM SETBACK LINE	NA
0.5	100 YEAR FLOOD PLAIN	NA
0.6	FIELD LOCATED WETLANDS	NA
0.7	EDGE OF WATER	NA
0.8	AVERAGE ANNUAL HIGH WATER LINE	NA
0.9	MATCHLINES	NA

PAVEMENTS AND BANDS		DETAIL
1.1	CONCRETE PAVING-VEHICULAR	NA
1.2	ASPHALT PAVING	NA
1.3	PAVING TYPE A	NA
1.4	CRUSHER FINES PAVING	NA
1.5	PAVING TYPE B	NA
1.6	NATIVE SOIL TRAIL	NA
1.7	ROCK COBBLE	NA
1.8	STONE SWALE CROSSING	NA

FURNISHING, FENCES, SIGNAGE & WALLS		DETAIL
2.1	8' TALL GABION WALL/FENCE	NA
2.2	STONE RETAINING WALL	NA
2.3	RETAINING WALL	NA
2.4	MONUMENT/ENTRY SIGN	NA

LIGHTING ELECTRICAL		DETAIL
3.1	PEDESTRIAN BOLLARD	RE: ELECTRICAL

LANDSCAPE PLANTING		DETAIL
4.1	IRRIGATED TURF	NA
4.2	PLANTING AREA	NA
4.3	EXISTING VEGETATION	NA

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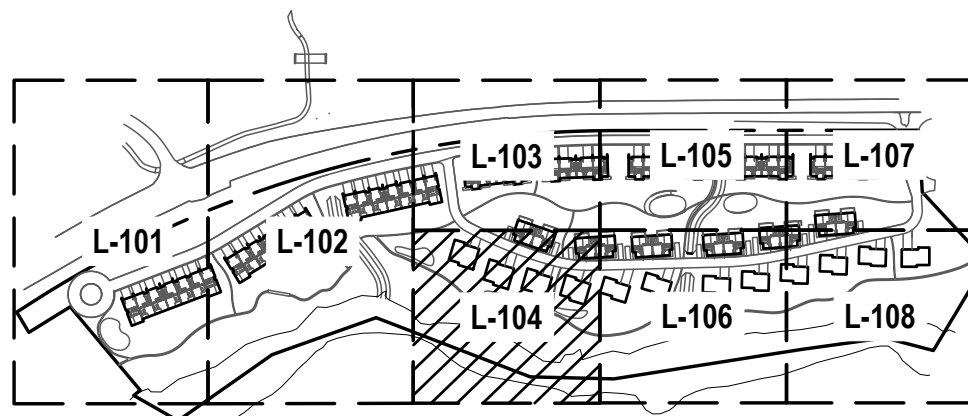
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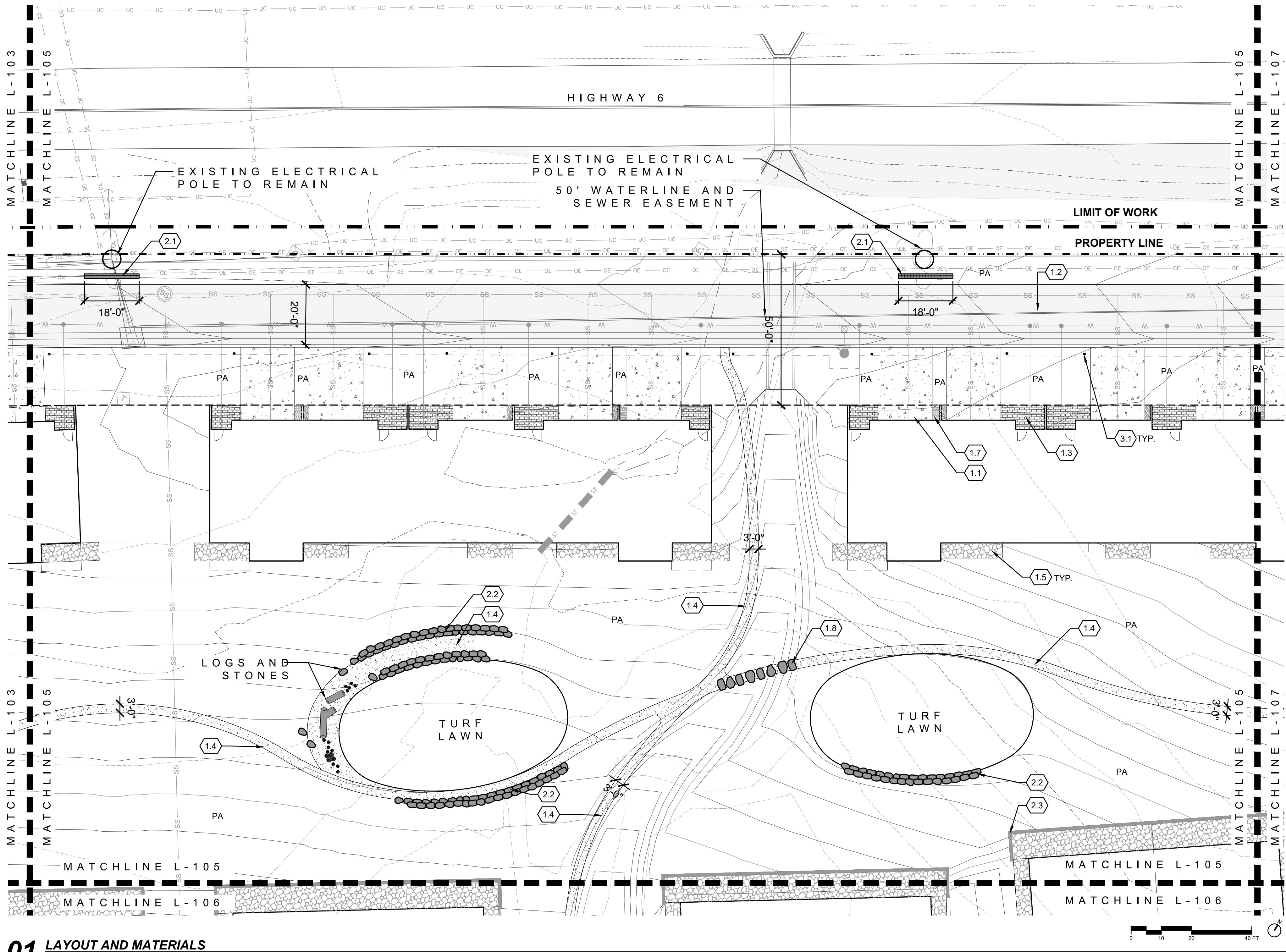


KEYMAP
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DRAWING SHEET TITLE

LAYOUT AND
MATERIAL PLAN

L-104



01 LAYOUT AND MATERIALS
1"=20'

LAYOUT AND MATERIALS LEGEND

0.0	LEGEND	DETAIL
0.1	LIMIT OF WORK	NA
0.2	PROPERTY LINE NA	NA
0.3	50' WATERLINE&SEWER EASEMENT	NA
0.4	75' STREAM SETBACK LINE	NA
0.5	100 YEAR FLOOD PLAIN	NA
0.6	FIELD LOCATED WETLANDS	NA
0.7	EDGE OF WATER	NA
0.8	AVERAGE ANNUAL HIGH WATER LINE	NA
0.9	MATCHLINES	NA

1.0	PAVEMENTS AND BANDS	DETAIL
1.1	CONCRETE PAVING-VEHICULAR	NA
1.2	ASPHALT PAVING	NA
1.3	PAVING TYPE A	NA
1.4	CRUSHER FINES PAVING	NA
1.5	PAVING TYPE B	NA
1.6	NATIVE SOIL TRAIL	NA
1.7	ROCK COBBLE	NA
1.8	STONE SWALE CROSSING	NA

2.0	FURNISHING, FENCES, SIGNAGE & WALLS	DETAIL
2.1	8' TALL GABION WALL/FENCE	NA
2.2	STONE RETAINING WALL	NA
2.3	RETAINING WALL	NA
2.4	MONUMENT/ENTRY SIGN	NA

3.0	LIGHTING ELECTRICAL	DETAIL
3.1	PEDESTRIAN BOLLARD	RE: ELECTRICAL

4.0	LANDSCAPE PLANTING	DETAIL
4.1	IRRIGATED TURF	NA
4.2	PLANTING AREA	NA
4.3	EXISTING VEGETATION	NA

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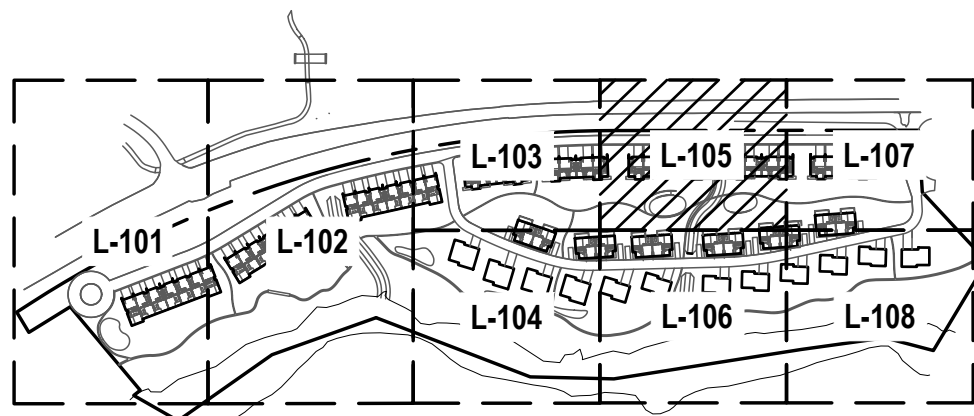
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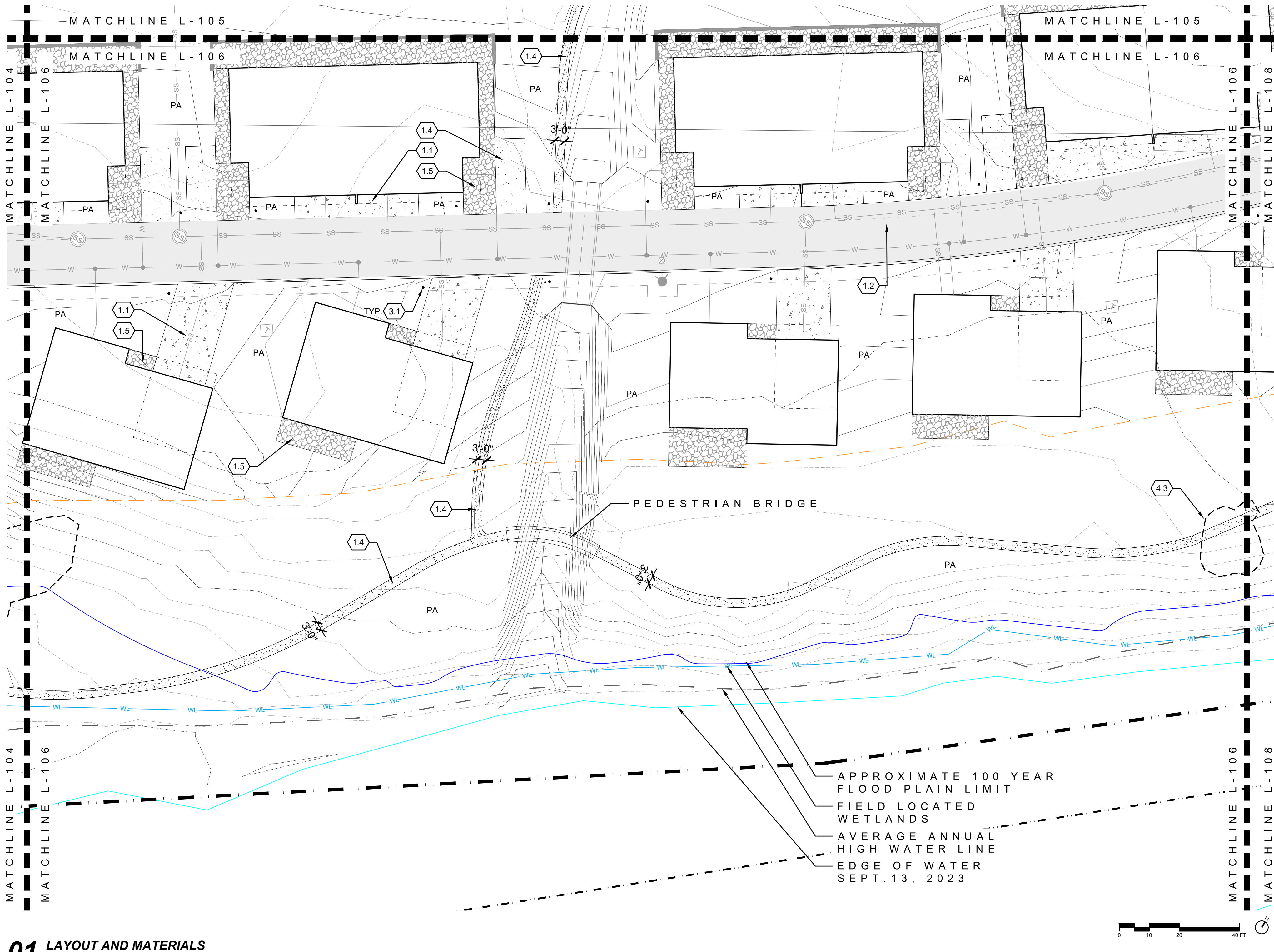
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KEYMAP
NTS

DRAWING SHEET TITLE
LAYOUT AND
MATERIAL PLAN

L-105



LAYOUT AND MATERIALS LEGEND

LEGEND	DETAIL
0.1 LIMIT OF WORK	NA
0.2 PROPERTY LINE NA	NA
0.3 50' WATERLINE&SEWER EASEMENT	NA
0.4 75' STREAM SETBACK LINE	NA
0.5 100 YEAR FLOOD PLAIN	NA
0.6 FIELD LOCATED WETLANDS	NA
0.7 EDGE OF WATER	NA
0.8 AVERAGE ANNUAL HIGH WATER LINE	NA
0.9 MATCHLINES	NA

PAVEMENTS AND BANDS	DETAIL
1.1 CONCRETE PAVING-VEHICULAR	NA
1.2 ASPHALT PAVING	NA
1.3 PAVING TYPE A	NA
1.4 CRUSHER FINES PAVING	NA
1.5 PAVING TYPE B	NA
1.6 NATIVE SOIL TRAIL	NA
1.7 ROCK COBBLE	NA
1.8 STONE SWALE CROSSING	NA

FURNISHING, FENCES, SIGNAGE & WALLS	DETAIL
2.1 8' TALL GABION WALL/FENCE	NA
2.2 STONE RETAINING WALL	NA
2.3 RETAINING WALL	NA
2.4 MONUMENT/ENTRY SIGN	NA

LIGHTING ELECTRICAL	DETAIL
3.1 PEDESTRIAN BOLLARD	RE: ELECTRICAL

LANDSCAPE PLANTING	DETAIL
4.1 IRRIGATED TURF	NA
4.2 PLANTING AREA	NA
4.3 EXISTING VEGETATION	NA

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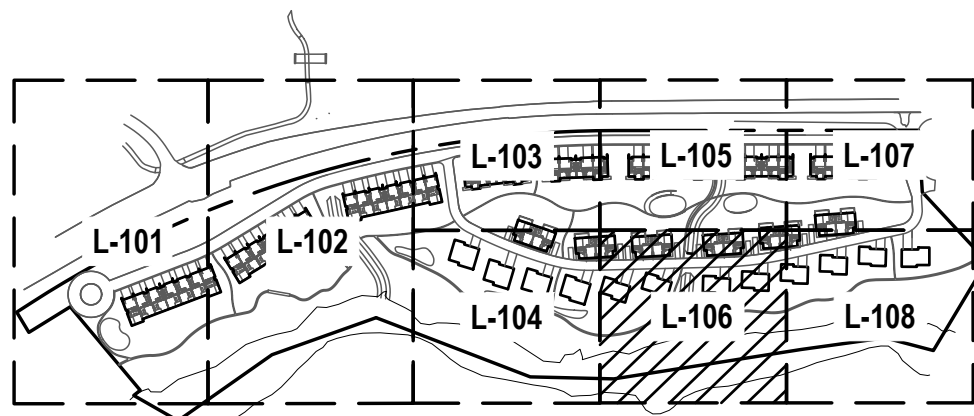
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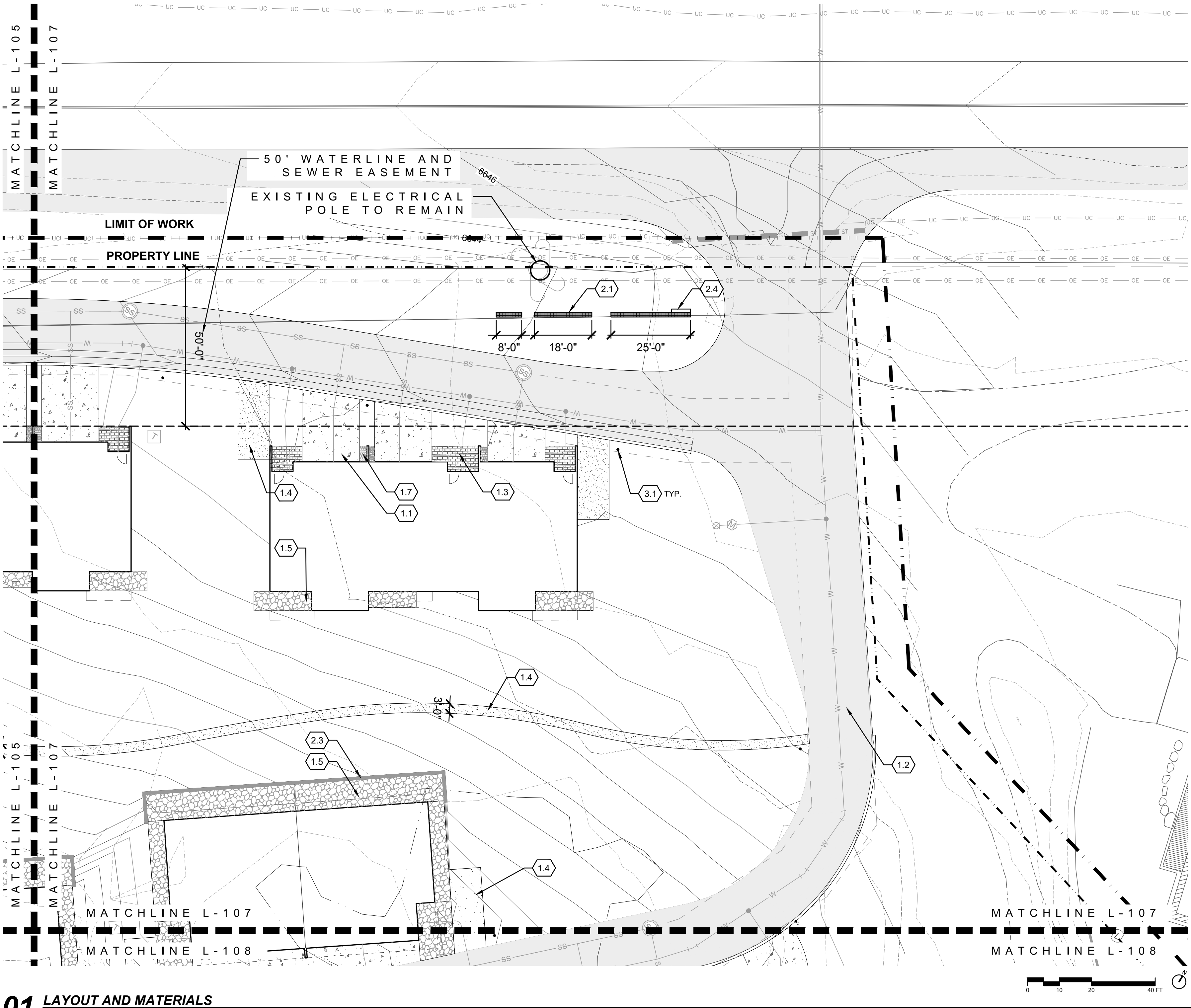
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KEYMAP
NTS

DRAWING SHEET TITLE
LAYOUT AND
MATERIAL PLAN

L-106



01 LAYOUT AND MATERIALS
1"=20'

LAYOUT AND MATERIALS LEGEND

0.0	LEGEND	DETAIL
0.1	LIMIT OF WORK	NA
0.2	PROPERTY LINE NA	NA
0.3	50' WATERLINE&SEWER EASEMENT	NA
0.4	75' STREAM SETBACK LINE	NA
0.5	100 YEAR FLOOD PLAIN	NA
0.6	FIELD LOCATED WETLANDS	NA
0.7	EDGE OF WATER	NA
0.8	AVERAGE ANNUAL HIGH WATER LINE	NA
0.9	MATCHLINES	NA

1.0	PAVEMENTS AND BANDS	DETAIL
1.1	CONCRETE PAVING-VEHICULAR	NA
1.2	ASPHALT PAVING	NA
1.3	PAVING TYPE A	NA
1.4	CRUSHER FINES PAVING	NA
1.5	PAVING TYPE B	NA
1.6	NATIVE SOIL TRAIL	NA
1.7	ROCK COBBLE	NA
1.8	STONE SWALE CROSSING	NA

2.0	FURNISHING, FENCES, SIGNAGE & WALLS	DETAIL
2.1	8' TALL GABION WALL/FENCE	NA
2.2	STONE RETAINING WALL	NA
2.3	RETAINING WALL	NA
2.4	MONUMENT/ENTRY SIGN	NA

3.0	LIGHTING ELECTRICAL	DETAIL
3.1	PEDESTRIAN BOLLARD	RE: ELECTRICAL

4.0	LANDSCAPE PLANTING	DETAIL
4.1	IRRIGATED TURF	NA
4.2	PLANTING AREA	NA
4.3	EXISTING VEGETATION	NA

PROJECT
RED MOUNTAIN RANCH

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EAGLE, CO 81631

ARCHITECT/
GENERAL CONTRACTOR

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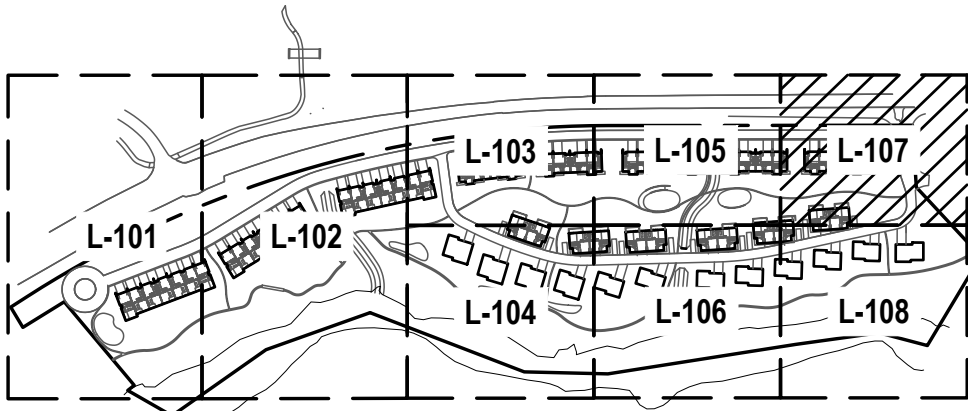
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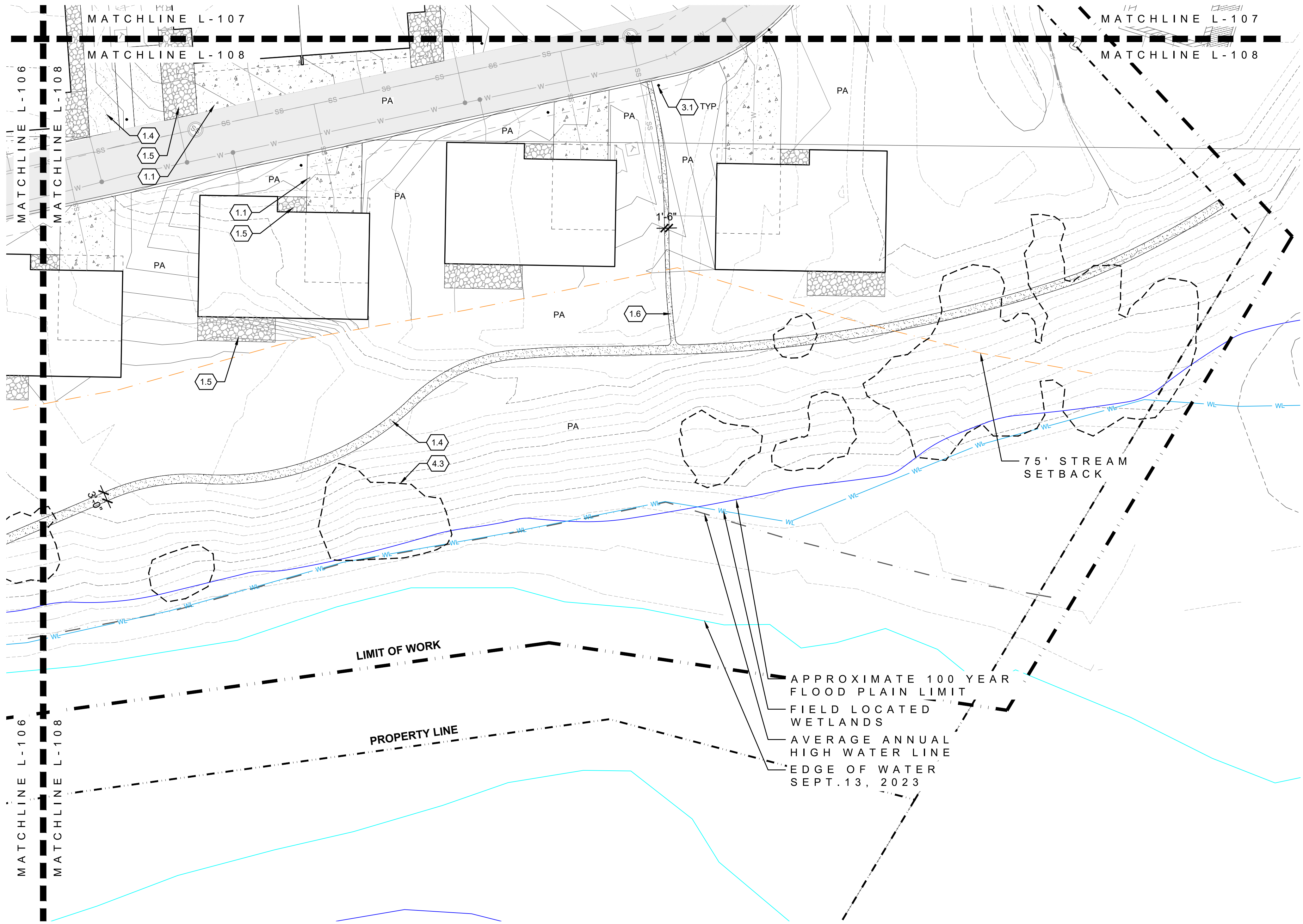
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KEYMAP
NTS

DRAWING SHEET TITLE
LAYOUT AND
MATERIAL PLAN

L-107



01 LAYOUT AND MATERIALS
1"=20'

LAYOUT AND MATERIALS LEGEND

LEGEND	DETAIL
0.1 LIMIT OF WORK	NA
0.2 PROPERTY LINE NA	NA
0.3 50' WATERLINE&SEWER EASEMENT	NA
0.4 75' STREAM SETBACK LINE	NA
0.5 100 YEAR FLOOD PLAIN	NA
0.6 FIELD LOCATED WETLANDS	NA
0.7 EDGE OF WATER	NA
0.8 AVERAGE ANNUAL HIGH WATER LINE	NA
0.9 MATCHLINES	NA

PAVEMENTS AND BANDS	DETAIL
1.1 CONCRETE PAVING-VEHICULAR	NA
1.2 ASPHALT PAVING	NA
1.3 PAVING TYPE A	NA
1.4 CRUSHER FINES PAVING	NA
1.5 PAVING TYPE B	NA
1.6 NATIVE SOIL TRAIL	NA
1.7 ROCK COBBLE	NA
1.8 STONE SWALE CROSSING	NA

FURNISHING, FENCES, SIGNAGE & WALLS	DETAIL
2.1 8' TALL GABION WALL/FENCE	NA
2.2 STONE RETAINING WALL	NA
2.3 RETAINING WALL	NA
2.4 MONUMENT/ENTRY SIGN	NA

LIGHTING ELECTRICAL	DETAIL
3.1 PEDESTRIAN BOLLARD	RE: ELECTRICAL

LANDSCAPE PLANTING	DETAIL
4.1 IRRIGATED TURF	NA
4.2 PLANTING AREA	NA
4.3 EXISTING VEGETATION	NA

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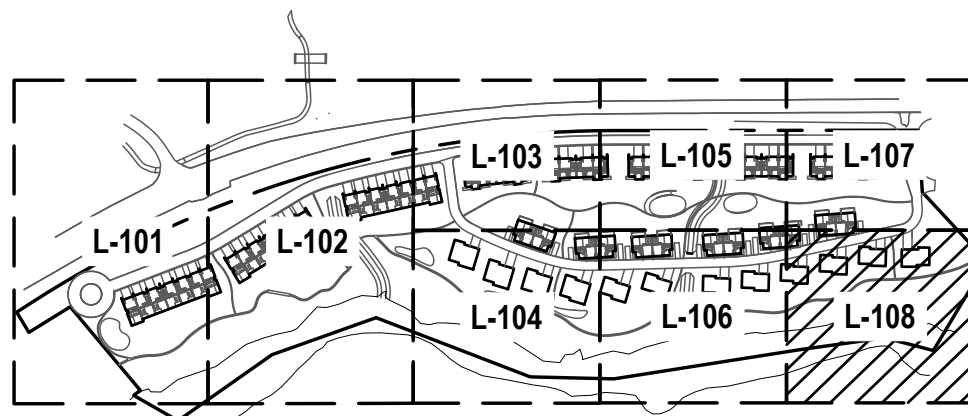
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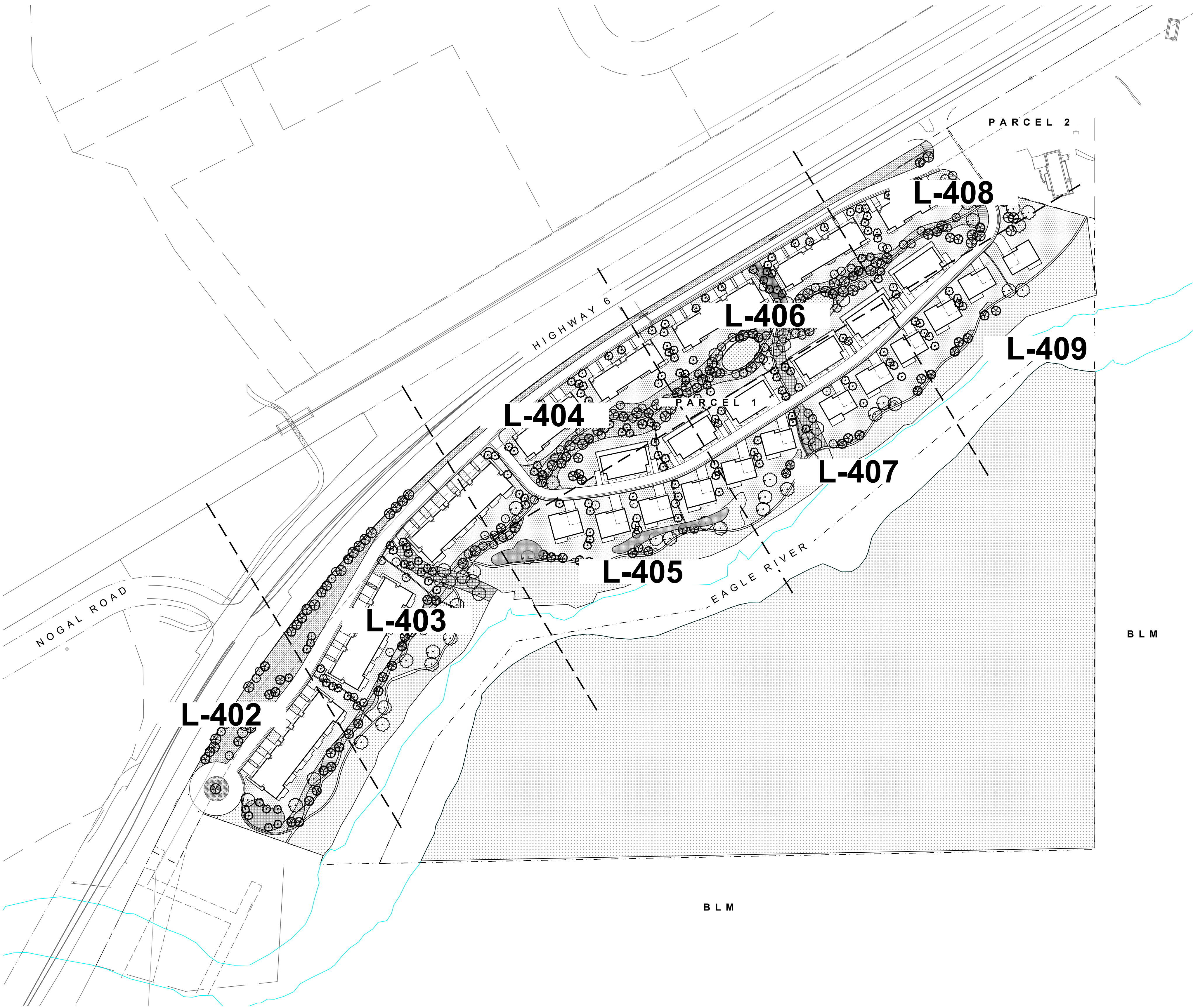
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KEYMAP
NTS

DRAWING SHEET TITLE
LAYOUT AND
MATERIAL PLAN

L-108



01 KEYMAP
1"=100'

PLANTING AND IRRIGATION NOTES

1. ALL LANDSCAPING WILL BE IRRIGATED, REFER TO IRRIGATION SHEETS FOR ADDITIONAL INFORMATION.
2. LANDSCAPING SHALL COMPLY WITH SIGHT TRIANGLES AS INTERSECTIONS, PER TOWN OF EAGLE STANDARDS AND SPECIFICATIONS. SEE SIGHT LINE TRIANGLES ON PLANS.
3. LANDSCAPING SHALL COMPLY WITH SIGHT LINE TRIANGLES AT INTERSECTIONS, PER TOWN OF EAGLE STANDARDS AND SPECIFICATIONS. REFER TO THE SIGHT LINE TRIANGLES ON THE PLANS.
4. LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THE SITE, OR AS SPECIFIED IN A SUBDIVISION IMPROVEMENT AGREEMENT OR IMPROVEMENT AGREEMENT. IF COMPLETION IS DELAYED BY WEATHER, THE OWNER OR ASSIGNS SHALL PROVIDE AN ITEMIZED LIST AND PLAN WITH A COST ESTIMATE OF ALL OUTSTANDING LANDSCAPING ALONG WITH A FINANCIAL SECURITY, ACCEPTABLE BY THE TOWN OF EAGLE, TO GUARANTEE COMPLETION OF THE OUTSTANDING PRIVATE LANDSCAPE WORK TO THE TOWN AND COUNTY OF EAGLE.
5. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION OF APPROVAL AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THE NUMBER AND GENERAL SIZE OF MATERIALS SHALL REMAIN EQUIVALENT.
6. ALL CONTAINER PLANTED AREAS SHALL RECEIVE 4" OF STONE MULCH.

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**PLANTING
NOTES**

L-400

PAWNEE BUTTES NATIVE LOW GROW SEED MIX

SCIENTIFIC NAME / COMMON NAME	Lbs PLS/Acre
FESTUCA SAXIMONTAN, ROCKY MT FESCUE	0.00
POA CANBYI, CANBY BLUEGRASS	0.00
POA SECUNDA, SANDBERG BLUEGRASS	0.00
TOTAL XX POUNDS PURE LIVE SEED PER ACRE	

NOTE: GROUNDCOVER MATERIAL FOR ALL LOW DENSITY PLANTING AREAS.

PAWNEE BUTTES NATIVE MOUNTAIN SEED MIX

SCIENTIFIC NAME / COMMON NAME	Lbs PLS/Acre
BROMUS CARINATUS, MOUNTAIN BROME	0.00
ELYMUS LANCEOLATURS PSAMMOPHILUS, STREAMBANK WHEATGRASS	0.00
FESTUCA SAXIMONTAN, ROCKY MT FESCUE	0.00
DESCHAMPSIA CESPITOSA, TUFTED HAIR GRASS	0.00
ELYMUS TRACHYCAULUS, SLENDER WHEATGRASS	0.00
KOELERIA MACRANTHA, PRAIRIE JUNEGRASS	0.00
ELUMUS GLAUCUS, WILDRYE	0.00
POA SECUNDA SANDBERG BLUEGRASS	0.00
TOTAL XX POUNDS PURE LIVE SEED PER ACRE	

NOTE: GROUNDCOVER MATERIAL FOR ALL MEDIUM DENSITY PLANTING AREAS AND DETENTION POND/ SWALE.

PAWNEE BUTTES NATIVE MOUNTAIN SEED MIX

SCIENTIFIC NAME / COMMON NAME	Lbs PLS/Acre
FESTUCA SAXIMONTAN, ROCKY MT FESCUE	0.00
COUTELOUA CURTIPENDULA , SIDEOATS GRAMA	0.00
BOUTELOUA GRACILIS, BLUE GRAMA	0.00
PANICUM VIRGATUM, SWITCHGRASS	0.00
SORGHASTRUM NUTANS, YELLOW RICEGRASS	0.00
ACHNATHERUM HYMENOIDE, INDIAN RICEGRASS	0.00
ANDROPOGON GERARDII, BIG BLUESTEM	0.00
POA SECUNDA SANDBERG BLUEGRASS	0.00
ELYMUS TRACHYCAULUS, SLENDER WHEATGRASS	0.00
PASCOPYRUM SMITHII, WESTERN WHEATGRASS	0.00
SCHIZACHYRIUM SCOPARIUM, LITTLE BLUESTEM	0.00
SPOROBOLUS CRYPTANDRUS, SAND DROPSEED	0.00
TOTAL XX POUNDS PURE LIVE SEED PER ACRE	

NOTE: GROUNDCOVER MATERIAL FOR ALL HIGH DENSITY PLANTING AREAS.

PLANT SCHEDULE		
CODE	BOTANICAL / COMMON NAME	CONT
TREES		
AG	ACER GINNALA / AMUR MAPLE	2.5" CAL
AT	ACER TATARICUM / TATARIAN MAPLE	2.5" CAL
AI	ALNUS INCANA / GRAY ALDER	2.5" CAL
AS	AMELANCHIER ALNIFOLIA / SERVICEBERRY	2.5" CAL
BO	BETULA OCCIDENTALIS / WATER BIRCH	2.5" CAL
CC	CELTIS OCCIDENTALIS / HACKBERRY	2.5" CAL
CM	CERCOCARPUS MONTANUS / ALDERLEAF MOUNTAIN MAHOGANY	2.5" CAL
PA	POPULUS ANGUSTIFOLIA / NARROWLEAF COTTONWOOD	2.5" CAL
PP	POPULUS BALSAMIFERA / BALSAM POPLAR	2.5" CAL
PT2	POPULUS TREMULOIDES / QUAKING ASPEN	2.5" CAL
PT	POPULUS X CANESCENS 'TOWER' / TOWER POPLAR	2.5" CAL
EVERGREEN TREES		
AC	ABIES CONCOLOR / WHITE FIR	8' HT
JS	JUNIPERUS MONOSPERMA / ONESEED JUNIPER	8' HT
JS2	JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER	8' HT
PE	PICEA ENGELMANNII / ENGELMANN SPRUCE	8' HT
PC	PICEA PUNGENS / COLORADO SPRUCE	8' HT
PL	PINUS CONTORTA LATIFOLIA / LODGEPOLE PINE	8' HT
PP2	PINUS EDULIS / PINYON PINE	8' HT
PL2	PINUS FLEXILIS / LIMBER PINE	8' HT
PS	PINUS STROBUS / WHITE PINE	8' HT
PD	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	8' HT
CODE	BOTANICAL / COMMON NAME	SIZE
GRASSES / PERENNIALS		
AM	ACHILLEA MILLEFOLIUM / COMMON YARROW	1 GAL
DA	DELOSPERMA X 'ALAN'S APRICOT' / ALAN'S APRICOT ICE PLANT	1 GAL
EL	ECHINACEA PURPUREA / PURPLE CONEFLOWER	1 GAL
GO	GALIUM ODORATUM / SWEET WOODRUFF	1 GAL
LARGE SHRUBS		
AA	ARONIA ARBUTIFOLIA / RED CHOKEBERRY	5 GAL
AT2	ARTEMISIA TRIDENTATA / BIG SAGEBRUSH	5 GAL
CR3	CRATAEGUS RIVULARIS / RIVER HAWTHORN	5 GAL
PC2	PRUNUS VIRGINIANA / CHOKECHERRY	5 GAL
RT	RHUS TRILOBATA / SKUNKBUSH SUMAC	5 GAL
RG	RIBES AUREUM / GOLDEN CURRANT	5 GAL
RI	RIBES INERME / WHITESTEM GOOSEBERRY	5 GAL
SB	SALIX BEBBIANA / BEAKED WILLOW	5 GAL
SP	SALIX LASIANDRA / PACIFIC WILLOW	5 GAL
SM	SALIX MONTICOLA / YELLOW MOUNTAIN WILLOW	5 GAL
SE	SAMBUCUS CANADENSIS / AMERICAN ELDERBERRY	5 GAL
SA	SHEPHERDIA ARGENTEA / SILVER BUFFALOBERRY	5 GAL
LOW SHRUB		
AU	ARCTOSTAPHYLOS UVA-URSI / KINNIKINNICK	5 GAL
CS	CHRYSOETHAMNUS PARRYI SPP. MONTANUS / PARRY'S RABBITBRUSH	5 GAL
JH	JUNIPERUS HORIZONTALIS / CREEPING JUNIPER	5 GAL
PP3	POTENTILLA VERNA 'NANA' / CREEPING CINQUEFOIL	5 GAL
MEDIUM SHRUB		
AF	ARTEMISIA FILIFOLIA / SAND SAGEBRUSH	5 GAL
CB	CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST BLUEBEARD	5 GAL
CR	CHRYSOETHAMNUS NAUSEOSUS / RUBBER RABBITBRUSH	5 GAL
CE	CORNUS SERICEA / RED OSIER DOGWOOD	5 GAL
EE	EPHEDRA EQUISETINA / BLUESTEM JOINT FIR	5 GAL
JS3	JUNIPERUS SABINA / SAVIN JUNIPER	5 GAL
LT	LONICERA TATARICA / TATARIAN HONEYSUCKLE	5 GAL
PS2	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	5 GAL
PG	PINUS SYLVESTRIS 'GLAUCA NANA' / BLUE DWARF SCOTCH PINE	5 GAL
PT3	PURSHIA TRIDENTATA / ANTELOPE BITTERBRUSH	5 GAL
RW	ROSA WOODSII / MOUNTAIN ROSE	5 GAL
SA2	SYMPHORICARPOS ALBUS / COMMON WHITE SNOWBERRY	5 GAL
SO	SYMPHORICARPOS ORBICULATUS / CORALBERRY	5 GAL
VINES		
PQ	PARTHENOCISSUS QUINQUEFOLIA / VIRGINA CREEPER	1 GAL

0.0	LEGEND	DETAIL
	0.1 LIMIT OF WORK	NA
	0.2 PROPERTY LINE NA	
	0.3 50' WATERLINE&SEWER EASEMENT	NA
	0.4 75' STREAM SETBACK LINE	NA
	0.5 100 YEAR FLOOD PLAIN	NA
	0.6 FIELD LOCATED WETLANDS	NA
	0.7 EDGE OF WATER	NA
	0.8 AVERAGE ANNUAL HIGH WATER LINE	NA
	0.9 MATCHLINES	NA

4.0	LANDSCAPE / PLANTING	DETAIL
	4.1 IRRIGATED TURF	NA
	4.2 SWALE / DETENTION PLANTING	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	
	4.3 EXISTING VEGETATION TO REMAIN	NA
	4.4 LOW DENSITY VEGETATION	NA
	LOW HEIGHT NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 2 PLANTS PER 100SF	
	4.5 MEDIUM DENSITY VEGETATION	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	
	4.6 HIGH DENSITY VEGETATION	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 15 PLANTS PER 100SF	
	4.7 PROPOSED DECIDUOUS TREE	
	4.8 PROPOSED ORNAMENTAL TREE	
	4.9 PROPOSED CONIFEROUS TREE	
	4.10 EXISTING VEGETATION TO REMAIN	

PROJECT
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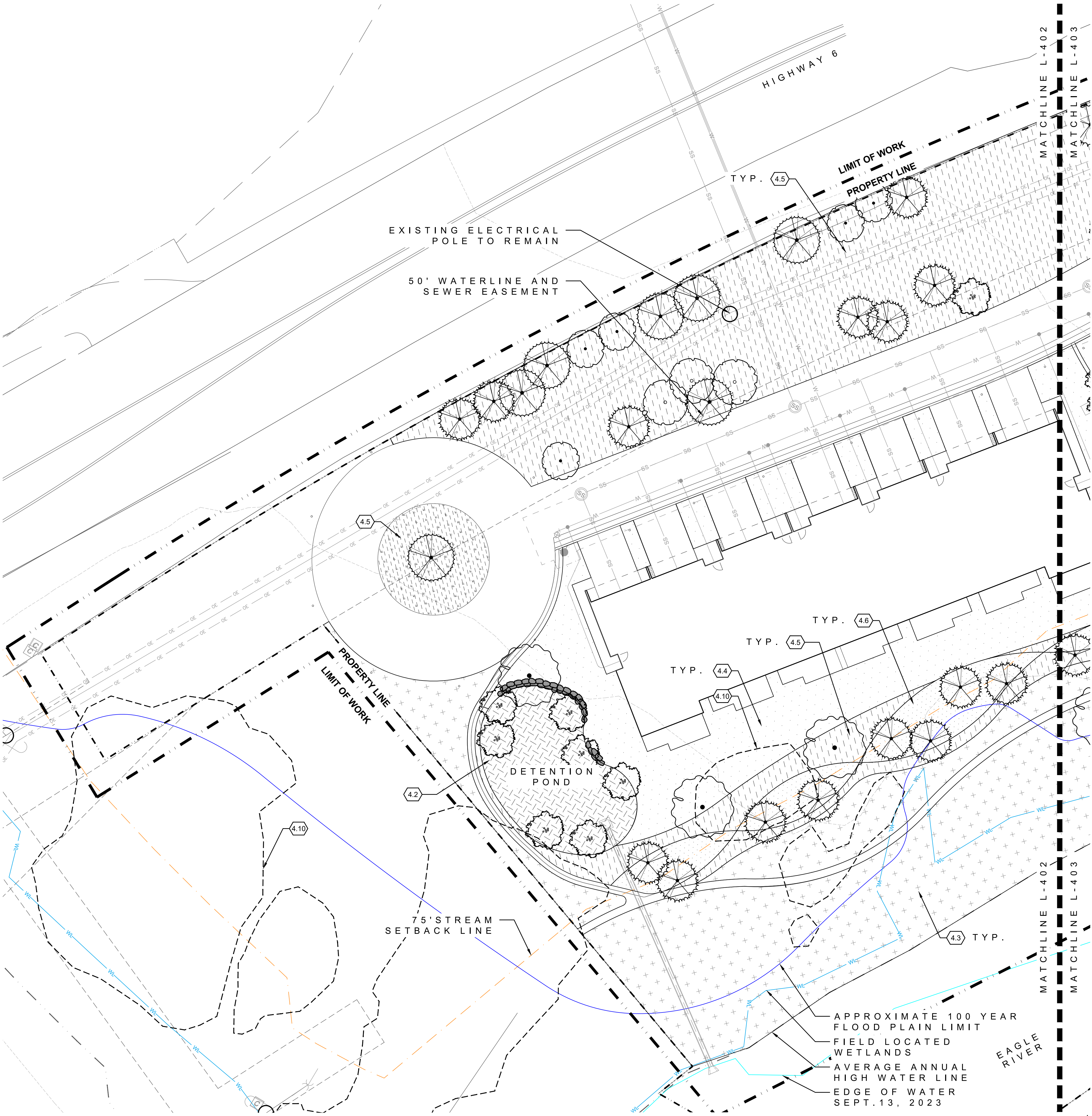
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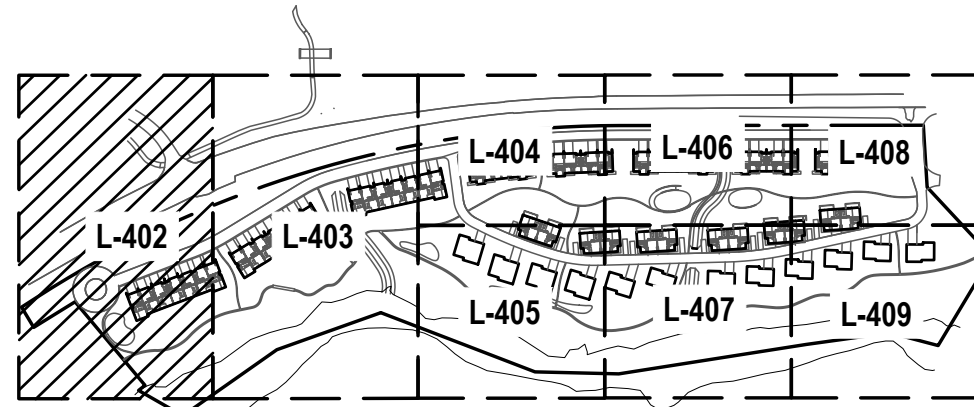
L-401



0.0	LEGEND	DETAIL
— — — — —	0.1 LIMIT OF WORK	NA
— — — — —	0.2 PROPERTY LINE	NA
- - - - -	0.3 50' WATERLINE&SEWER EASEMENT	NA
- - - - -	0.4 75' STREAM SETBACK LINE	NA
— — — — —	0.5 100 YEAR FLOOD PLAIN	NA
— — — — —	0.6 FIELD LOCATED WETLANDS	NA
— — — — —	0.7 EDGE OF WATER	NA
— — — — —	0.8 AVERAGE ANNUAL HIGH WATER LINE	NA
— — — — —	0.9 MATCHLINES	NA

4.0	LANDSCAPE / PLANTING	DETAIL
S-PA	4.1 IRRIGATED TURF	NA
	4.2 SWALE / DETENTION PLANTING	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	
EX-PA	4.3 EXISTING VEGETATION TO REMAIN	NA
PA	4.4 LOW DENSITY VEGETATION	NA
	LOW HEIGHT NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 2 PLANTS PER 100SF	
PA	4.5 MEDIUM DENSITY VEGETATION	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	
PA	4.6 HIGH DENSITY VEGETATION	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 15 PLANTS PER 100SF	

- 4.7 PROPOSED DECIDUOUS TREE
- 4.8 PROPOSED ORNAMENTAL TREE
- 4.9 PROPOSED CONIFEROUS TREE
- 4.10 EXISTING VEGETATION TO REMAIN



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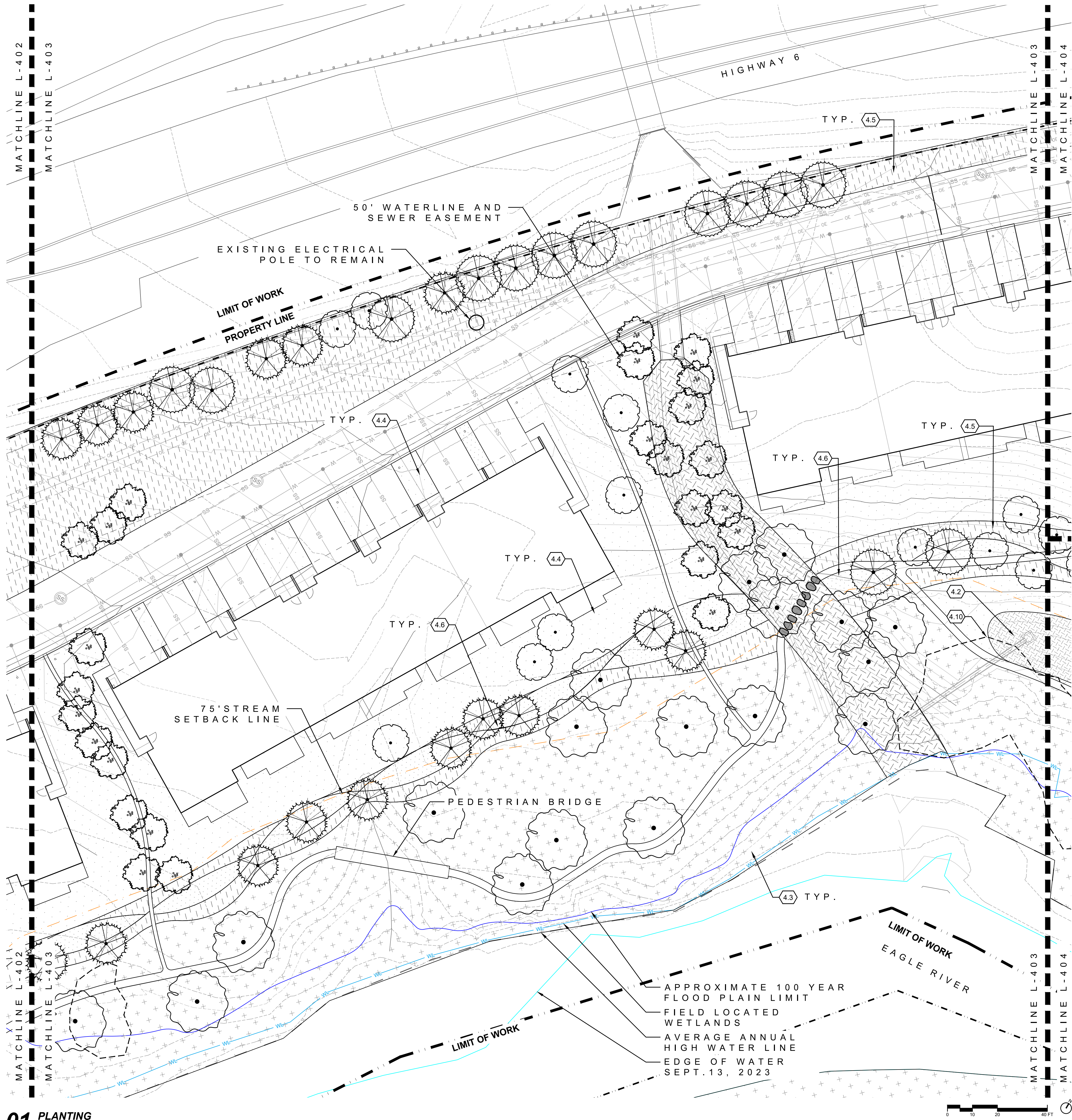
CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE

PLANTING PLAN

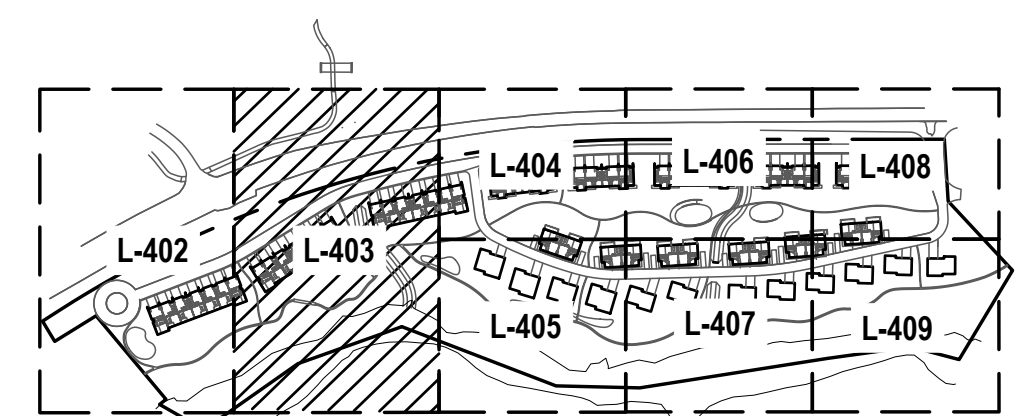
L-402



01 PLANTING
1"=20'

0.0	LEGEND	DETAIL
0.1	LIMIT OF WORK	NA
0.2	PROPERTY LINE	NA
0.3	50' WATERLINE&SEWER EASEMENT	NA
0.4	75' STREAM SETBACK LINE	NA
0.5	100 YEAR FLOOD PLAIN	NA
0.6	FIELD LOCATED WETLANDS	NA
0.7	EDGE OF WATER	NA
0.8	AVERAGE ANNUAL HIGH WATER LINE	NA
0.9	MATCHLINES	NA

4.0	LANDSCAPE / PLANTING	DETAIL
S-PA	4.1 IRRIGATED TURF	NA
	4.2 SWALE / DETENTION PLANTING	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	
EX-PA	4.3 EXISTING VEGETATION TO REMAIN	NA
PA	4.4 LOW DENSITY VEGETATION	NA
	LOW HEIGHT NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 2 PLANTS PER 100SF	
PA	4.5 MEDIUM DENSITY VEGETATION	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	
PA	4.6 HIGH DENSITY VEGETATION	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 15 PLANTS PER 100SF	
	4.7 PROPOSED DECIDUOUS TREE	
	4.8 PROPOSED ORNAMENTAL TREE	
	4.9 PROPOSED CONIFEROUS TREE	
	4.10 EXISTING VEGETATION TO REMAIN	



KEYMAP
NTS

PROJECT
RED MOUNTAIN RANCH

PARCEL 1
17500 US-6
EAGLE, CO 81631

ARCHITECT/
GENERAL CONTRACTOR

tres birds

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MAJOR DEVELOPMENT PERMIT (MDP)

ISSUE DATE

01.13.2025

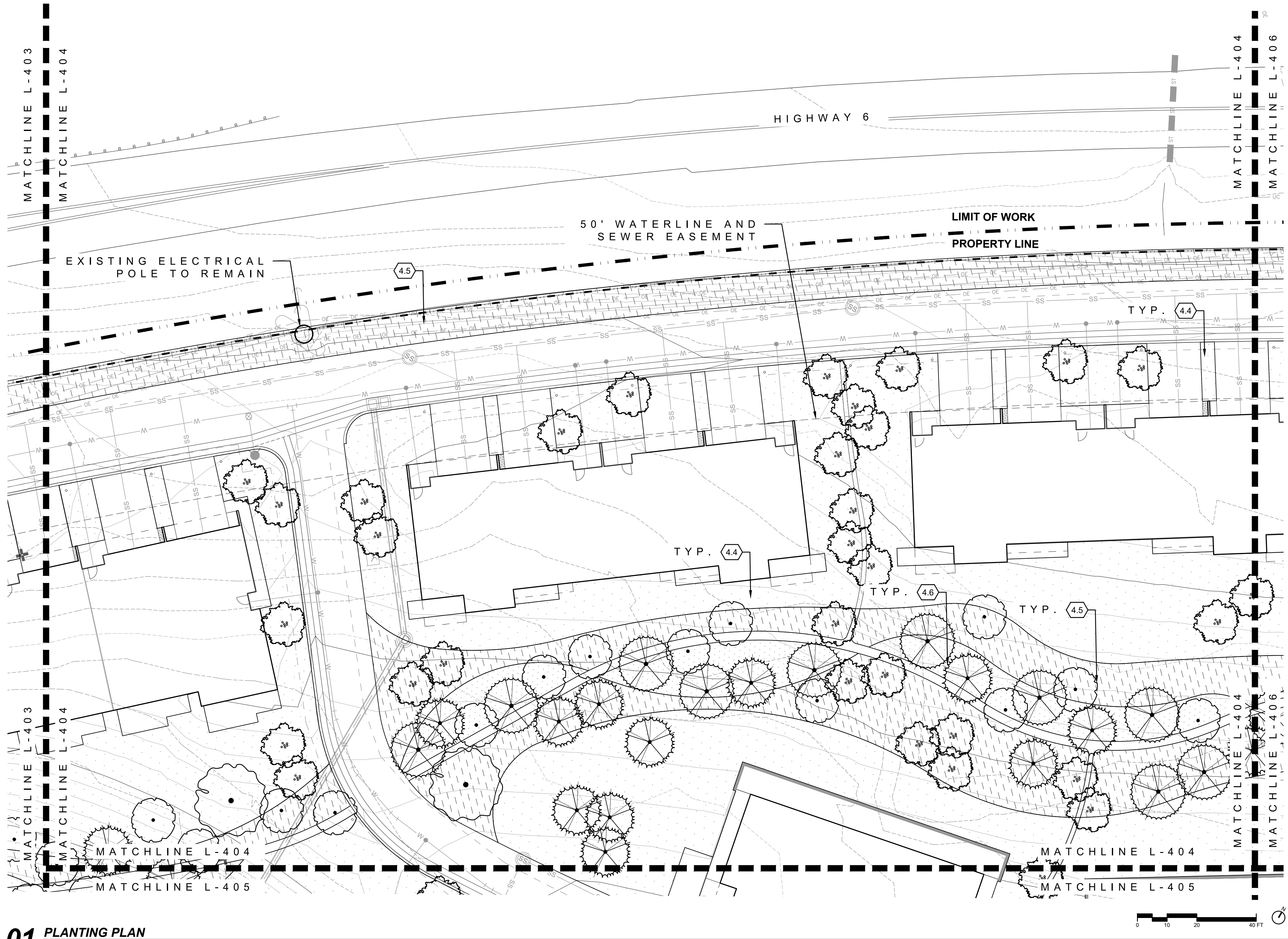
CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE

PLANTING PLAN

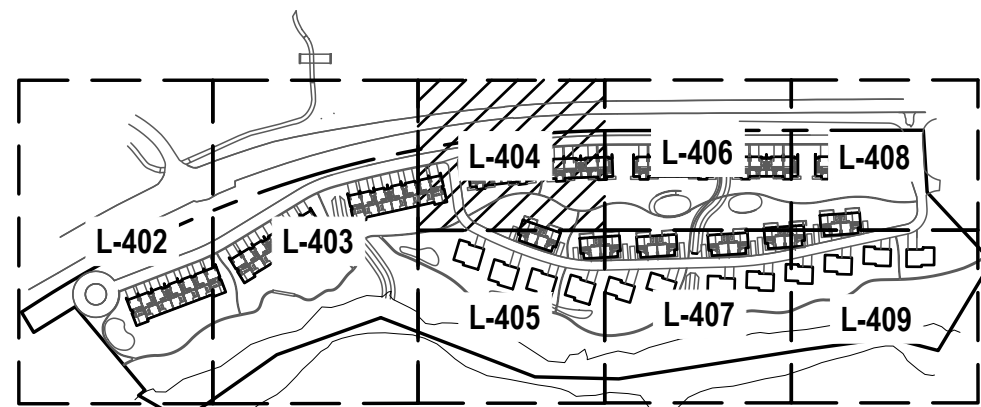
L-403



01 PLANTING PLAN
1"=20'

0.0	LEGEND	DETAIL
0.1	LIMIT OF WORK	NA
0.2	PROPERTY LINE	NA
0.3	50' WATERLINE&SEWER EASEMENT	NA
0.4	75' STREAM SETBACK LINE	NA
0.5	100 YEAR FLOOD PLAIN	NA
0.6	FIELD LOCATED WETLANDS	NA
0.7	EDGE OF WATER	NA
0.8	AVERAGE ANNUAL HIGH WATER LINE	NA
0.9	MATCHLINES	NA

4.0	LANDSCAPE / PLANTING	DETAIL
4.1	IRRIGATED TURF	NA
4.2	SWALE / DETENTION PLANTING NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	NA
4.3	EXISTING VEGETATION TO REMAIN	NA
4.4	LOW DENSITY VEGETATION LOW HEIGHT NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 2 PLANTS PER 100SF	NA
4.5	MEDIUM DENSITY VEGETATION NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	NA
4.6	HIGH DENSITY VEGETATION NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 15 PLANTS PER 100SF	NA
4.7	PROPOSED DECIDUOUS TREE	
4.8	PROPOSED ORNAMENTAL TREE	
4.9	PROPOSED CONIFEROUS TREE	
4.10	EXISTING VEGETATION TO REMAIN	



KEYMAP
1"=400

PROJECT
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**MAJOR
DEVELOPMENT
PERMIT (MDP)**

ISSUE DATE

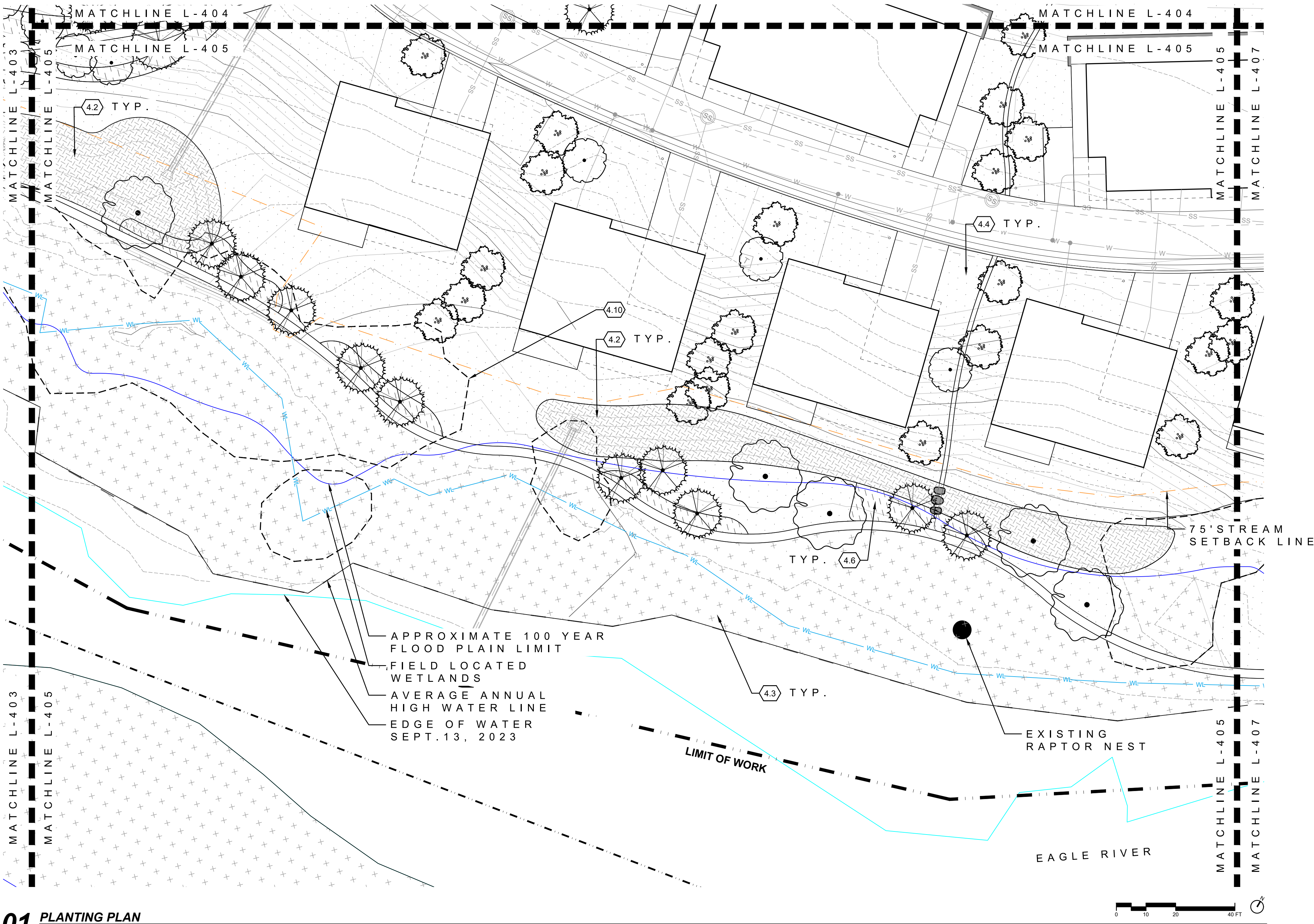
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CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE
PLANTING PLAN

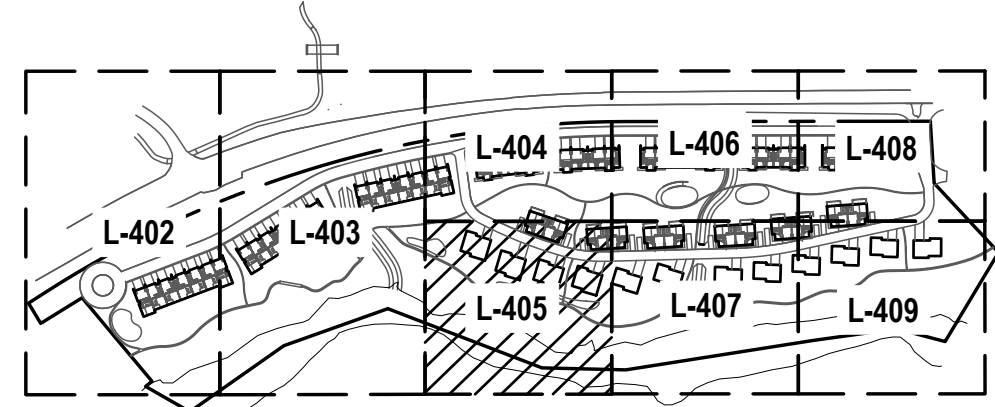
L-404



01 PLANTING PLAN
1"=20'

0.0	LEGEND	DETAIL
0.1	LIMIT OF WORK	NA
0.2	PROPERTY LINE	NA
0.3	50' WATERLINE&SEWER EASEMENT	NA
0.4	75' STREAM SETBACK LINE	NA
0.5	100 YEAR FLOOD PLAIN	NA
0.6	FIELD LOCATED WETLANDS	NA
0.7	EDGE OF WATER	NA
0.8	AVERAGE ANNUAL HIGH WATER LINE	NA
0.9	MATCHLINES	NA

4.0	LANDSCAPE / PLANTING	DETAIL
4.1	IRRIGATED TURF	NA
4.2	SWALE / DETENTION PLANTING NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	NA
4.3	EXISTING VEGETATION TO REMAIN	NA
4.4	LOW DENSITY VEGETATION LOW HEIGHT NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 2 PLANTS PER 100SF	NA
4.5	MEDIUM DENSITY VEGETATION NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	NA
4.6	HIGH DENSITY VEGETATION NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 15 PLANTS PER 100SF	NA
4.7	PROPOSED DECIDUOUS TREE	
4.8	PROPOSED ORNAMENTAL TREE	
4.9	PROPOSED CONIFEROUS TREE	
4.10	EXISTING VEGETATION TO REMAIN	



KEYMAP
1"=400'

PROJECT
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ARCHITECT/
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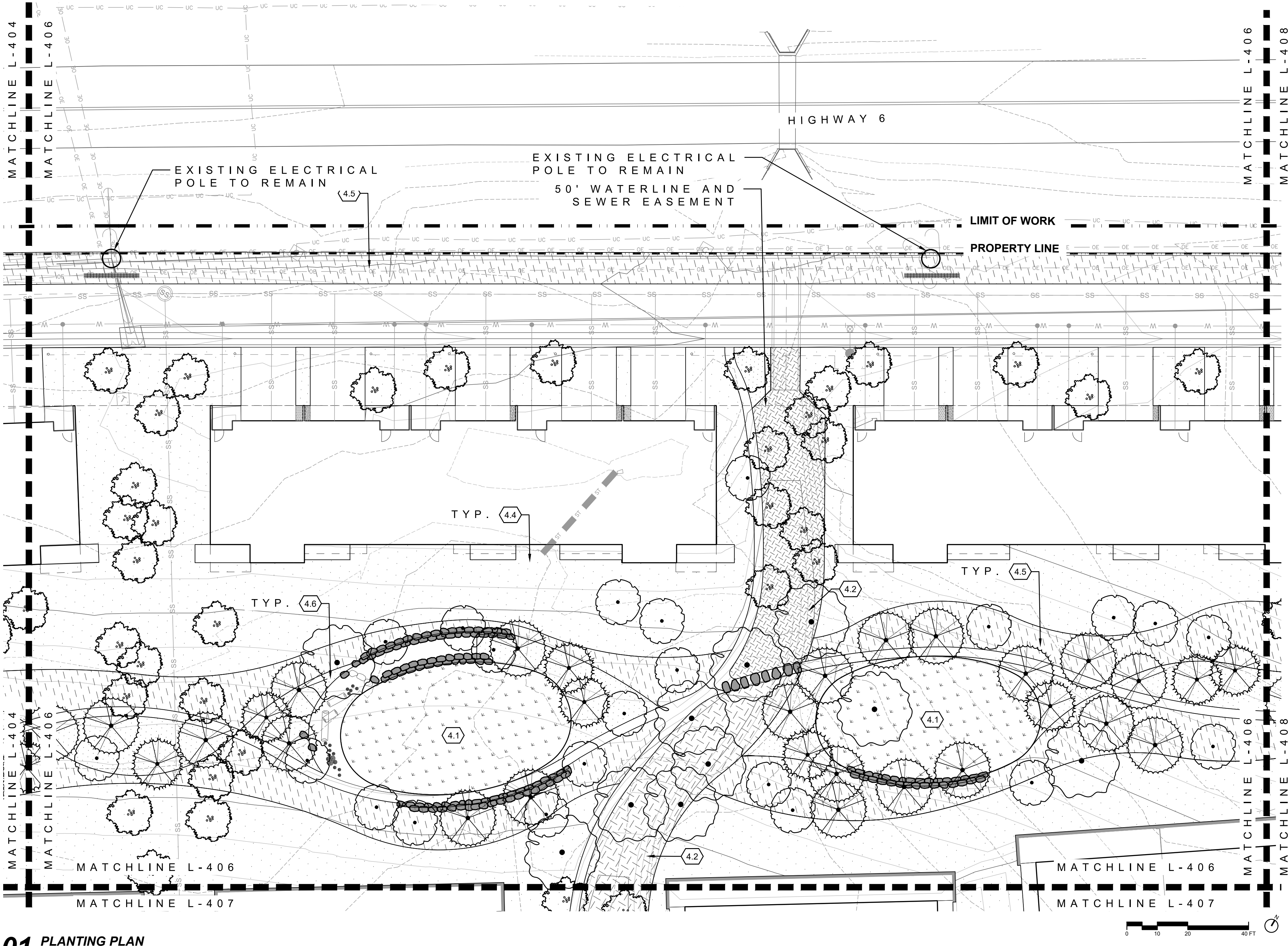
ISSUE DATE
01.13.2025

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REVISION HISTORY

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PLANTING PLAN

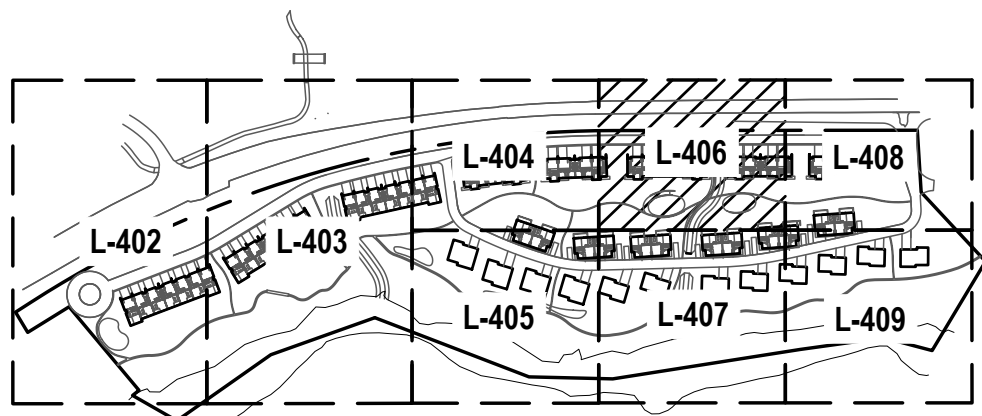
L-405



01 PLANTING PLAN
1"=20'

0.0	LEGEND	DETAIL
0.1	LIMIT OF WORK	NA
0.2	PROPERTY LINE	NA
0.3	50' WATERLINE&SEWER EASEMENT	NA
0.4	75' STREAM SETBACK LINE	NA
0.5	100 YEAR FLOOD PLAIN	NA
0.6	FIELD LOCATED WETLANDS	NA
0.7	EDGE OF WATER	NA
0.8	AVERAGE ANNUAL HIGH WATER LINE	NA
0.9	MATCHLINES	NA

4.0	LANDSCAPE / PLANTING	DETAIL
4.1	IRRIGATED TURF	NA
4.2	SWALE / DETENTION PLANTING NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	NA
4.3	EXISTING VEGETATION TO REMAIN	NA
4.4	LOW DENSITY VEGETATION LOW HEIGHT NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 2 PLANTS PER 100SF	NA
4.5	MEDIUM DENSITY VEGETATION NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	NA
4.6	HIGH DENSITY VEGETATION NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 15 PLANTS PER 100SF	NA
4.7	PROPOSED DECIDUOUS TREE	
4.8	PROPOSED ORNAMENTAL TREE	
4.9	PROPOSED CONIFEROUS TREE	
4.10	EXISTING VEGETATION TO REMAIN	



KEYMAP
1"=400

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ISSUE DATE

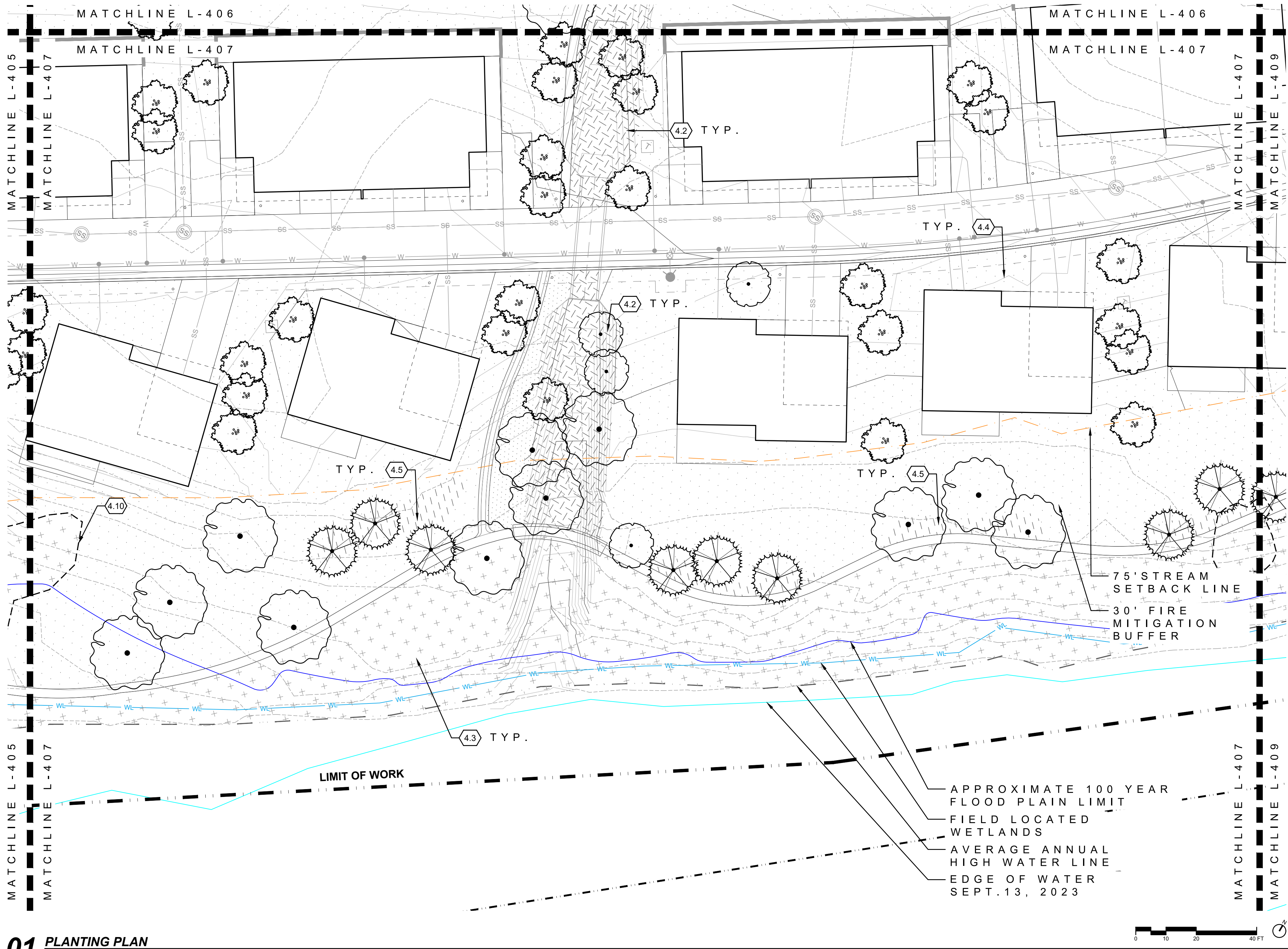
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CURRENT REVISION

REVISION HISTORY

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PLANTING PLAN

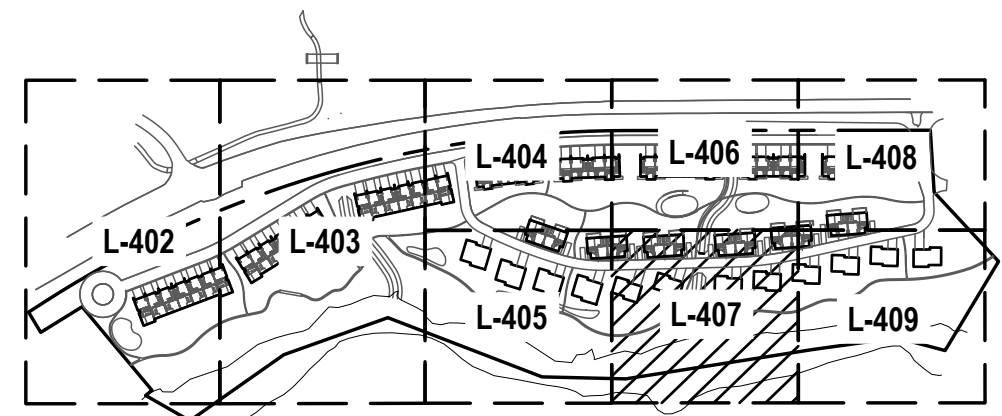
L-406



01 PLANTING PLAN
1"=20'

0.0	LEGEND	DETAIL
0.1	LIMIT OF WORK	NA
0.2	PROPERTY LINE	NA
0.3	50' WATERLINE&SEWER EASEMENT	NA
0.4	75' STREAM SETBACK LINE	NA
0.5	100 YEAR FLOOD PLAIN	NA
0.6	FIELD LOCATED WETLANDS	NA
0.7	EDGE OF WATER	NA
0.8	AVERAGE ANNUAL HIGH WATER LINE	NA
0.9	MATCHLINES	NA

4.0	LANDSCAPE / PLANTING	DETAIL
4.1	IRRIGATED TURF	NA
4.2	SWALE / DETENTION PLANTING NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	NA
4.3	EXISTING VEGETATION TO REMAIN	NA
4.4	LOW DENSITY VEGETATION LOW HEIGHT NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 2 PLANTS PER 100SF	NA
4.5	MEDIUM DENSITY VEGETATION NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	NA
4.6	HIGH DENSITY VEGETATION NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 15 PLANTS PER 100SF	NA
4.7	PROPOSED DECIDUOUS TREE	
4.8	PROPOSED ORNAMENTAL TREE	
4.9	PROPOSED CONIFEROUS TREE	
4.10	EXISTING VEGETATION TO REMAIN	



KEYMAP
1"=400'

PROJECT
RED MOUNTAIN RANCH

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ISSUE DATE

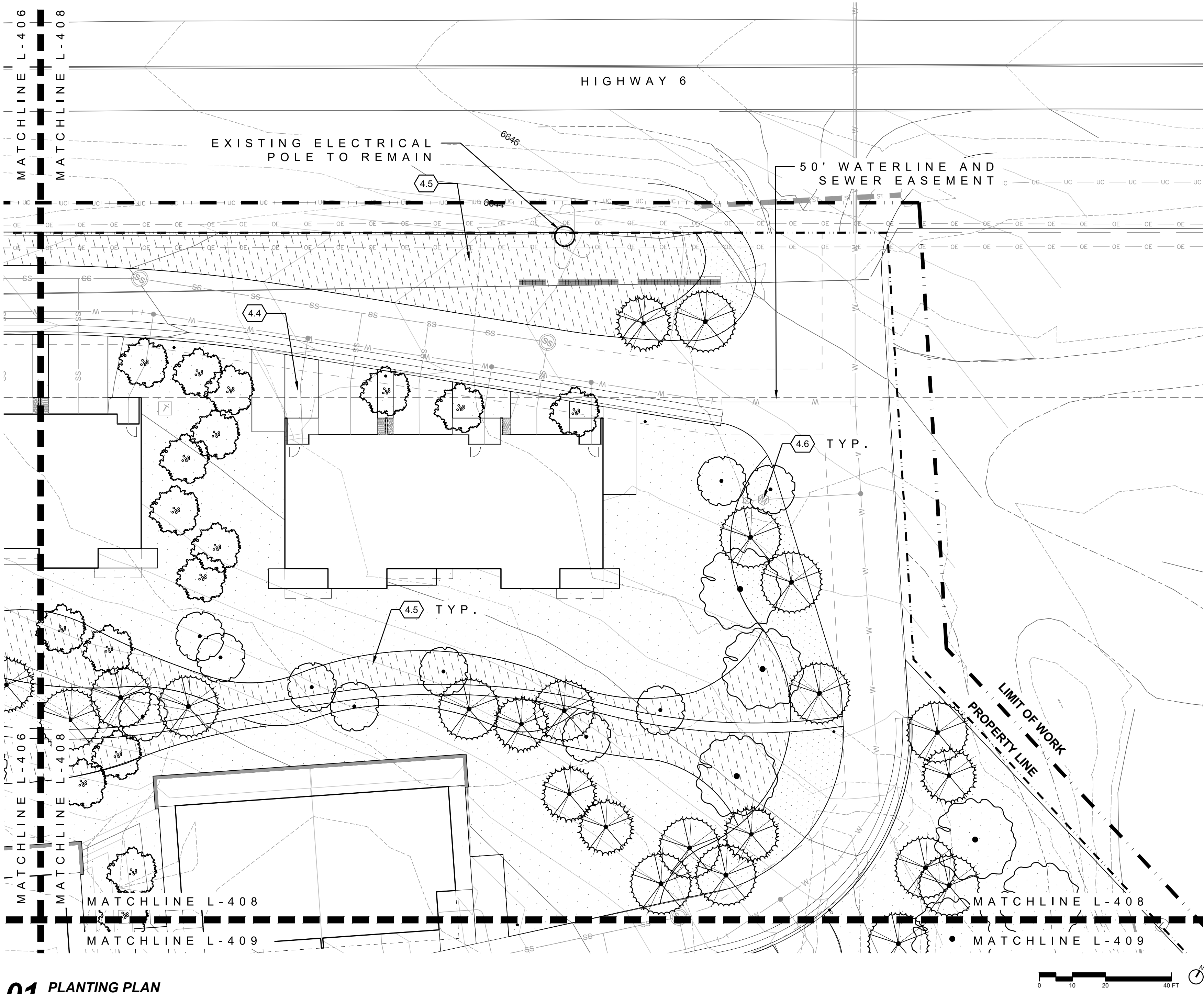
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CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE
PLANTING PLAN

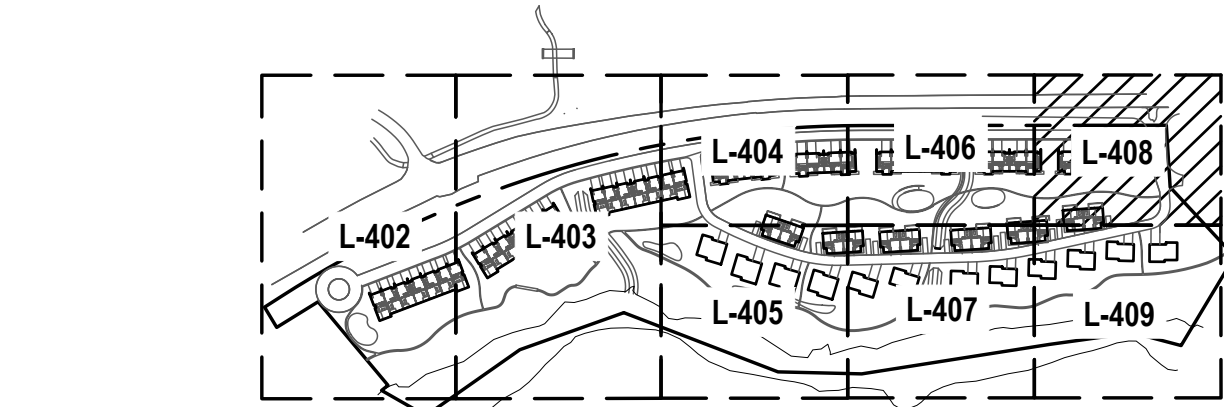
L-407



01 PLANTING PLAN
1"=20'

0.0	LEGEND	DETAIL
0.1	LIMIT OF WORK	NA
0.2	PROPERTY LINE	NA
0.3	50' WATERLINE&SEWER EASEMENT	NA
0.4	75' STREAM SETBACK LINE	NA
0.5	100 YEAR FLOOD PLAIN	NA
0.6	FIELD LOCATED WETLANDS	NA
0.7	EDGE OF WATER	NA
0.8	AVERAGE ANNUAL HIGH WATER LINE	NA
0.9	MATCHLINES	NA

4.0	LANDSCAPE / PLANTING	DETAIL
S-PA	4.1 IRRIGATED TURF	NA
	4.2 SWALE / DETENTION PLANTING	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	
EX-PA	4.3 EXISTING VEGETATION TO REMAIN	NA
PA	4.4 LOW DENSITY VEGETATION	NA
	LOW HEIGHT NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 2 PLANTS PER 100SF	
PA	4.5 MEDIUM DENSITY VEGETATION	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	
PA	4.6 HIGH DENSITY VEGETATION	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 15 PLANTS PER 100SF	
	4.7 PROPOSED DECIDUOUS TREE	
	4.8 PROPOSED ORNAMENTAL TREE	
	4.9 PROPOSED CONIFEROUS TREE	
	4.10 EXISTING VEGETATION TO REMAIN	



KEYMAP
1"=400

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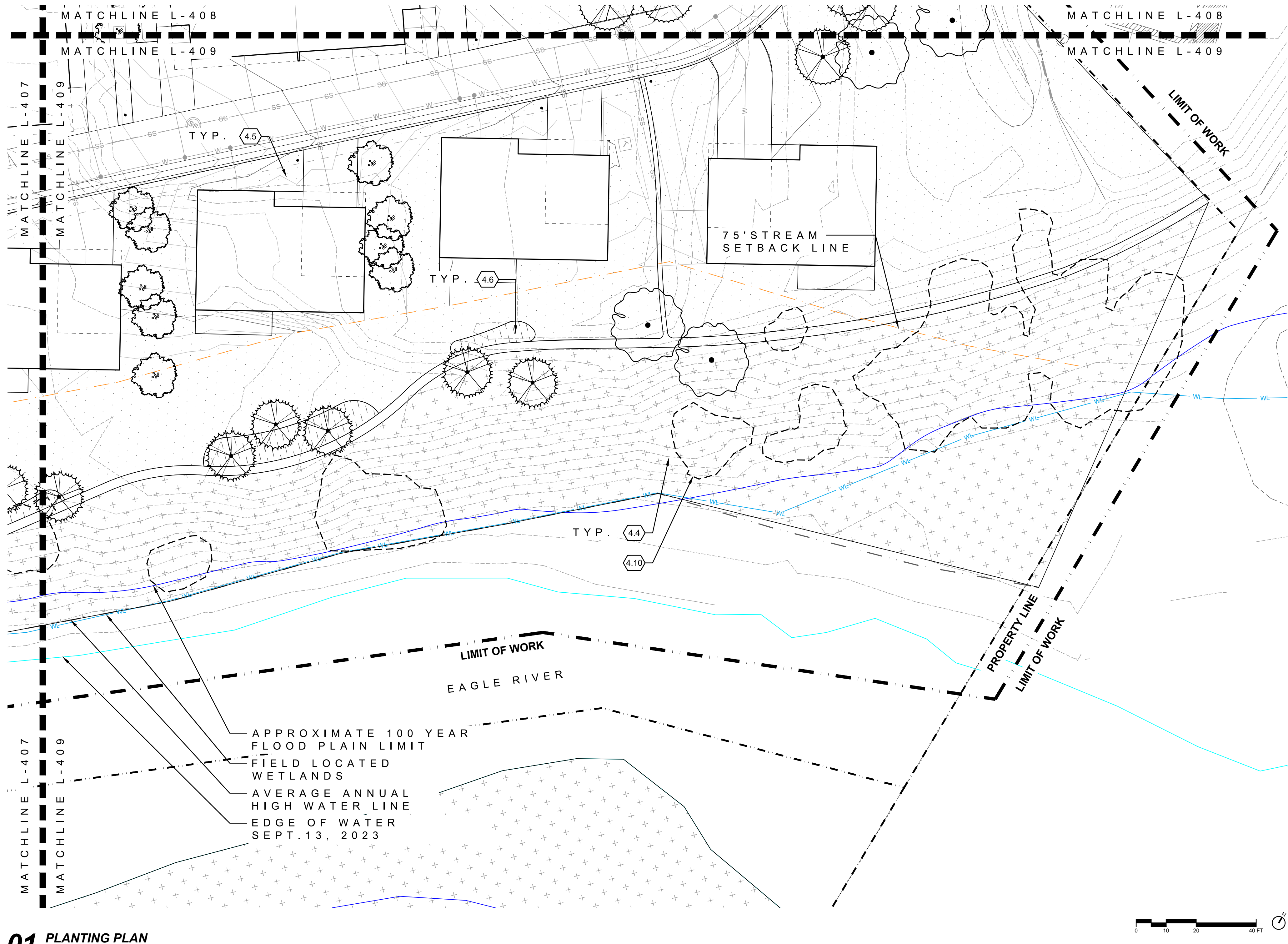
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MAJOR DEVELOPMENT PERMIT (MDP)
ISSUE DATE
01.13.2025

CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE
PLANTING PLAN

L-408



01 PLANTING PLAN
1"=20'

0.0	LEGEND	DETAIL
0.1	LIMIT OF WORK	NA
0.2	PROPERTY LINE	NA
0.3	50' WATERLINE&SEWER EASEMENT	NA
0.4	75' STREAM SETBACK LINE	NA
0.5	100 YEAR FLOOD PLAIN	NA
0.6	FIELD LOCATED WETLANDS	NA
0.7	EDGE OF WATER	NA
0.8	AVERAGE ANNUAL HIGH WATER LINE	NA
0.9	MATCHLINES	NA
4.0	LANDSCAPE / PLANTING	DETAIL
S-PA	4.1 IRRIGATED TURF	NA
	4.2 SWALE / DETENTION PLANTING	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	
EX-PA	4.3 EXISTING VEGETATION TO REMAIN	NA
PA	4.4 LOW DENSITY VEGETATION	NA
	LOW HEIGHT NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 2 PLANTS PER 100SF	
PA	4.5 MEDIUM DENSITY VEGETATION	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 10 PLANTS PER 100SF	
PA	4.6 HIGH DENSITY VEGETATION	NA
	NATIVE SEED, WITH 1 GAL. & 5 GAL. PERENNIALS, GRASSES & SHRUBS @ 15 PLANTS PER 100SF	
	4.7 PROPOSED DECIDUOUS TREE	
	4.8 PROPOSED ORNAMENTAL TREE	
	4.9 PROPOSED CONIFEROUS TREE	
	4.10 EXISTING VEGETATION TO REMAIN	

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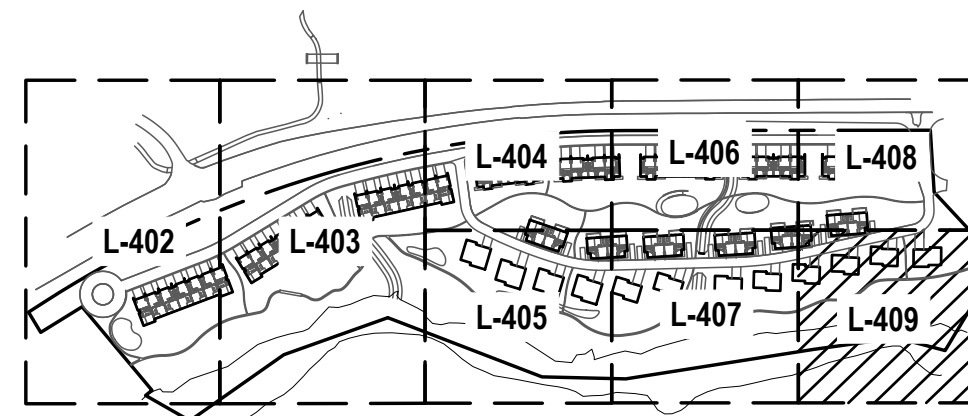
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ISSUE DATE

01.13.2025

CURRENT REVISION

REVISION HISTORY



KEYMAP
1"=400'

DRAWING SHEET TITLE
PLANTING PLAN

L-409

PROJECT
RED MOUNTAIN
RANCH

PARCEL 1
17500 US-6
EAGLE, CO 81631

ARCHITECT/
GENERAL CONTRACTOR

tres birds

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ISSUANCE

MAJOR
DEVELOPMENT
PERMIT (MDP)

ISSUE DATE

01.13.2025

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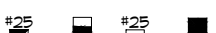











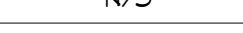






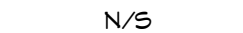






REVISION HISTORY

DRAWING SHEET TITLE

IRRIGATION
SCHEDULE

IR-401

IRRIGATION SCHEDULE

IRRIGATION SCHEDULE					
SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.	
	RAIN BIRD	RD-06-S-P30-NP WITH MPR SERIES NOZZLE	POPUP SPRAY HEAD	NS	
	RAIN BIRD	RD-06-S-P30-NP WITH SST, CORNER SERIES NOZZLE	POPUP SPRAY HEAD	NS	
	RAIN BIRD / HUNTER	RD-06-S-P40-NP WITH MP-ROTATOR SERIES NOZZLE (M1=MP-1000, M2=MP-2000, M3=MP3000 & M35=MP3500)	POPUP ROTATOR HEAD	NS	
	RAIN BIRD	RD-12-S-P30-NP WITH MPR SERIES NOZZLE	POPUP SPRAY HEAD	NS	
	RAIN BIRD / HUNTER	RD-12-S-P40-NP WITH MP-ROTATOR SERIES NOZZLE (M1=MP-1000, M2=MP-2000, M3=MP3000 & M35=MP3500)	HI-POP ROTATOR HEAD	NS	
	HUNTER	I-20-06-S6-R WITH # STANDARD NOZZLE (BLUE)	GEAR DRIVEN ROTOR	NS	
	HUNTER	I-25-06-S6 WITH #20 & #20 NOZZLES	GEAR DRIVEN ROTOR	NS	
	HUNTER	I-20-12-R WITH # STANDARD NOZZLE (BLUE)	HI-POP GEAR DRIVEN ROTOR	NS	
	HUNTER	I-20-12-R WITH #MPR25 MATCHED PRECIPITATION NOZZLE (RED)	HI-POP GEAR DRIVEN ROTOR	NS	
	HUNTER	ICV -PRS-D V/DECODER	ELECTRIC CONTROL VALVE	NS	
	RAIN BIRD	44- NP	QUICK COUPLING VALVE	NS	
	BASELINE	3200 WEB ACCESSIBLE	2-WIRE ELECTRIC CONTROLLER	NS	
	FEBCO	880	RP BACKFLOW PREVENTER	NS	
	N/S	STRONG BOX	SBBG-40(N=6")-ALHP	BACKFLOW PREVENTER ENCLOSURE	NS
	N/S	OLDCASTLE / CARSON	REFER TO SPECIFICATIONS AND DETAILS	VALVE BOXES	NS
	N/S	MACDONALD	AY 1/4 TURN - 1"	MANUAL DRAIN VALVE	NS
			LINE SIZE - 2½" AND SMALLER	GATE VALVE	NS
			LINE SIZE - 3" AND LARGER	GATE VALVE - HDPE FUSED	NS
	APCO	BERMAD	AIR RELEASE VALVE	NS	
	N/S	LEEMCO		MECHANICAL JOINT RESTRAINTS	NS
			CLASS 200 BE - 2½" & SMALLER	PVC MAINLINE	NS
			CLASS 200 FUSED - 3" & LARGER	HDPE MAINLINE	NS
			CLASS 160	PVC SLEEVING	NS
	RAIN BIRD	XGZ-100-PRB-COM		DRIP VALVE ASSEMBLY	NS
	N/S	RAIN BIRD	XERI-BUG	DRIP EMITTERS	NS
	N/S	BASELINE	ICD-100	VALVE DECODER	NS
	N/S	BASELINE	ICD-SEN	SENSOR DECODER	NS
	PAIGE	PT354D #12 AWG		2-WIRE DECODER CABLE	NS
	HUNTER	AT LOCATIONS SHOWN		SURGE PROTECTION	NS
		VFD NON POTABLE		PRIMARY PUMP	NS
	BY OTHERS			WATER METER	NS
	RAIN BIRD	XERI-BUG WITH CHECK VALVE		TREE DRIP RINGS	NS
				HDPE SUB-MAINLINE ISOLATION VALVE	NS
					NS
					NS
				CONTROLLER & STATION NO. CONTROL VALVE SIZE	

IRRIGATION CONSTRUCTION NOTES

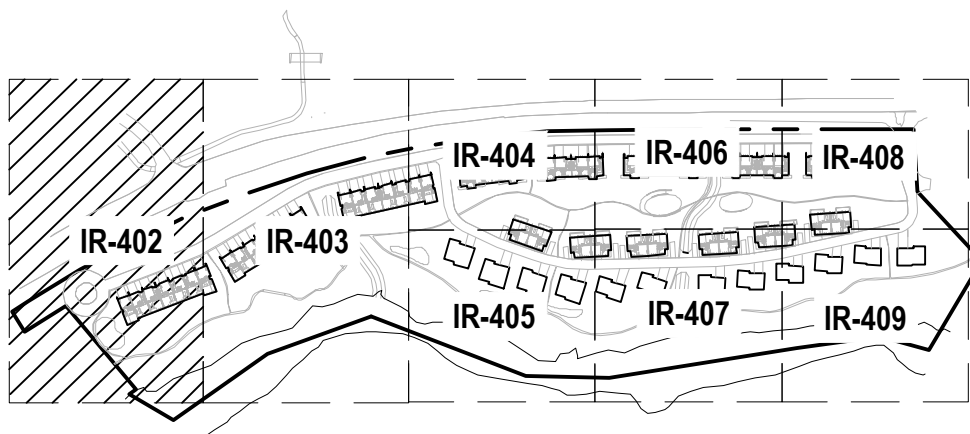
- DRAWINGS AND BASE INFORMATION -- ALL BASE AND PLANTING INFORMATION HAVE BEEN PROVIDED BY WENK ASSOCIATES. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY HYDROSYSTEMS*KDI OF ANY DISCREPANCIES BETWEEN THE UTILITY OR PLANTING PLANS AND THE IRRIGATION PLAN. IF CONTRACTOR FAILS TO NOTIFY HYDROSYSTEMS*KDI AND MAKES CHANGES TO THE IRRIGATION SYSTEM DESIGN, HE ASSUMES ALL COSTS AND LIABILITIES ASSOCIATED WITH THOSE FIELD CHANGES. REFER TO SPECIFICATIONS FOR ADDITIONAL PROJECT REQUIREMENTS. CONTACT IRRIGATION CONSULTANT FOR CURRENT SPECIFICATIONS IF NOT PROVIDED.
- SYSTEM PRESSURE - HYDROSYSTEMS*KDI HAS CONTACTED THE LOCAL WATER DISTRICT THAT SERVES THIS SITE AND THEY HAVE BEEN TOLD THAT THE STATIC WATER PRESSURE IN THIS AREA SHOULD BE TBD PSI. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY PRESSURE PRIOR TO COMMENCING ANY CONSTRUCTION AND NOTIFY HYDROSYSTEMS*KDI OF ANY VARIANCE FROM THE STATED PRESSURE IMMEDIATELY. WRITTEN DOCUMENTATION OF PRESSURE TEST AND RESULTS SHALL BE PROVIDED TO HYDROSYSTEMS*KDI AT CONSTRUCTION ONSET. IF CONTRACTOR FAILS TO FIELD VERIFY PRESSURE AND/OR NOTIFY HYDROSYSTEMS*KDI OR ANY VARIATIONS FROM THIS PRESSURE, THEN HE ASSUMES ALL CONSTRUCTION AND ENGINEERING COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS REQUIRED TO ACCOMMODATE ACTUAL SITE PRESSURE. THIS SYSTEM HAS BEEN DESIGNED FOR A REQUIRED STATIC PRESSURE OF TBD PSI MINIMUM.
- NON-POTABLE WATER SOURCE - THIS SITE HAS BEEN DESIGNED TO BE IRRIGATED WITH NON-POTABLE WATER. ALL CAPS ON HEADS, VALVE HANDLES, VALVE BOX LIDS SHALL BE CONSTRUCTED OF PURPLE MATERIALS AND LABELED TO INDICATE NON-POTABLE WATER SUPPLY. ALL MAINLINE AND LATERAL PIPING SHALL BE PURPLE. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING SIGNS NOTIFYING THE PUBLIC OF THE USE OF NON-POTABLE WATER ON THIS SITE. SEE STATE REGULATIONS FOR CONTENT AND SIZE OF NOTIFICATION SIGNS. INSTALLATION CREWS ARE TO BE INFORMED OF THE USE OF NON-POTABLE WATER.
- IRRIGATION SYSTEM OPERATION INTENT - THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO IRRIGATE THE ESTABLISHED LANDSCAPE WITHIN A SIX NIGHT PER WEEK, SIX HOUR PER NIGHT WATERING WINDOW. ESTABLISHMENT WATERING WILL REQUIRE UP TO TWICE AS MUCH IRRIGATION FOR A FOUR TO SIX WEEK PERIOD. THE DESIGN IS BASED ON THE FOLLOWING PROJECTED WEEKLY APPLICATION RATES AFTER ESTABLISHMENT. THESE FIGURES ARE BASED ON A 30-YEAR AVERAGE WEATHER DATA AND WILL NEED TO BE ADJUSTED DUE TO SEASONAL CHANGES AND WEATHER CONDITIONS ABOVE AND BELOW THE AVERAGE VALUES UTILIZED.
BLUEGRASS TURF 1.39" PER WEEK PEAK SEASON
ORNAMENTAL PLANTINGS 0.77" PER WEEK PEAK SEASON
NATIVE SEED MIXES 01.00" PER WEEK PEAK SEASON
- EQUIPMENT INSTALLATION - IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN PROPERTY LIMITS AND WITHIN LANDSCAPED AREAS. ANY EQUIPMENT OTHER THAN VALVE BOXES OR SLEEVING THAT CONTAINS PIPE OR WIRES SHOWN OUTSIDE OF THESE LIMITS IS SHOWN IN THAT LOCATION FOR GRAPHICAL CLARITY ONLY. ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 2'-0" FROM EDGE OF ANY PAVED SURFACES UNLESS SPECIFICALLY INDICATED ON PLANS. BOXES INSTALLED IN OPEN TURF AREAS SHALL BE KEPT TO EDGES AND STAKED FOR REVIEW IF ALONG HIGH TRAFFIC AREAS. ALL VALVE BOXES SHALL BE PLACED A MINIMUM OF 3'-0" FROM THE CENTERLINE OF ANY DRAINAGE SWALE. ALL VALVE BOXES WITHIN PAVEMENT SHALL BE TIER 15 RATED BOXES FOR HEAVY DUTY NON-DELIBERATE TRAFFIC. BOX LID COLOR SHALL MATCH ADJACENT MATERIALS, I.E. GREEN IN TURF, TAN IN WOOD MULCH, GRAY IN STONE MULCH, PURPLE FOR RECLAIMED WATER SYSTEMS (IF REQUIRED). REFER TO LANDSCAPE PLANS FOR MATERIAL COLORS AND TYPES. ALL BOXES SHALL BE INSTALLED TO BE FLUSH WITH GRADE AND IN AN ORDERLY MANNER.
- PIPING INSTALLATION - IRRIGATION PIPING SHALL MAINTAIN A MINIMUM DISTANCE FROM BUILDING FOUNDATIONS OF 5 FEET OR AS DESCRIBED IN SOILS REPORT, WHICHEVER IS GREATER. NO SPRAY IRRIGATION SHALL OCCUR WITHIN 10 FEET OF THE FOUNDATION. NO DRIP IRRIGATION SHALL OCCUR WITHIN 5 FEET OF THE FOUNDATION UNLESS SOIL MOISTURE SENSORS ARE INSTALLED ON VALVES SERVICING THESE AREAS.
- MANUAL DRAIN VALVES - CONTRACTOR TO INSTALL ONE MANUAL DRAIN VALVE ON PRESSURE SUPPLY LINE DIRECTLY DOWNSTREAM OF BACKFLOW PREVENTER AND AT ALL LOW POINTS AND DEAD ENDS OF PRESSURE SUPPLY PIPING TO ENSURE COMPLETE DRAINAGE OF SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THESE LOCATIONS IN-FIELD AND INSTALLATION LOCATIONS SHALL BE NOTED ON AS-BUILTS.
- POP-UP SPRAY NOZZLES - CONTRACTOR TO INSTALL PLASTIC NOZZLES ON ALL POP-UP SPRAY HEADS. INSTALL 17 SERIES NOZZLES ON ALL HEADS SPACED AT 16' TO 15'. INSTALL 15 SERIES NOZZLES ON ALL HEADS SPACED AT 12' TO 14'. INSTALL 12 SERIES NOZZLES ON ALL HEADS SPACED 10' TO 11'. INSTALL 10 SERIES NOZZLES ON ALL HEADS SPACED AT 8' TO 9'. INSTALL 8 SERIES NOZZLES ON ALL HEADS SPACED AT 6' TO 7'. INSTALL 5' NOZZLES ON ALL HEADS SPACED AT 5'. INSTALL SIDE STRIP NOZZLES ON ALL HEADS WITH AN "S" DESIGNATION AND RIGHT AND LEFT CORNER STRIP NOZZLES ON ALL HEADS WITH AN "L" OR "R" DESIGNATION. VARIABLE ARC NOZZLES SHOULD BE UTILIZED ADJACENT TO CURVILINEAR SHRUB BEDS OR FOR ANY ANGLES THAT ARE NOT A STANDARD NOZZLE ANGLE. WHERE INDICATED, INSTALL LOW FLOW SQ SERIES SQUARE NOZZLES AT SPACING SHOWN.
- DRIP IRRIGATION - REFER TO IRRIGATION DETAIL SHEET FOR DRIP EMITTER QUANTITIES / DRIP TUBING FLOW AND PLACEMENT.
- UNLABELED PIPING - ALL UNLABELED LATERAL PIPING SHALL BE 1" MINIMUM UNLESS OTHERWISE NOTED.
- SLEEVING - ALL SLEEVING UNDER PAVED SURFACES SHOWN ON PLANS IS BY CONTRACTOR UNLESS OTHERWISE NOTED. SLEEVING SHALL BE INSTALLED IN THE SIZES AND QUANTITIES SHOWN ON PLANS OR BASED ON THE SCHEDULE BELOW. WHERE SLEEVES ARE SHOWN, BUT NOT LABELED, FOLLOW THE SCHEDULE BELOW. ALL MAINLINE, CONTROL WIRES AND DRIP LINES UNDER PAVED SURFACES ARE TO BE INSTALLED IN SLEEVING. ALL MAINLINE SLEEVE LOCATIONS TO INCLUDE A SEPARATE WIRE SLEEVE.
SLEEVED PIPE SIZE/WIRE QUANTITY REQUIRED SLEEVE SIZE & (QUANTITY)
3/4" - 1 1/4" PIPING 2" PVC (1)
1 1/2" - 2" PIPING 4" PVC (1)
3" HDPE PIPING 6" PVC (1)
2-WIRE DECODER CABLE 2" PVC (1)
COMMUNICATION CABLE 2" PVC (1)
- WIRE SYSTEM NOTES - CONTRACTOR SHALL INSTALL ALL TWO-WIRE COMPONENTS PER MANUFACTURES RECOMMENDATIONS AND STANDARDS.
1.1. CONTRACTOR SHALL USE ONLY MANUFACTURED 2-WIRE DECODER CABLE (SEE SCHEDULE FOR SPECIFIC 2-WIRE CABLE).
1.2. ONLY USE SINGLE STATION DECODERS (SEE SCHEDULE FOR SPECIFIC MODEL).
1.3. ONLY USE SENSOR DECODER FOR FLOW SENSOR (SEE SCHEDULE FOR SPECIFIC MODEL) IF INDICATED ON PLANS.
1.4. LOOP 5' OF 2-WIRE DECODER CABLE INTO ALL VALVE BOXES (WITH DECODERS AND SPLICES) FOR MAINTENANCE.
1.5. USE ONLY 3M DBR-6 WATERPROOF CONNECTORS ON ALL WIRE SPLICES AND ALL WIRE SPLICES ARE TO BE MADE WITHIN A VALVE BOX WITH CONTROL VALVES OR A SEPARATE 10' ROUND VALVE BOX FOR WIRE SPLICES.
1.6. INSTALL SURGE PROTECTOR RODS OR PLATES 8 LF. FROM VALVES, DECODERS, AND COMMUNICATION WIRE.
1.7. GROUND ALL DECODERS AND DECODER WIRE A MINIMUM OF EVERY 500' OF WIRE OR EVERY 8TH DECODER AND AT ALL ENDS OF 2-WIRE DECODER CABLE RUN. LOOP EXTRA 10' OF 2-WIRE DECODER CABLE INTO A VALVE BOX AT PHASING LINES FOR FUTURE CONNECTION (IF INDICATED ON PLANS).
- ADJUSTMENT - CONTRACTOR SHALL FINE TUNE/ADJUST THE IRRIGATION SYSTEM TO REDUCE/AVOID OVERSPRAY ONTO HARD SURFACES BY ADJUSTING NOZZLE DIRECTION AND NOZZLE RADIUS.
- PLANS AND SPECIFICATIONS - CONTRACTOR RESPONSIBLE TO ENSURE WORK CONFORMS TO PLANS AND SPECIFICATIONS. AT ONSET OF CONSTRUCTION, VERIFY PLANS ARE CURRENT. WHERE REQUIRED BY CITY OR TOWN, CONTRACTOR SHALL CONSTRUCT ONLY OFF CITY OR TOWN STAMPED PLANS. REVISIONS TO CITY OR TOWN STAMPED PLANS SHALL CONFORM TO CITY OR TOWN FIELD CHANGE PROCEDURES AND DOCUMENTATION.
- EXISTING IRRIGATION DAMAGE - CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION SYSTEMS DAMAGED DURING NEW INSTALLATION. REPAIR OR REPLACEMENT SHALL BE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE AND PAID FOR BY THE LANDSCAPE CONTRACTOR.
- EXISTING IRRIGATION COORDINATION - EXISTING IRRIGATION SYSTEM SHALL NOT BE TURNED OFF FOR MORE THAN 24 HOURS MAXIMUM. CONTRACTOR SHALL COORDINATE TURN OFF OF SYSTEM WITH OWNER OR MAINTENANCE STAFF 12 HOURS PRIOR TO ANY NEW CONSTRUCTION.
- SIMULTANEOUS ZONE OPERATION - THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO OPERATE MULTIPLE ZONES SIMULTANEOUSLY BASED ON INDIVIDUAL ZONE FLOW. THE DESIGN IS INTENDED TO OPERATE MULTIPLE VALVES, UP TO THE MAXIMUM FLOW IN THE POINT OF CONNECTION NOTE. REFER TO CONTROLLER SPECIFICATION FOR MAXIMUM SIMULTANEOUS VALVE COUNT.
- ALL TEMPORARY IRRIGATION ZONES SHALL BE ABANDONED AT THE TIME OF FINAL ACCEPTANCE PER SECTION 1000 OF THE TOWN OF ERIE STANDARDS AND SPECIFICATIONS UNLESS APPLICABLE RAW WATER FEES HAVE BEEN PAID. ABANDONMENT OF IRRIGATION ZONES SHALL BE VERIFIED BY TOWN OF ERIE.

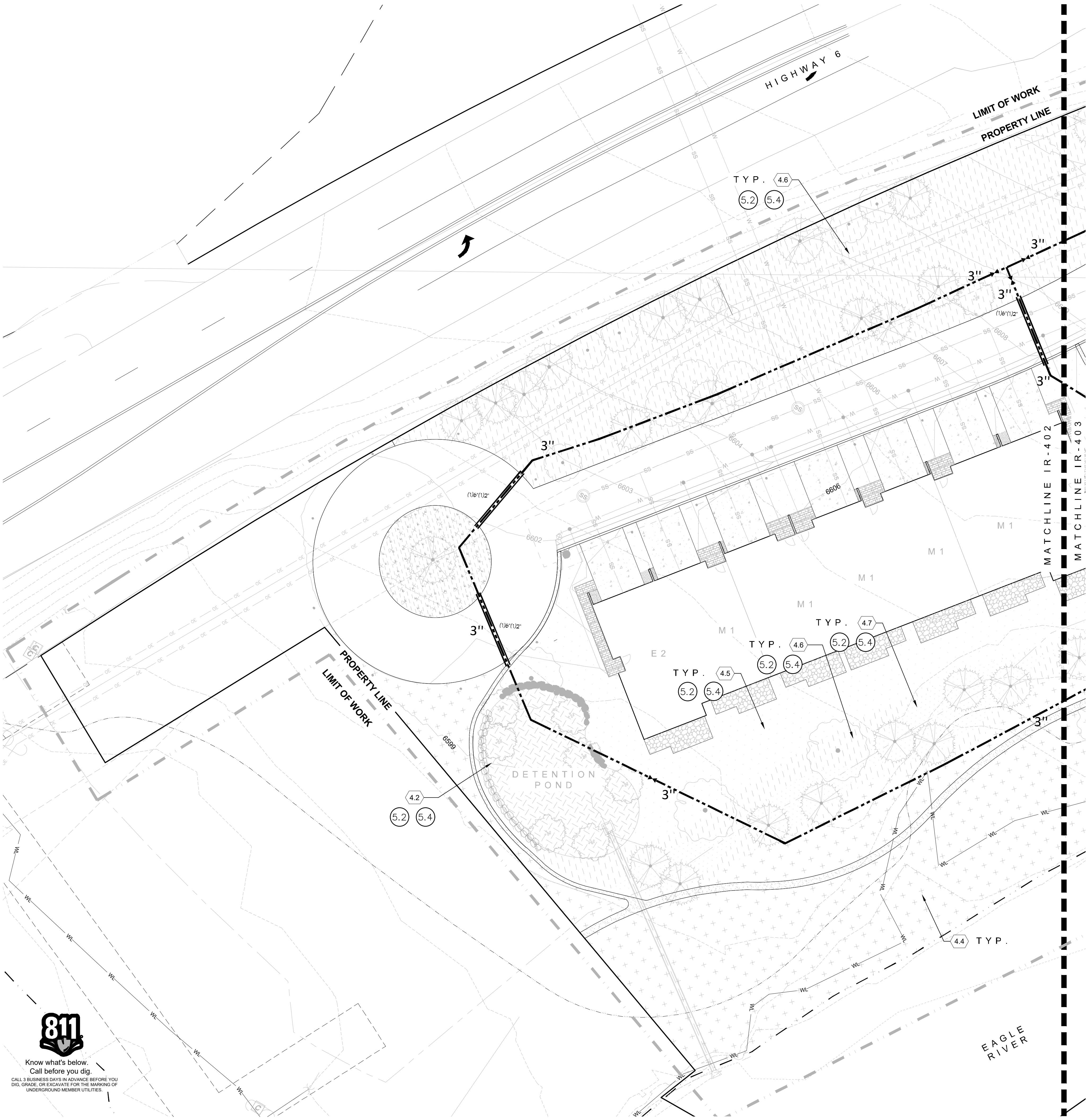
IRRIGATION AREAS

AREA SQ/FT	TYPE	IRRIGATION
5,136	TURF GRASS	PERMANENT
246,597	IRRIGATED NATIVE	TEMPORARY
13,809	NEW TREES/SHRUBS IN NATIVE	PERMANENT

RED MOUNTAIN RANCH-RAW		
TAP #	85	PRESSURE REQUIRED
1		
TAP/METER SIZE	85	PRESSURE AVAILABLE
PUMP	93	GPM MAXIMUM FLOW

RED MOUNTAIN RANCH-POTABLE		
TAP #	70	PRESSURE REQUIRED
2		
TAP/METER SIZE	TBD	PRESSURE AVAILABLE
3"	93	GPM MAXIMUM FLOW



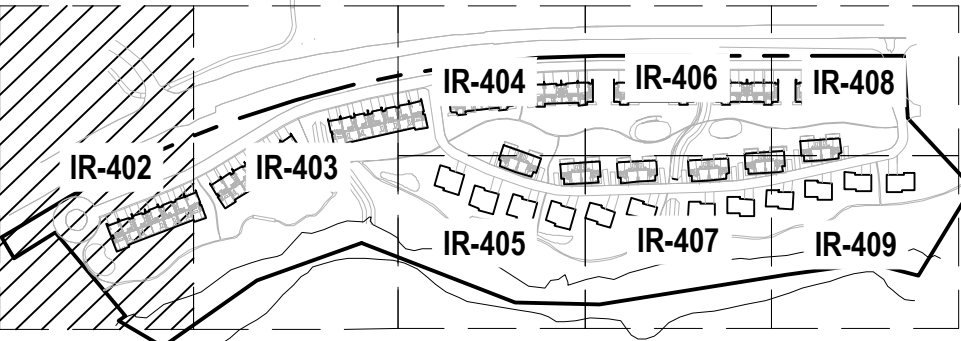


LANDSCAPE / PLANTING		IRRIGATION TYPE	
4.0	4.1 IRRIGATED TURF	5.1	
S-PA	4.2 SWALE/DETENTION POND SEED	5.2	5.3
EX-PA	4.4 EXISTING VEGETATION TO REMAIN	5.2	
PA	4.5 LOW DENSITY VEGETATION	5.2	5.3
PA	4.6 MEDIUM DENSITY VEGETATION	5.2	5.3
PA	4.7 HIGH DENSITY VEGETATION	5.2	5.3
	4.7 PROPOSED DECIDUOUS TREE	5.4	
	4.8 PROPOSED ORNAMENTAL TREE	5.4	
	4.9 PROPOSED CONIFEROUS TREE	5.4	

IRRIGATION DEVELOPMENT DESIGN NOTES

- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN A SIX NIGHT, SIX HOUR PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 10:00 PM AND 4:00 AM.
- THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.
- THE MAXIMUM FLOW RATE REQUIRED FOR THE SITE IS 100 GPM. THE STATIC PRESSURE AVAILABLE AT THE SITE IS 85 PSI.
- THE IRRIGATION INFORMATION SHOWN ON THESE PLANS IS CONCEPTUAL.
- IRRIGATION DESIGN APPROACH
 - TURF AREAS
 - SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD TO HEAD COVERAGE.
 - LARGE TURF AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH GEAR DRIVEN ROTOR HEADS WITH A MINIMUM PRECIPITATION RATE OF .45" PER HOUR FOR A FULL CIRCLE HEAD.
 - NATIVE GRASS AREAS
 - SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE HIGH POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION ROTATOR OR SPRAY NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD TO HEAD COVERAGE.
 - LARGE NATIVE GRASS AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH HIGH -POP GEAR DRIVEN ROTORS WHERE POSSIBLE AND STANDARD POP-UP GEAR ROTORS FOR SOACING OVER 45' AND EXISTING NATIVE AREA FROM TOP OF SLOPE.
 - SHRUB BED AREAS - BED AREAS WITH PLANT MATERIAL ONE GALLON IN SIZE OR LARGER SHALL BE DRIP IRRIGATED.
 - TREES AND SHRUBS IN NATIVE AREA SHALL RECEIVE SUBSURFACE TREE AND SHRUB IN-LINE EMITTER IRRIGATION. THIS WILL SUPPLEMENT THE IRRIGATION WHEN NATIVE GRASS IRRIGATION REDUCED OR SHUT OFF.
- IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC, WEB BASED AND INCLUDE A WEATHER SENSING DEVICE.

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13949 W. Colfax Ave, Suite 260 Lakewood, Colorado 80401
o. 303.980.5327 www.hydrosystemsmdi.com



KEYMAP
NTS

PROJECT
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EAGLE, CO 81631
ARCHITECT/
GENERAL CONTRACTOR
tres birds
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ISSUANCE
MAJOR DEVELOPMENT PERMIT (MDP)
ISSUE DATE
01.13.2025

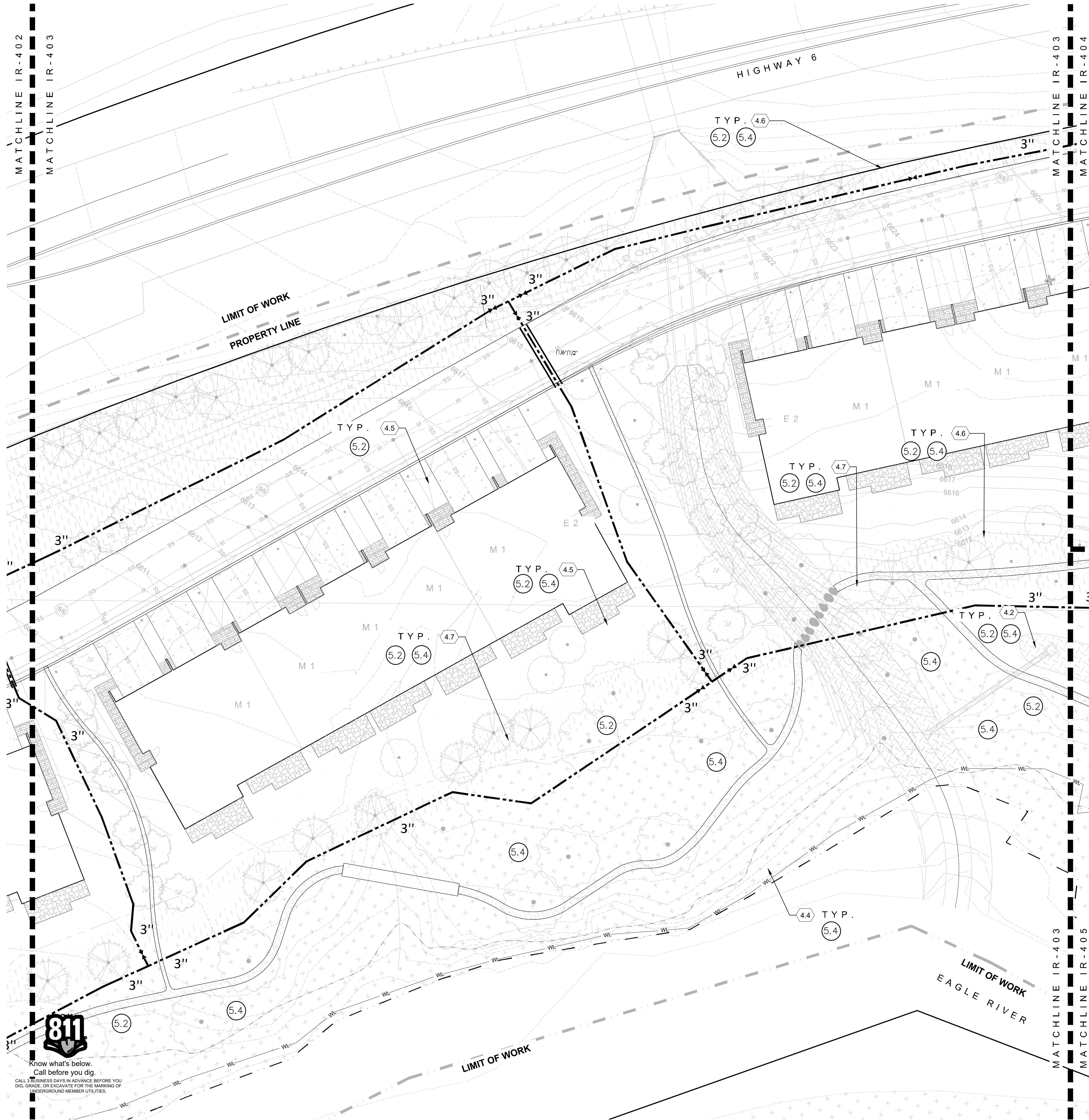
CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE
IRRIGATION PLAN

IR-402

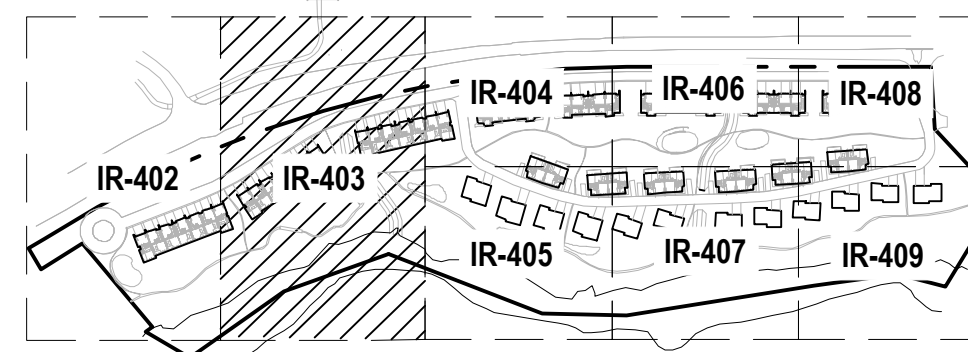
Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES

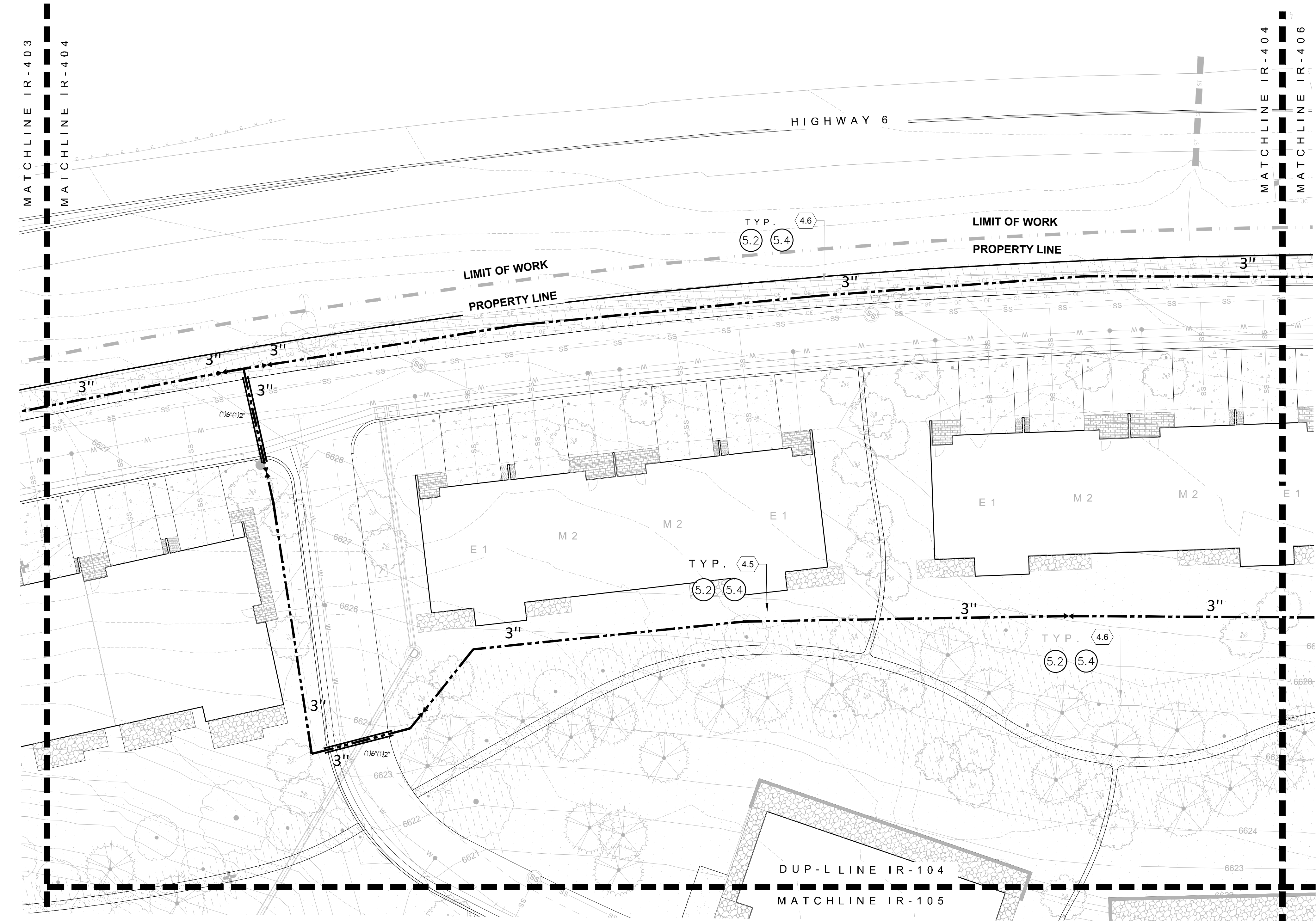


LANDSCAPE / PLANTING		IRRIGATION TYPE	
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 - SHRUB BED AREAS - BED AREAS WITH PLANT MATERIAL ONE GALLON IN SIZE OR LARGER SHALL BE DRIP IRRIGATED.
 - TREES AND SHRUBS IN NATIVE AREA SHALL RECEIVE SUBSURFACE TREE AND SHRUB IN-LINE EMITTER IRRIGATION. THIS WILL SUPPLEMENT THE IRRIGATION WHEN NATIVE GRASS IRRIGATION REDUCED OR SHUT OFF.
- IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC, WEB BASED AND INCLUDE A WEATHER SENSING DEVICE.





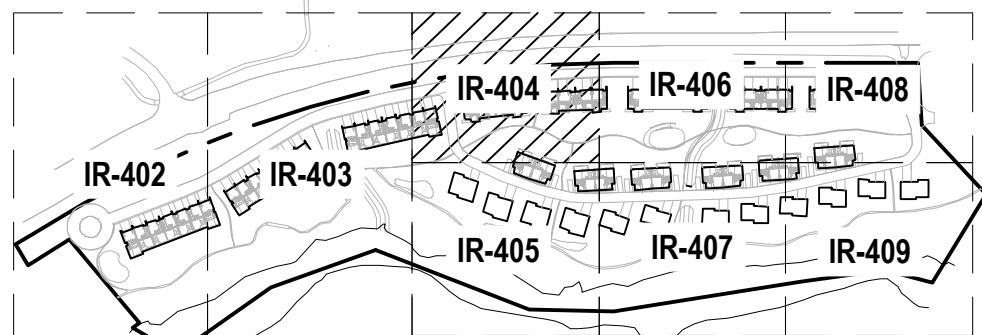
01 IRRIGATION PLAN
1"=20'



LANDSCAPE / PLANTING		IRRIGATION TYPE
4.0	4.1 IRRIGATED TURF	5.1
S-PA	4.2 SWALE/DETENTION POND SEED	5.2 5.3
EX-PA	4.4 EXISTING VEGETATION TO REMAIN	5.2
PA	4.5 LOW DENSITY VEGETATION	5.2 5.3
PA	4.6 MEDIUM DENSITY VEGETATION	5.2 5.3
PA	4.7 HIGH DENSITY VEGETATION	5.2 5.3
4.7	4.7 PROPOSED DECIDUOUS TREE	5.4
4.8	4.8 PROPOSED ORNAMENTAL TREE	5.4
4.9	4.9 PROPOSED CONIFEROUS TREE	5.4

IRRIGATION DEVELOPMENT DESIGN NOTES

1. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN A SIX NIGHT, SIX HOUR PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 10:00 PM AND 4:00 AM.
2. THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.
3. THE MAXIMUM FLOW RATE REQUIRED FOR THE SITE IS 100 GPM. THE STATIC PRESSURE AVAILABLE AT THE SITE IS 85 PSI.
4. THE IRRIGATION INFORMATION SHOWN ON THESE PLANS IS CONCEPTUAL.
5. IRRIGATION DESIGN APPROACH
 - 5.1. TURF AREAS
 - 5.1.1. SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD TO HEAD COVERAGE.
 - 5.1.2. LARGE TURF AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH GEAR DRIVEN ROTOR HEADS WITH A MINIMUM PRECIPITATION RATE OF .45" PER HOUR FOR A FULL CIRCLE HEAD.
 - 5.2. NATIVE GRASS AREAS
 - 5.2.1. SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE HIGH POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION ROTATOR OR SPRAY NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD TO HEAD COVERAGE.
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 - 5.3.1. TREES AND SHRUBS IN NATIVE AREA SHALL RECEIVE SUBSURFACE TREE AND SHRUB IN-LINE EMITTER IRRIGATION. THIS WILL SUPPLEMENT THE IRRIGATION WHEN NATIVE GRASS IRRIGATION REDUCED OR SHUT OFF.
6. IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC, WEB BASED AND INCLUDE A WEATHER SENSING DEVICE.



KEYMAP
1"=400

PROJECT
RED MOUNTAIN RANCH
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GENERAL CONTRACTOR
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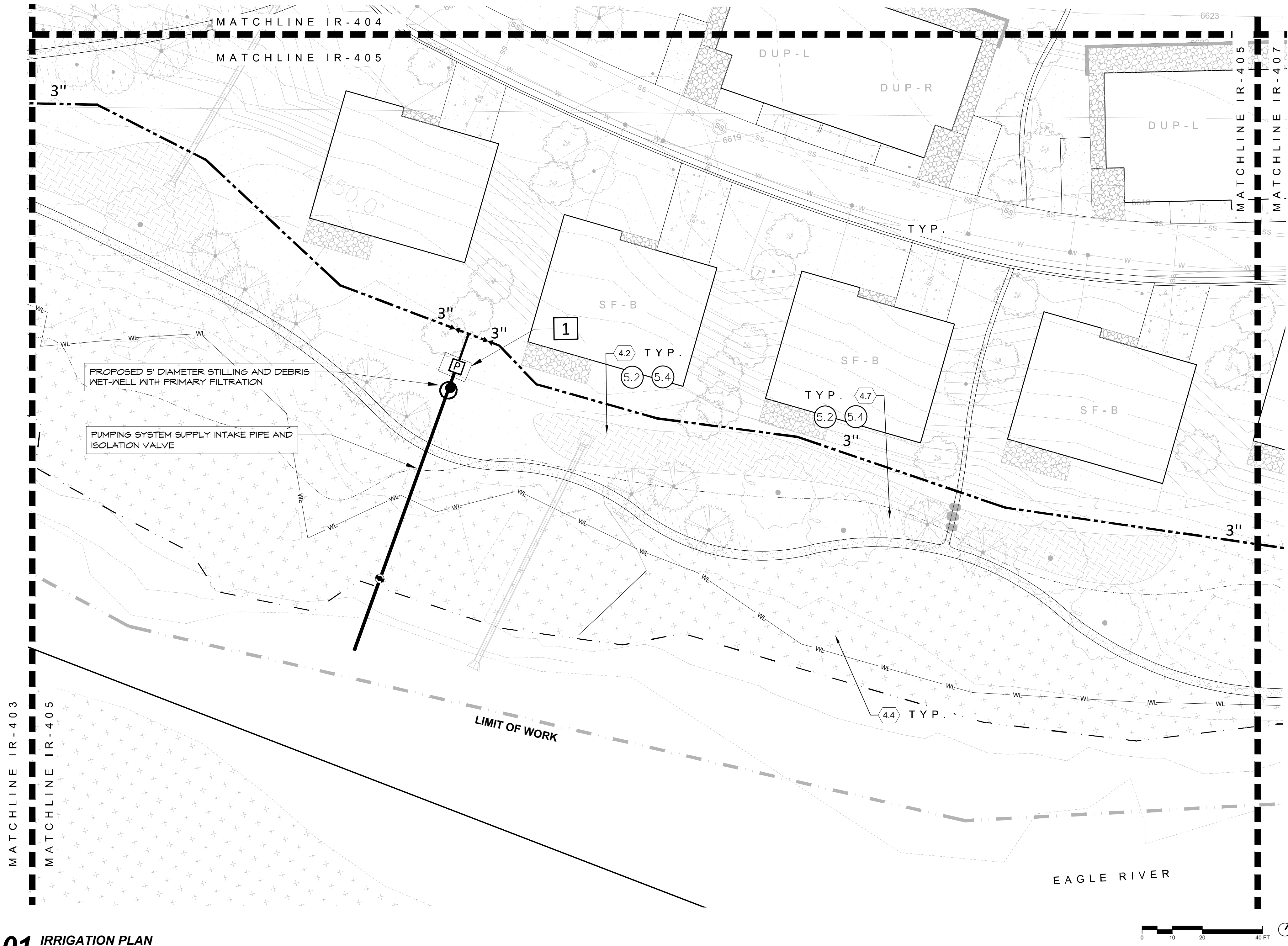
ISSUANCE
MAJOR DEVELOPMENT PERMIT (MDP)
ISSUE DATE
01.13.2025

CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE
IRRIGATION PLAN

IR-404



01 IRRIGATION PLAN
1"=20'

1 POINT OF CONNECTION #1 - 3" PUMP SUPPLY
PEAK FLOW REQUIREMENT: 93 GPM. REQUIRED STATIC PRESSURE: 85 PSI
INSTALL ONE PRE-MANUFACTURED SKID MOUNTED AND TESTED NON-POTABLE PUMPING SYSTEM WITH VFD DRIVE, FILTRATION, CELL COMMUNICATION AND COORDINATED FIELD FABRICATED ENCLOSURE.

LANDSCAPE / PLANTING		IRRIGATION TYPE	
4.0			
	4.1	IRRIGATED TURF	5.1
S-PA	4.2	SWALE/DETENTION POND SEED	5.2 5.3
EX-PA	4.4	EXISTING VEGETATION TO REMAIN	5.2
PA	4.5	LOW DENSITY VEGETATION	5.2 5.3
PA	4.6	MEDIUM DENSITY VEGETATION	5.2 5.3
PA	4.7	HIGH DENSITY VEGETATION	5.2 5.3
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ISSUANCE

MAJOR DEVELOPMENT PERMIT (MDP)

ISSUE DATE

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CURRENT REVISION

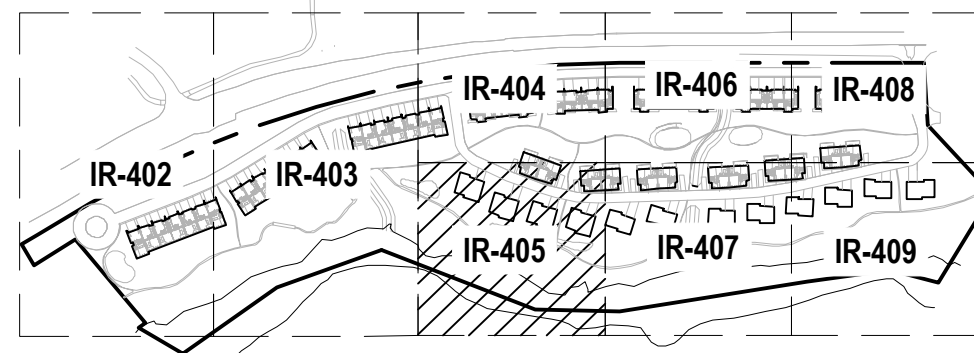
REVISION HISTORY

DRAWING SHEET TITLE

IRRIGATION PLAN

IR-405

KDI
HydroSystems
Irrigation Consulting & Water Management
13949 W. Colfax Ave, Suite 260 Lakewood, Colorado 80401
o: 303.980.5327 www.hydrosystemsmdi.com

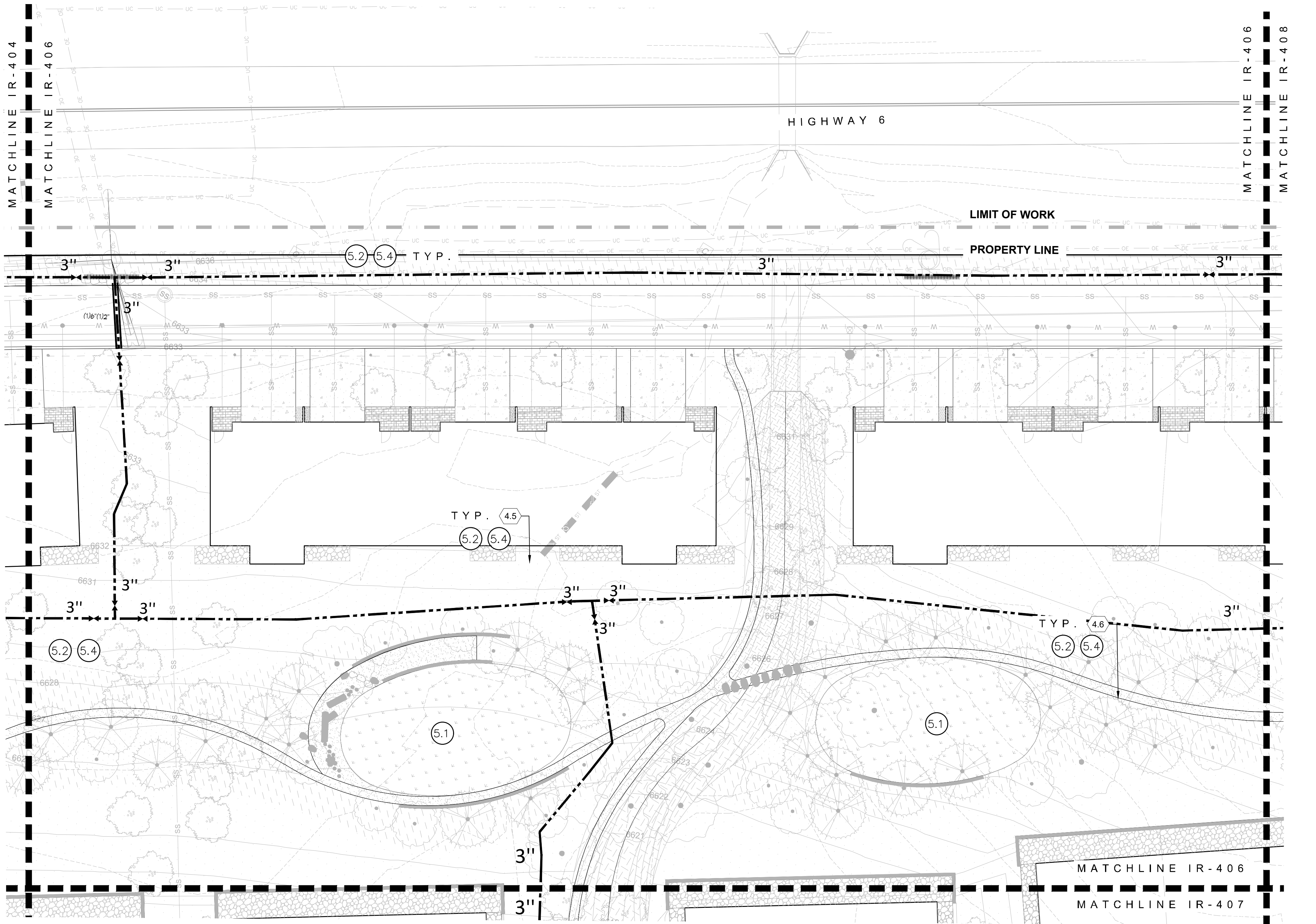


KEYMAP
1"=400'



Know what's below.
Call before you dig.

CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.



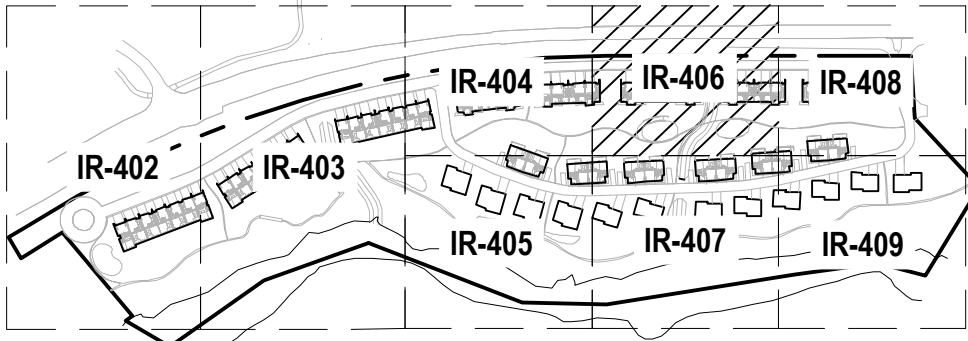
01 IRRIGATION PLAN
1"=20'



LANDSCAPE / PLANTING		IRRIGATION TYPE	
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ARCHITECT/
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ISSUANCE

MAJOR DEVELOPMENT PERMIT (MDP)

ISSUE DATE

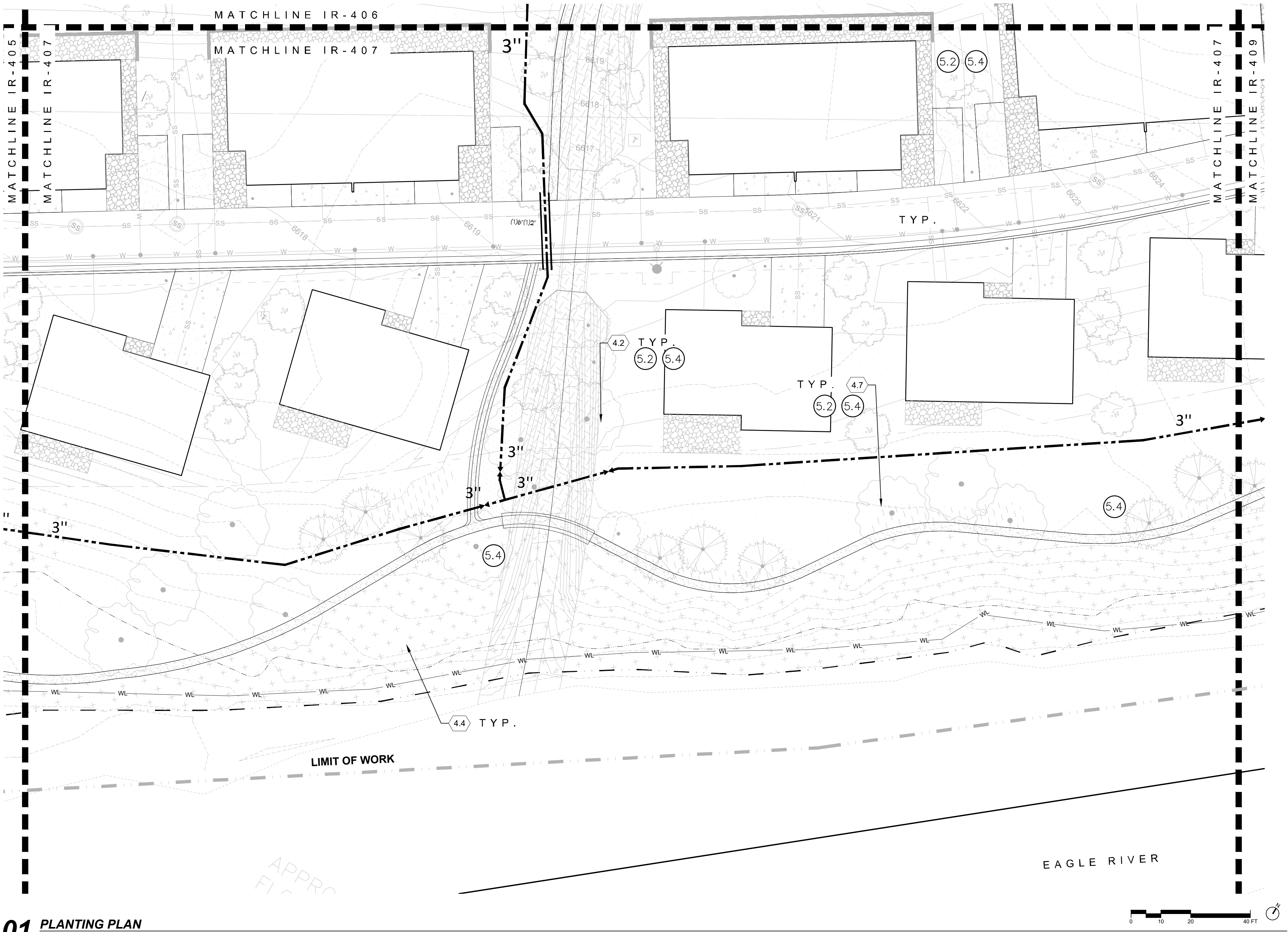
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CURRENT REVISION




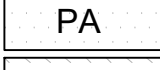


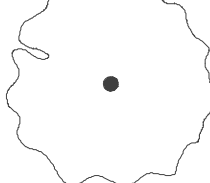

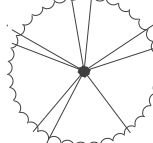
REVISION HISTORY

DRAWING SHEET TITLE
IRRIGATION PLAN

IR-406



01 PLANTING PLAN
1"=20'

LANDSCAPE / PLANTING		IRRIGATION TYPE		
4.0		4.1	IRRIGATED TURF	(5.1)
		4.2	SWALE/DETENTION POND SEED	(5.2) (5.3)
		4.4	EXISTING VEGETATION TO REMAIN	(5.2)
		4.5	LOW DENSITY VEGETATION	(5.2) (5.3)
		4.6	MEDIUM DENSITY VEGETATION	(5.2) (5.3)
		4.7	HIGH DENSITY VEGETATION	(5.2) (5.3)
		4.7	PROPOSED DECIDUOUS TREE	(5.4)
		4.8	PROPOSED ORNAMENTAL TREE	(5.4)
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ISSUANCE

MAJOR DEVELOPMENT PERMIT (MDP)

ISSUE DATE

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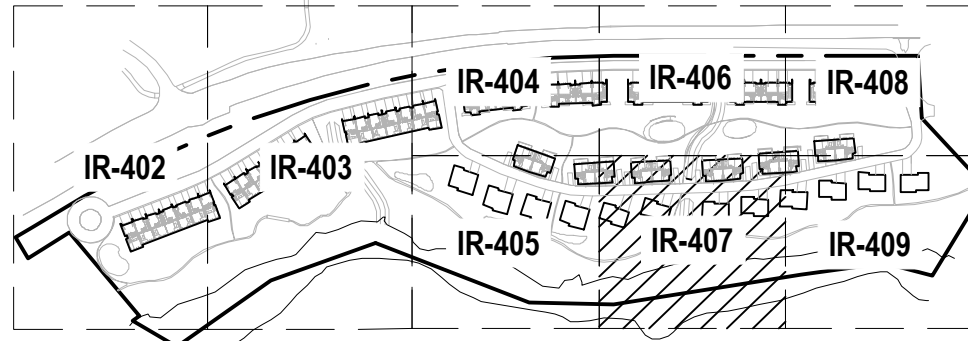
CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE

IRRIGATION PLAN

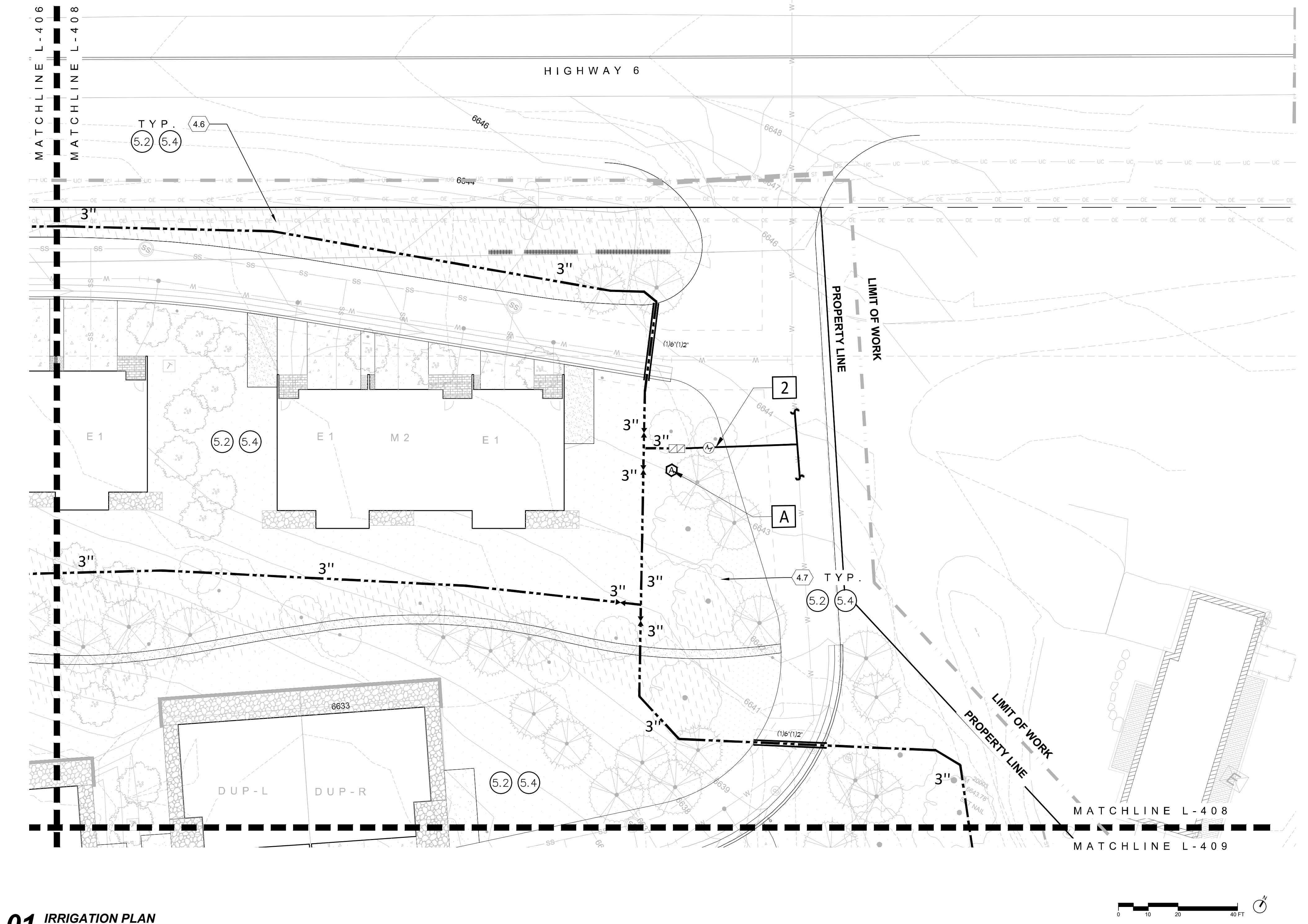
IR-407



KEYMAP
1"=400'



Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.



01 IRRIGATION PLAN
1"=20'

A CONTROLLER LOCATION "A"

PEDESTAL MOUNT ONE CONTROLLER (REFER TO SCHEDULE FOR MODEL & STATION COUNT). WEB ACCESS READY, AT INDICATED LOCATION. 120 VOLT POWER IS AVAILABLE WITHIN 50' LF. OF CONTROLLER LOCATION FROM RESIDENTIAL PEDESTAL. BY OTHERS. ELECTRICAL METER, WIRE/CONDUIT AND POWER CONNECTION TO CONTROLLER IS BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODES. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. MOUNT ONE WEATHER SENSOR ON BUILDING CONTROLLER ENCLOSURE WHERE THERE IS 20 FT. OF CLEARANCE FROM ANY OVERHANG OR OBSTRUCTING FEATURE. CONNECT MASTER VALVE WITH 2-WIRE DECODER AND FLOW SENSOR WITH 2-WIRE SENSOR DECODER. FINAL WEATHER SENSOR LOCATION SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

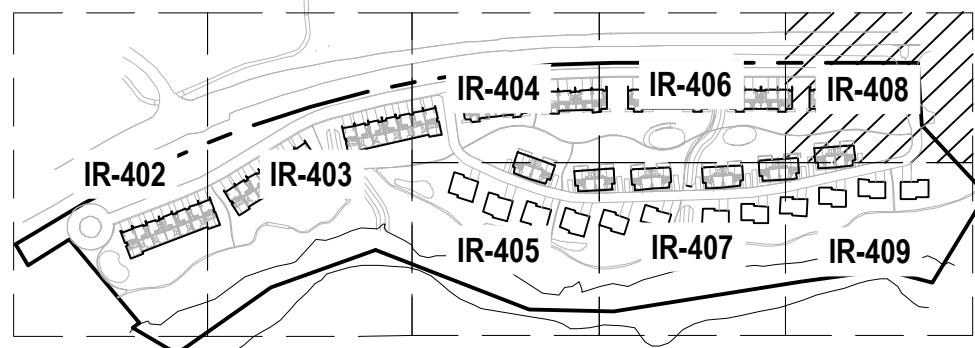
2 POINT OF CONNECTION #2 - 3"

PEAK FLOW REQUIREMENT: 93 GPM. REQUIRED STATIC PRESSURE: 85 PSI
INSTALL ONE 3" TAP INTO EXISTING DOMESTIC WATER LINE AT INDICATED LOCATION AND EXTEND 3" CL80 D.I. PIPE AT 54" DEPTH TO BACKFLOW PREVENTER LOCATION. INSTALL ONE 3" WATER METER PER DISTRICT STANDARDS, ONE 3" GATE VALVE WITH DRAIN, ONE 3" REDUCED PRESSURE BACKFLOW PREVENTER WITH PROTECTIVE ENCLOSURE, ONE MANUAL DRAIN VALVE, ONE MANUAL DRAIN VALVE, ONE FLOW SENSOR, ONE GATE VALVE, ONE QUICK COUPLING VALVE, ONE MASTER VALVE, AND EXTEND PVC MAINLINE AS SHOWN. CONNECT FLOW SENSOR AND MASTER VALVE TO ASSOCIATED CONTROLLER VIA TWO-WIRE COMMUNICATION CABLE PER MANUFACTURER'S REQUIREMENTS. SEE DETAIL SHEET FOR REQUIRED PIPE LENGTHS UPSTREAM AND DOWNSTREAM OF FLOW SENSING UNIT. WORK SHALL CONFORM TO LOCAL CODE. FEES, PERMITS AND INSPECTIONS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID FOR BY CONTRACTOR. FINAL LOCATION OF BACKFLOW PREVENTER SHALL BE REVIEWED AND APPROVED BY CONSULTANT PRIOR TO START OF WORK.

LANDSCAPE / PLANTING		IRRIGATION TYPE	
4.0	4.1 IRRIGATED TURF	5.1	
	4.2 SWALE/DETENTION POND SEED	5.2	5.3
	4.4 EXISTING VEGETATION TO REMAIN	5.2	
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IRRIGATION DEVELOPMENT DESIGN NOTES

1. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN A SIX NIGHT, SIX HOUR PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 10:00 PM AND 4:00 AM.
2. THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.
3. THE MAXIMUM FLOW RATE REQUIRED FOR THE SITE IS 100 GPM. THE STATIC PRESSURE AVAILABLE AT THE SITE IS 85 PSI.
4. THE IRRIGATION INFORMATION SHOWN ON THESE PLANS IS CONCEPTUAL.
5. IRRIGATION DESIGN APPROACH
 - 5.1. TURF AREAS
 - 5.1.1. SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD TO HEAD COVERAGE.
 - 5.1.2. LARGE TURF AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH GEAR DRIVEN ROTOR HEADS WITH A MINIMUM PRECIPITATION RATE OF .45" PER HOUR FOR A FULL CIRCLE HEAD.
 - 5.2. NATIVE GRASS AREAS
 - 5.2.1. SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE HIGH POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION ROTATOR OR SPRAY NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD TO HEAD COVERAGE.
 - 5.2.2. LARGE NATIVE GRASS AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH HIGH -POP GEAR DRIVEN ROTORS WHERE POSSIBLE AND STANDARD POP-UP GEAR ROTORS FOR SLOPING OVER 45' AND EXISTING NATIVE AREA FROM TOP OF SLOPE.
 - 5.3. SHRUB BED AREAS - BED AREAS WITH PLANT MATERIAL ONE GALLON IN SIZE OR LARGER SHALL BE DRIP IRRIGATED.
 - 5.3.1. TREES AND SHRUBS IN NATIVE AREA SHALL RECEIVE SUBSURFACE TREE AND SHRUB IN-LINE EMITTER IRRIGATION. THIS WILL SUPPLEMENT THE IRRIGATION WHEN NATIVE GRASS IRRIGATION REDUCED OR SHUT OFF.
6. IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC, WEB BASED AND INCLUDE A WEATHER SENSING DEVICE.



KEYMAP
1"=400'

PROJECT
RED MOUNTAIN RANCH

PARCEL 1
17500 US-6
EAGLE, CO 81631

ARCHITECT/
GENERAL CONTRACTOR

tres birds

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ISSUANCE

MAJOR DEVELOPMENT PERMIT (MDP)

ISSUE DATE

01.13.2025

CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE

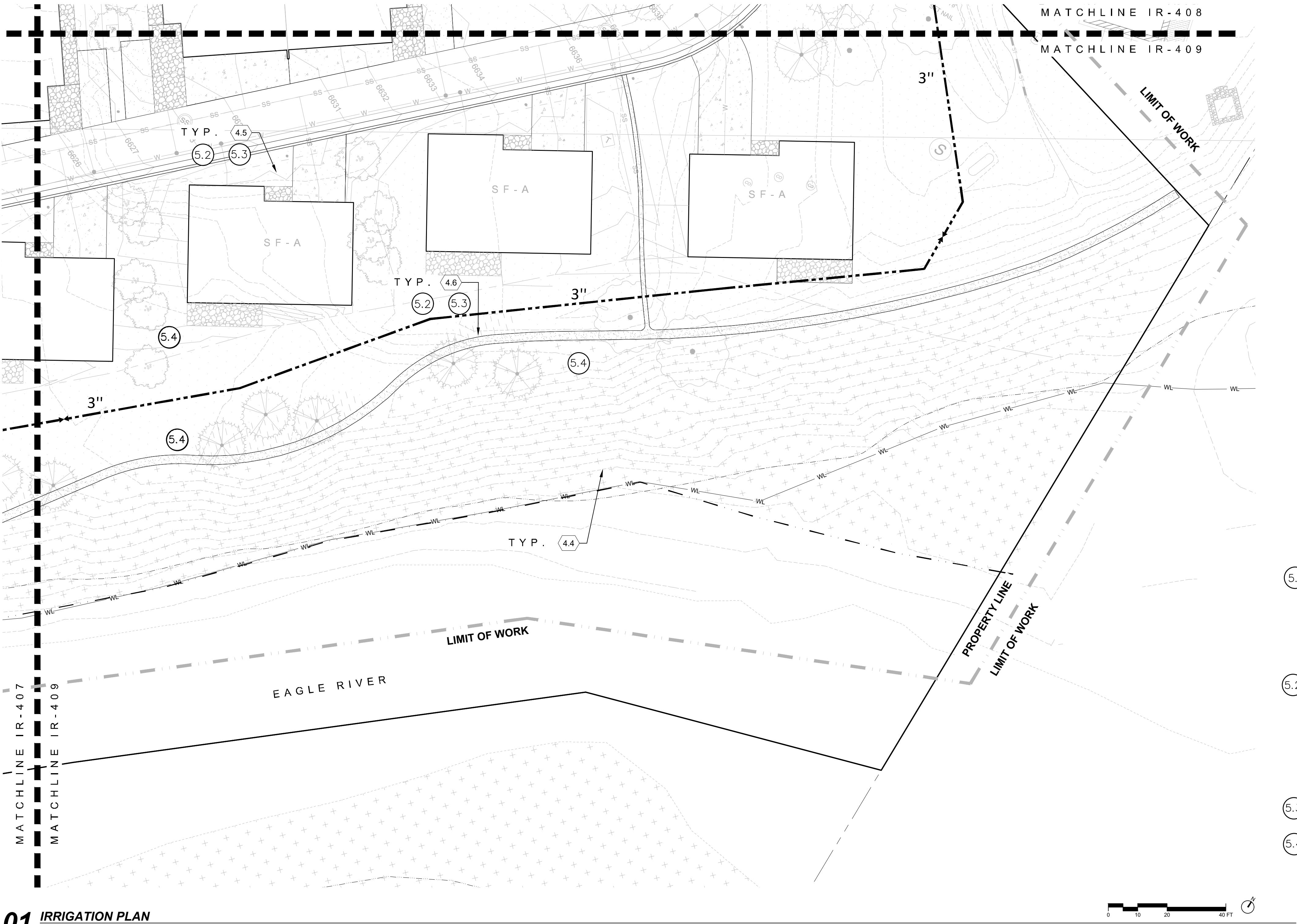
IRRIGATION PLAN

IR-408



Know what's below.
Call before you dig.

CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG. GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.



01 IRRIGATION PLAN
1"=20'

LANDSCAPE / PLANTING		IRRIGATION TYPE	
4.0	4.1 IRRIGATED TURF	5.1	
S-PA	4.2 SWALE/DETENTION POND SEED	5.2	5.3
EX-PA	4.4 EXISTING VEGETATION TO REMAIN	5.2	
PA	4.5 LOW DENSITY VEGETATION	5.2	5.3
PA	4.6 MEDIUM DENSITY VEGETATION	5.2	5.3
PA	4.7 HIGH DENSITY VEGETATION	5.2	5.3
	4.7 PROPOSED DECIDUOUS TREE	5.4	
	4.8 PROPOSED ORNAMENTAL TREE	5.4	
	4.9 PROPOSED CONIFEROUS TREE	5.4	

IRRIGATION DEVELOPMENT DESIGN NOTES

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PROJECT
RED MOUNTAIN
RANCH

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GENERAL CONTRACTOR

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ISSUE DATE

01.13.2025

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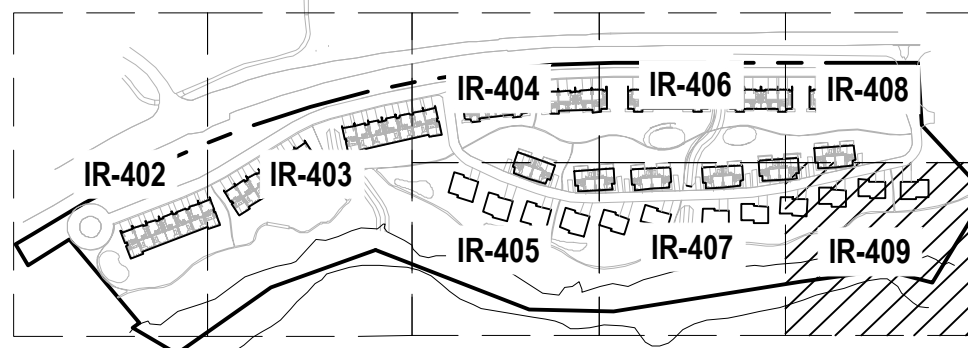
REVISION HISTORY

DRAWING SHEET TITLE

IRRIGATION
PLAN

IR-409

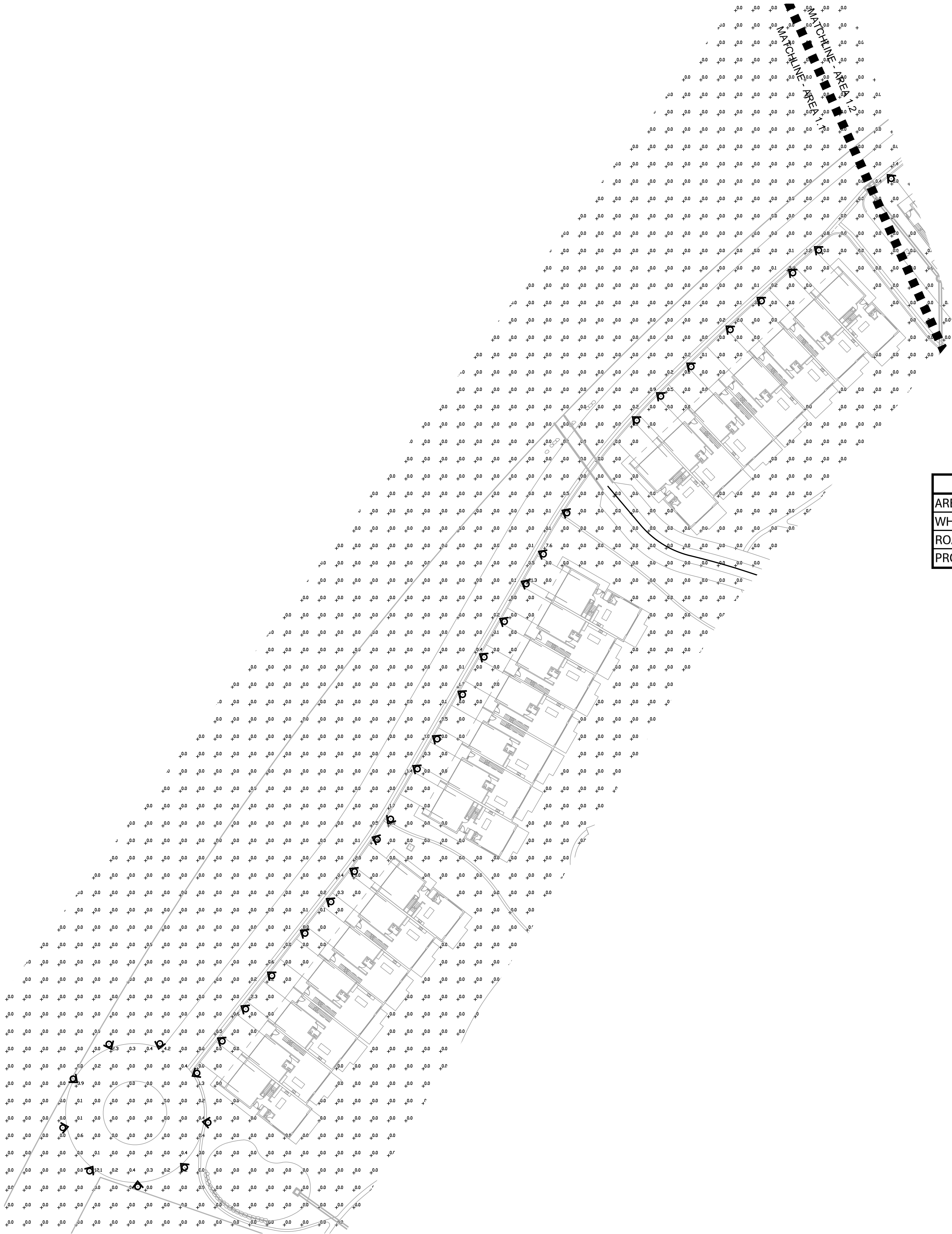
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Irrigation Consulting & Water Management
13949 W. Colfax Ave, Suite 260 Lakewood, Colorado 80401
o: 303.980.5327 www.hydrosystemskdi.com



KEYMAP
1"=400



Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU
DIG, GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.



GENERAL NOTES

- 1. PHOTOMETRIC PLAN SUBMITTED PURSUANT TO CITY OF EAGLE APPLICABLE CODES, INCLUDING CODE OF ORDINANCES CHAPTER 4.13 OUTDOOR LIGHTING.
- 2. ALL LIGHT SOURCES TO BE 3000K CCT.
- 3. ALL LIGHT SOURCES SHALL BE SHIELDED SO THAT LIGHT WILL NOT SHINE ONTO ADJACENT PROPERTIES.
- 4. ALL EXTERIOR LIGHTING SHALL BE INSTALLED IN SUCH A MANNER THAT THE LIGHT SOURCE WILL BE SUFFICIENTLY OBSCURED TO PERVENT EXCESSIVE GLARE ONTO PUBLIC STREETS.
- 5. PHOTOMETRIC HORIZONTAL FC POINTS INDICATED ARE BASED ON A 10'-0" SPACING AND CALCULATED AT FINISHED GRADE.
- 6. ALL LIGHT FIXTURES ON PROJECT TO BE TYPE 'EB1' BOLLARD.

LEGEND

BOLLARD - DIRECTIONAL

LIGHTING PHOTOMETRIC STATS					
AREA	AVERAGE	MAX	MIN	MAX/MIN	AVG/MIN
WHOLE SITE	0.0 FC	26.8 FC	0.0 FC	N/A	N/A
ROADWAY	0.1 FC	26.8 FC	0.0 FC	N/A	N/A
PROPERTY LINE	0.0 FC	0.0 FC	0.0 FC	N/A	N/A

1 AREA 1.1 LIGHTING PLAN

SCALE: 1" = 40'

PROJECT

RED MOUNTAIN RANCH

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ARCHITECT/
GENERAL CONTRACTOR

tres birds

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ISSUE DATE

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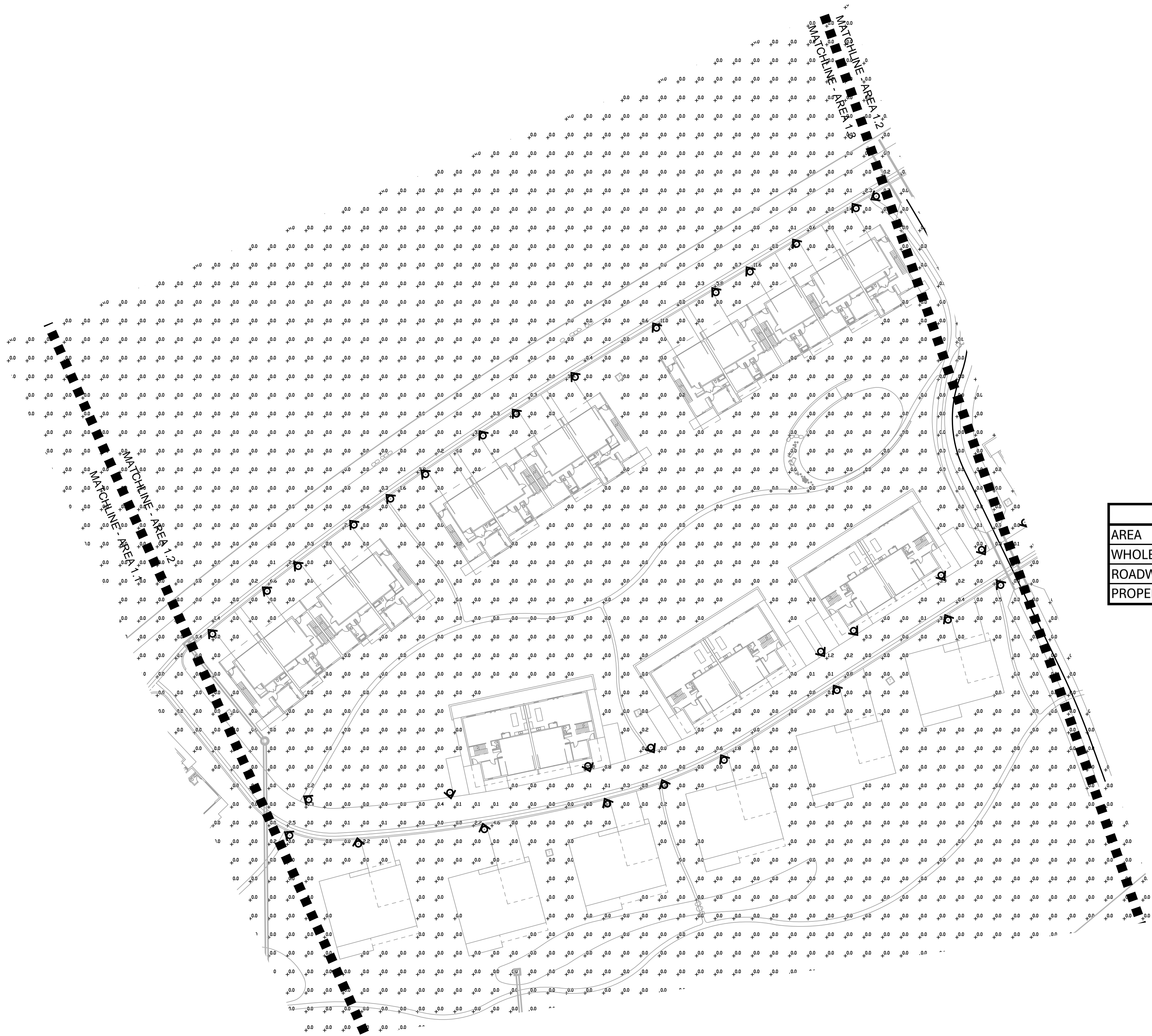
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REVISION HISTORY

DRAWING SHEET TITLE

Area 1.1
Lighting Plan

PH-001



GENERAL NOTES

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- 6. ALL LIGHT FIXTURES ON PROJECT TO BE TYPE 'EB1' BOLLARD.

LEGEND

▲ BOLLARD - DIRECTIONAL

LIGHTING PHOTOMETRIC STATS					
AREA	AVERAGE	MAX	MIN	MAX/MIN	AVG/MIN
WHOLE SITE	0.0 FC	26.8 FC	0.0 FC	N/A	N/A
ROADWAY	0.1 FC	26.8 FC	0.0 FC	N/A	N/A
PROPERTY LINE	0.0 FC	0.0 FC	0.0 FC	N/A	N/A

PROJECT

RED MOUNTAIN RANCH

PARCEL 1
17500 US-6
EAGLE, CO 81631

ARCHITECT/

GENERAL CONTRACTOR

tres birds

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ISSUANCE

MAJOR DEVELOPMENT PERMIT (MDP)

ISSUE DATE

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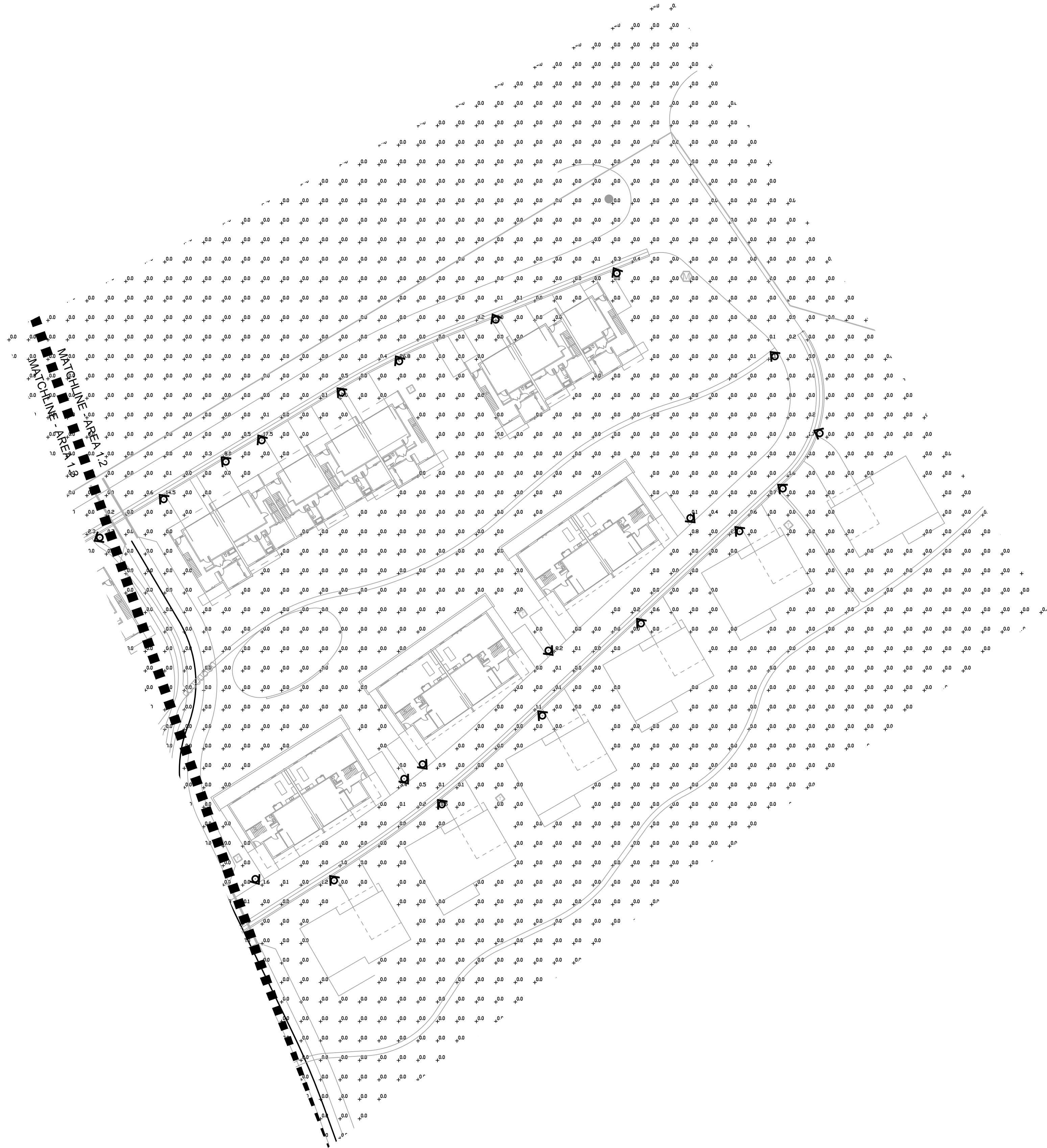
CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE

Area 1.2
Lighting Plan

PH-002



GENERAL NOTES

- 1. PHOTOMETRIC PLAN SUBMITTED PURSUANT TO CITY OF EAGLE APPLICABLE CODES, INCLUDING CODE OF ORDINANCES CHAPTER 4.13 OUTDOOR LIGHTING.
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- 6. ALL LIGHT FIXTURES ON PROJECT TO BE TYPE 'EB1' BOLLARD.

LEGEND

▲ BOLLARD - DIRECTIONAL

LIGHTING PHOTOMETRIC STATS					
AREA	AVERAGE	MAX	MIN	MAX/MIN	AVG/MIN
WHOLE SITE	0.0 FC	26.8 FC	0.0 FC	N/A	N/A
ROADWAY	0.1 FC	26.8 FC	0.0 FC	N/A	N/A
PROPERTY LINE	0.0 FC	0.0 FC	0.0 FC	N/A	N/A

PROJECT

RED MOUNTAIN RANCH

PARCEL 1
17500 US-6
EAGLE, CO 81631

ARCHITECT/
GENERAL CONTRACTOR

tres birds

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ISSUANCE

MAJOR DEVELOPMENT PERMIT (MDP)

ISSUE DATE

01.13.2025

CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE

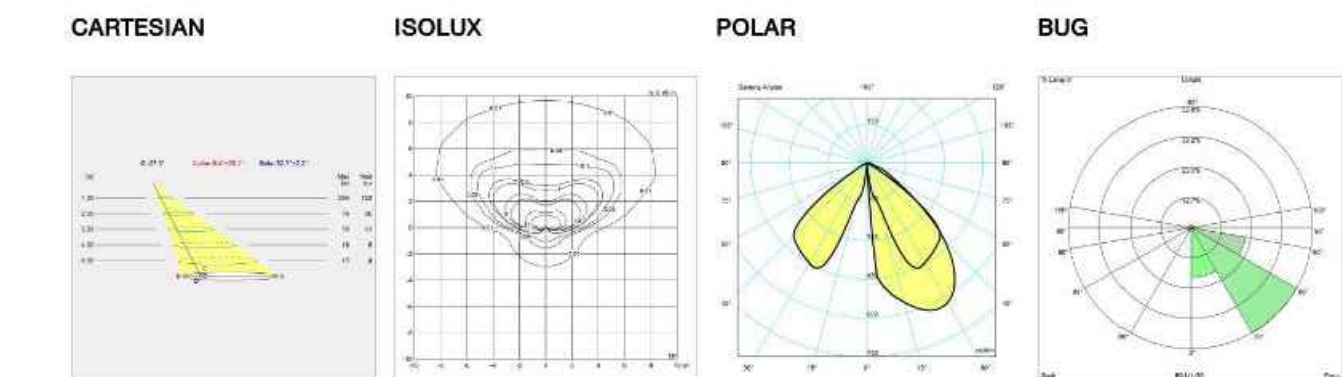
Area 1.3
Lighting Plan

PH-003

FLINDT BOLLARD

Designed by Christian Flindt

Light distribution diagrams



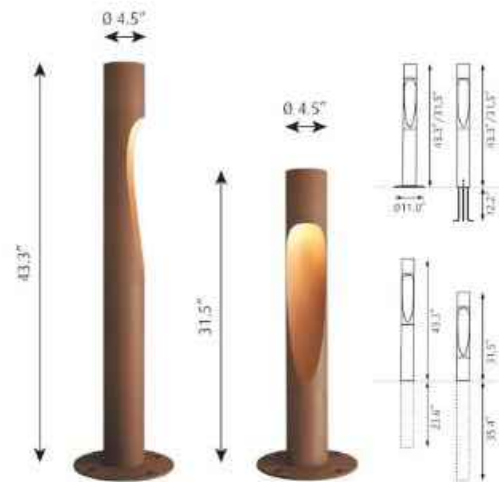
Variant Options

For particular variant options, please check our online Product Variants Configurator on the product detail page.

VARIANT NO.	LIGHT SOURCE	VOLTAGE/FREQ	LUMEN	FEATURES	CABLE
10000162742	LED 3000K 15W	120-277V/60HZ	707	Dim 0-10v	-
10000162743	LED 3000K 15W	120-277V/60HZ	707	Dim 0-10v	-
10000162746	LED 3000K 15W	120-277V/60HZ	762	Dim 0-10v	-
10000162747	LED 3000K 15W	120-277V/60HZ	762	Dim 0-10v	-
10000162760	LED 4000K 15W	120-277V/60HZ	757	Dim 0-10v	-
10000162761	LED 4000K 15W	120-277V/60HZ	757	Dim 0-10v	-
10000162762	LED 4000K 15W	120-277V/60HZ	784	Dim 0-10v	-
10000162763	LED 4000K 15W	120-277V/60HZ	784	Dim 0-10v	-
10000162764	LED 3000K 15W	120-277V/60HZ	707	Dim 0-10v	-
10000162765	LED 3000K 15W	120-277V/60HZ	707	Dim 0-10v	-
10000162766	LED 3000K 15W	120-277V/60HZ	707	Dim 0-10v	-
10000162767	LED 3000K 15W	120-277V/60HZ	762	Dim 0-10v	-
10000162768	LED 3000K 15W	120-277V/60HZ	762	Dim 0-10v	-
10000162769	LED 3000K 15W	120-277V/60HZ	762	Dim 0-10v	-
10000162770	LED 4000K 15W	120-277V/60HZ	757	Dim 0-10v	-
10000162771	LED 4000K 15W	120-277V/60HZ	757	Dim 0-10v	-
10000162772	LED 4000K 15W	120-277V/60HZ	757	Dim 0-10v	-
10000162773	LED 4000K 15W	120-277V/60HZ	784	Dim 0-10v	-
10000162774	LED 4000K 15W	120-277V/60HZ	784	Dim 0-10v	-
10000162775	LED 4000K 15W	120-277V/60HZ	784	Dim 0-10v	-

FLINDT BOLLARD

Designed by Christian Flindt



Technical specifications

Materials Top: Cast aluminum. Post: Extruded aluminum. Base plate: Die cast aluminum. Lens: Clear polycarbonate. Anchor bolts: Zinc-plated steel.	Information Electrical: System Wattage: 15W LED Wattage: 14W Delivered lumens: 536-591 lm Efficacy: 35.7-39.4 lm/W
Finishes Aluminium, Corten, or Black colored. Textured surface, powder coated.	Certifications: cULus, Wet Location Protection class IP65 IK class 10 BUG Rating: B0-U2-G1 Controllability: 0-10V Dimming Min.-Max. Ambient Temp: -40°C to +70°C Color Rendering: Ra>80 For the E-socket product variants, bulbs are not included. LED light source is part of the product.
Mounting Base plate dimension: 11" diameter. Base plate: Mounted to a concrete base with 4 anchor bolts on a bolt circle of 8.9" diameter.	
Internal anchor base: Mounted to a concrete base with 3 anchor bolts on a bolt circle of 3.5".	
Direct burial: includes cross-bar for stabilization and slots for conduit entry. Installation: Refer to mounting instruction download for installation details. For mounting instructions, see download section on the product detail page.	

Showroom

louis poulsen

Light source guide

Showroom

louis poulsen

Light source guide

1 TYPE EB1

SCALE: N.T.S.

LIGHTING PHOTOMETRIC STATS					
AREA	AVERAGE	MAX	MIN	MAX/MIN	AVG/MIN
WHOLE SITE	0.0 FC	26.8 FC	0.0 FC	N/A	N/A
ROADWAY	0.1 FC	26.8 FC	0.0 FC	N/A	N/A
PROPERTY LINE	0.0 FC	0.0 FC	0.0 FC	N/A	N/A

LUMINAIRE SCHEDULE													
CALLOUT	DESCRIPTION	LAMPS		VOLTAGE	BALLAST OR DRIVER VA	MOUNTING	SHIELDING	CRI AND CCT	LUMEN OUTPUT	DIMMING TYPE	DESIGN BASIS MODEL NUMBER	ACCEPTABLE MANUFACTURERS	NOTE
		QUANTITY	TYPE										
EB1	LED FULL CUTOFF BOLLARD, 43.3"H X 4.5" DIAMETER, DIRECTIONAL	1	LED	120-277V	15	GROUND BOLLARD 43.4"H	FULL CUTOFF	80CRI, 3000K	762	0-10V	10000162767, FLINDT BOLLARD	LOUIS POULSEN	
NOTES: 1 LUMINAIRES INDICATED ABOVE WERE USED AS A BASIS FOR DESIGN. 2 CATALOG NUMBERS INDICATE BASIC LUMINAIRE TYPES REQUIRED FOR THIS PROJECT. VERIFY WITH MANUFACTURER TO INCLUDE ALL ACCESSORIES REQUIRED FOR ACTUAL INSTALLATION TO SUIT FIELD CONDITIONS.													

PROJECT

RED MOUNTAIN RANCH

PARCEL 1
17500 US-6
EAGLE, CO 81631

ARCHITECT/
GENERAL CONTRACTOR

tres birds

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ISSUANCE

MAJOR DEVELOPMENT PERMIT (MDP)

ISSUE DATE

01.13.2025

CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE

Lighting Photometric Details

PH-004

RED MOUNTAIN RANCH

PRELIMINARY PLAT REVIEW - 01.13.2025

PROJECT
RED MOUNTAIN
RANCH SITE

17500 US-6, Eagle, CO 81631

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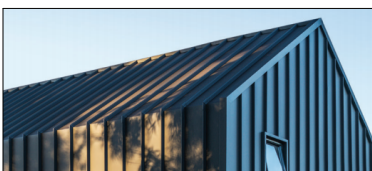
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CONSTRUCTION

A-SERIES SHEET INDEX

NO.	SHEET NAME
A-00	COVER SHEET
A-10	TH-A OVERALL PLANS
A-11	TH-B OVERALL PLANS
A-12	TH-C OVERALL PLANS
A-13	TH-D OVERALL PLANS
A-14	DUP OVERALL PLANS
A-15	SF-A OVERALL PLANS
A-16	SF-B OVERALL PLANS
A-20	TH-A ELEVATIONS
A-21	TH-B ELEVATIONS
A-22	TH-C ELEVATIONS
A-23	TH-D ELEVATIONS
A-24	DUP ELEVATIONS
A-25	SF-A ELEVATIONS
A-26	SF-B ELEVATIONS

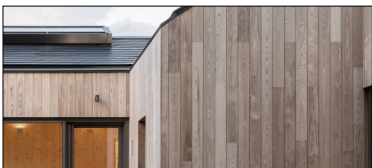
FACADE MATERIALS

METAL PANEL



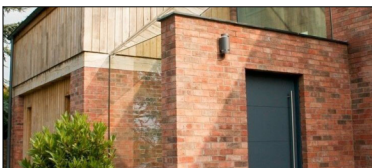
LOCATION: ROOF AND NORTH FACADE
FINISH: STANDING SEAM, MATTE GREY (BONDERIZED)
INTENDED TO WEATHER SLIGHTLY AS IT AGES.

WOOD SIDING



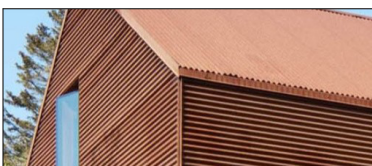
LOCATION: SOUTH, EAST AND WEST FACADES
FINISH: VERTICAL WOOD PANELING, CLEAR FINISH
DOUGLAS FIR (OR SIM.) WITH VARIATIONS IN TONE OR
GRAIN ACROSS INDIVIDUAL BOARDS.

BRICK MASONRY



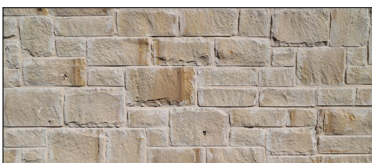
LOCATION: WHERE EXTERIOR WALLS CONTACT THE
GROUND WHERE DURABILITY IS REQUIRED.
FINISH: RECLAIMED BRICK, DEPENDING ON RECLAIMED
STOCK AVAILABLE, THE TONE OR SHAPE OF BRICKS USED
COULD VARY AT DIFFERENT BUILDINGS

METAL PANEL



LOCATION: ROOF AND EXTERIOR WALLS ABOVE STONE
MASONRY BASE
FINISH: CORRUGATED STEEL PANELS, FINISH INTENDED
TO WEATHER AND PATINA SIGNIFICANTLY AS IT AGES

STONE MASONRY



LOCATION: WHERE EXTERIOR WALLS CONTACT THE
GROUND WHERE DURABILITY IS REQUIRED.
FINISH: LOCALLY SOURCED NATURAL STONE, INTENDED
TO REFLECT A MORE ORGANIC MATERIAL APPROACH
THAN THE BRICK MASONRY USED ELSEWHERE. STONES
VARYING IN SIZE, SHAPE AND TONE PREFERRED

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ISSUANCE

MAJOR
DEVELOPMENT
PERMIT

ISSUE DATE

01.13.2025

REVISION HISTORY

DRAWING SHEET TITLE

COVER SHEET

A-00



1 KEY PLAN
SCALE: 1" = 80'-0"

PROJECT
RED MOUNTAIN RANCH

PARCEL 1
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EAGLE, CO 81631

ARCHITECT/
GENERAL CONTRACTOR

tres birds

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ISSUANCE

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DEVELOPMENT
PERMIT (MDP)**

ISSUE DATE

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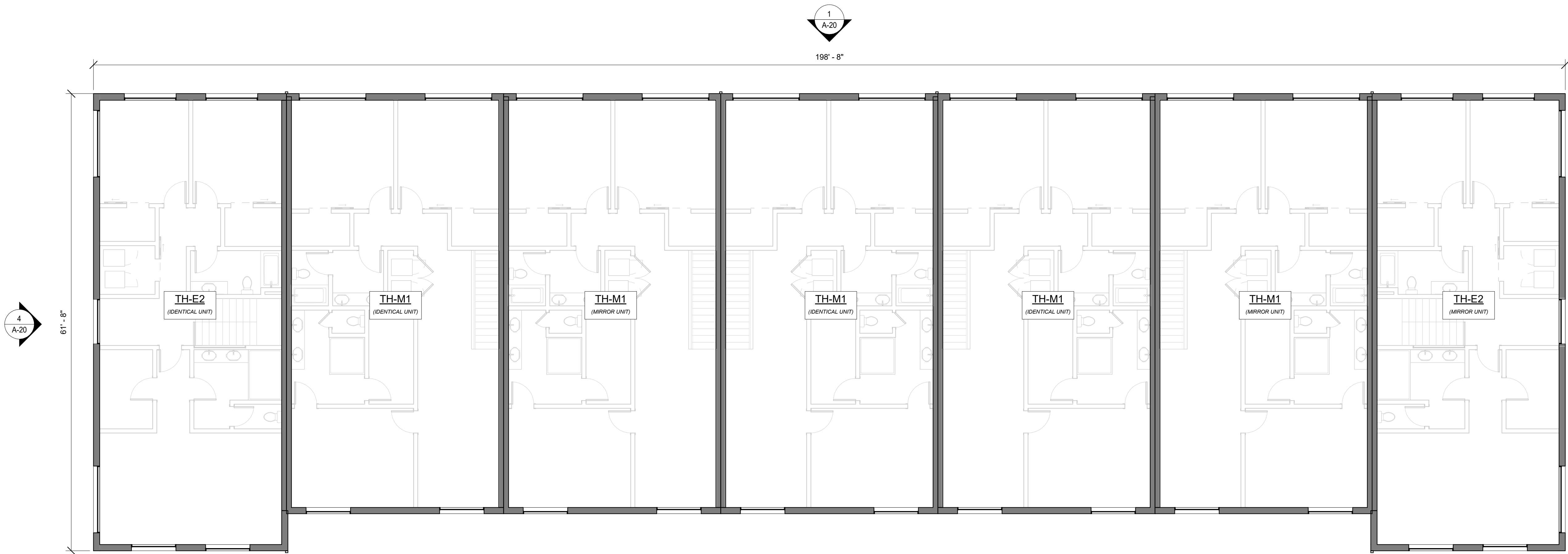
CURRENT REVISION

REVISION HISTORY

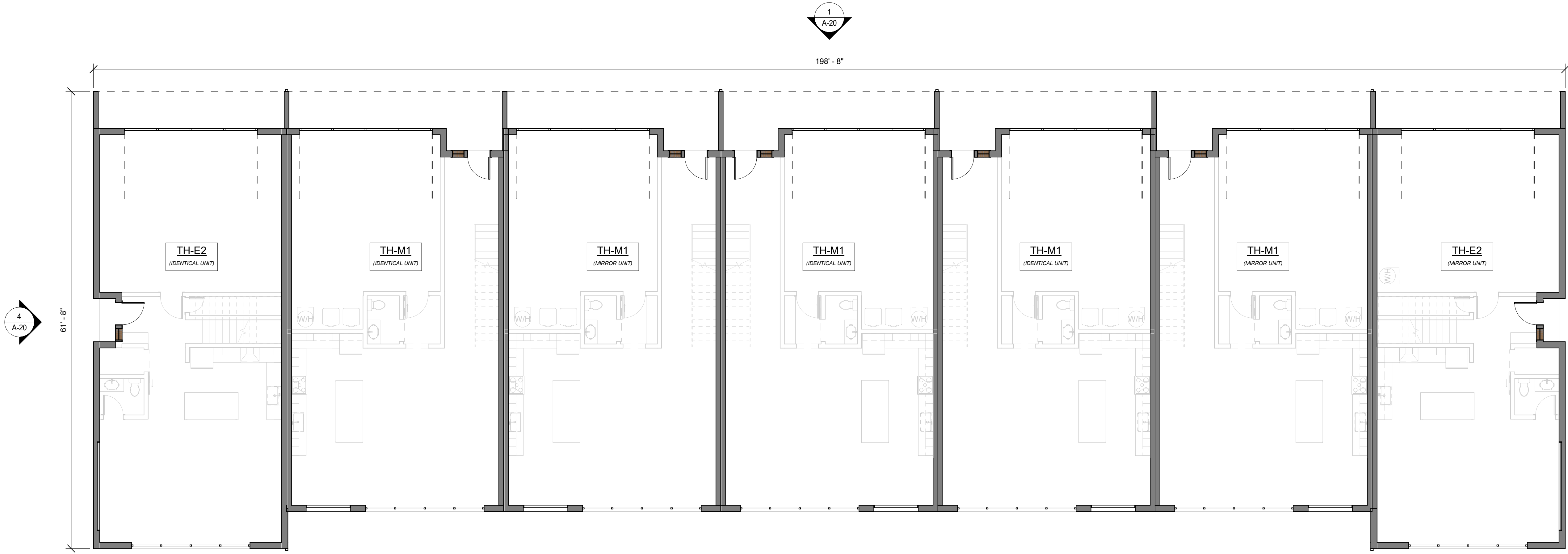
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**TH-A OVERALL
PLANS**

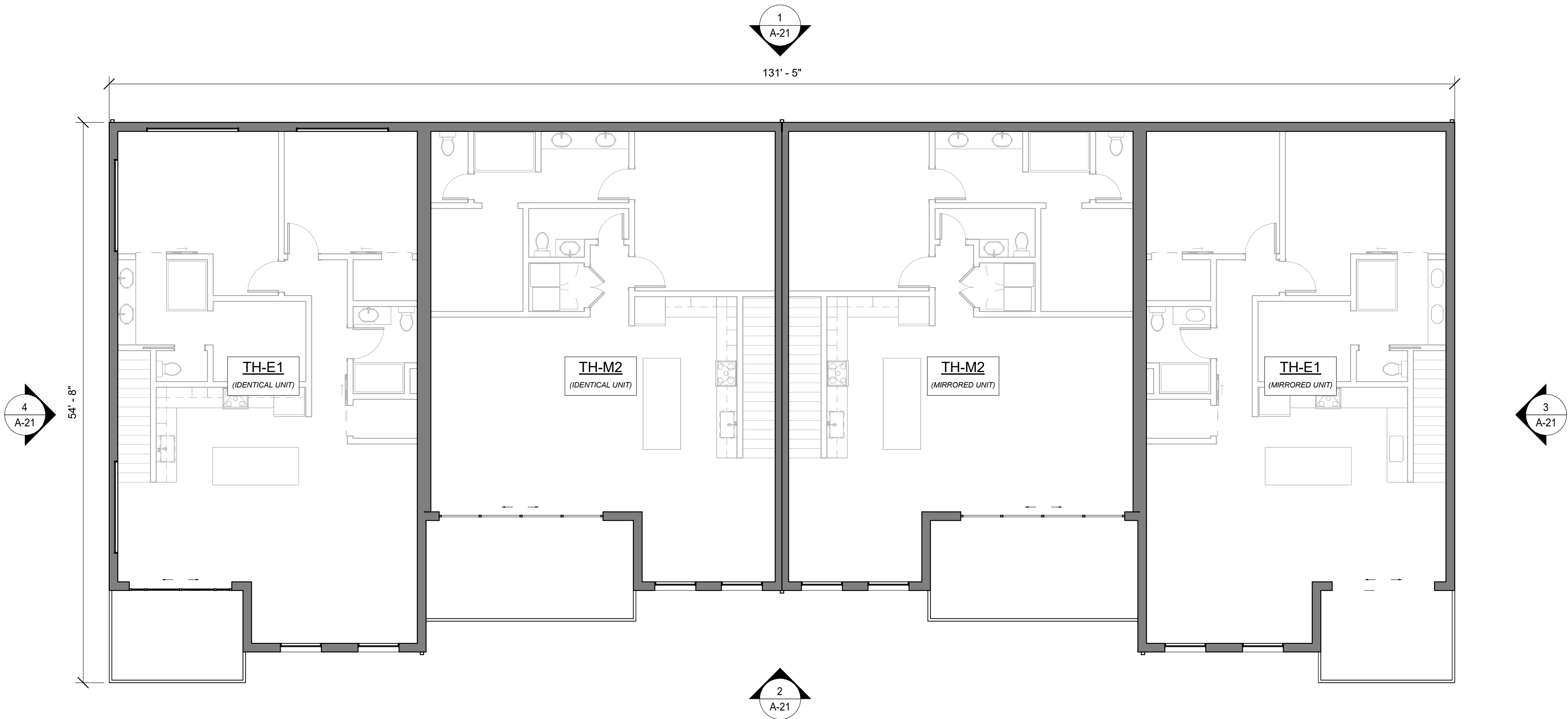
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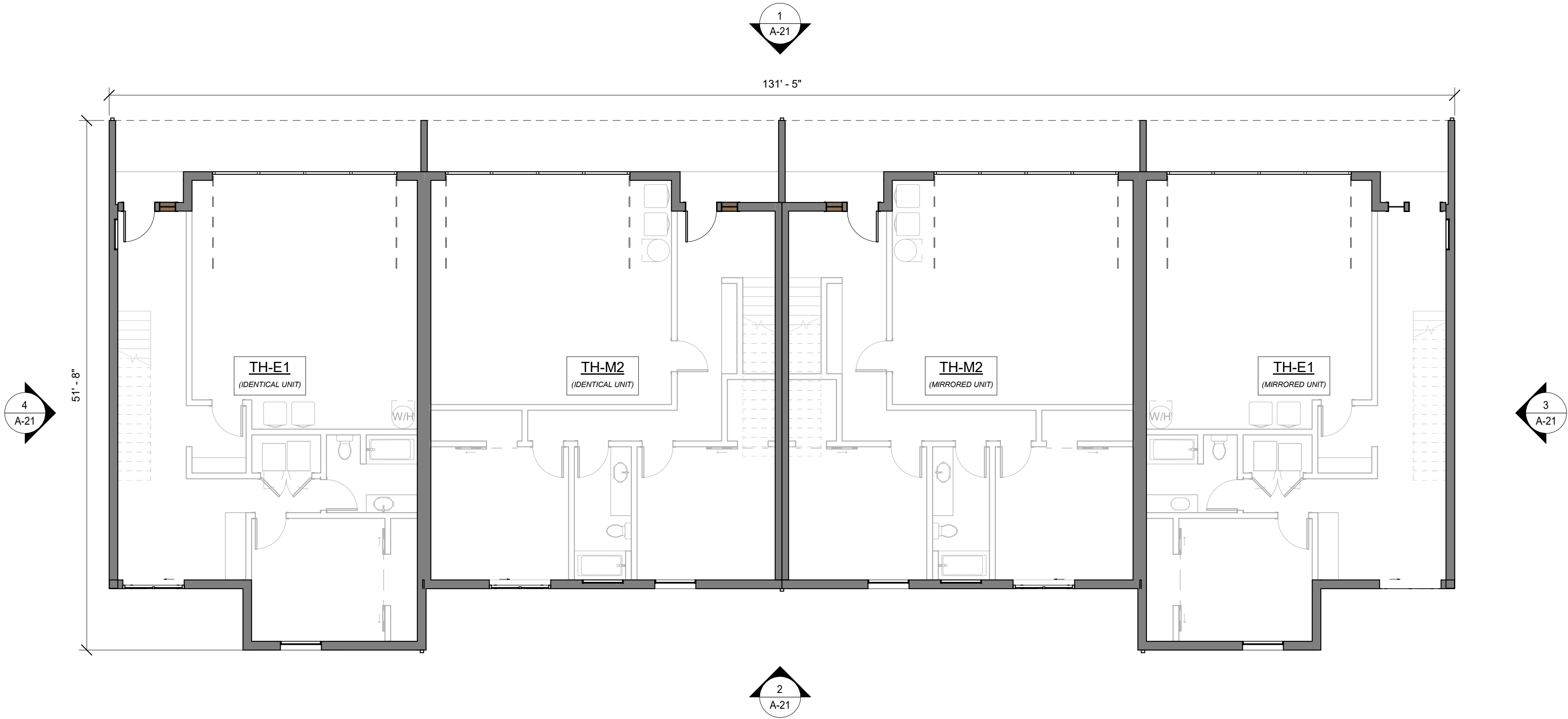
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SCALE: 1/8" = 1'-0"



1 LEVEL 1
SCALE: 1/8" = 1'-0"



2 LEVEL 2
SCALE: 1/8" = 1'-0"



1 LEVEL 1
SCALE: 1/8" = 1'-0"

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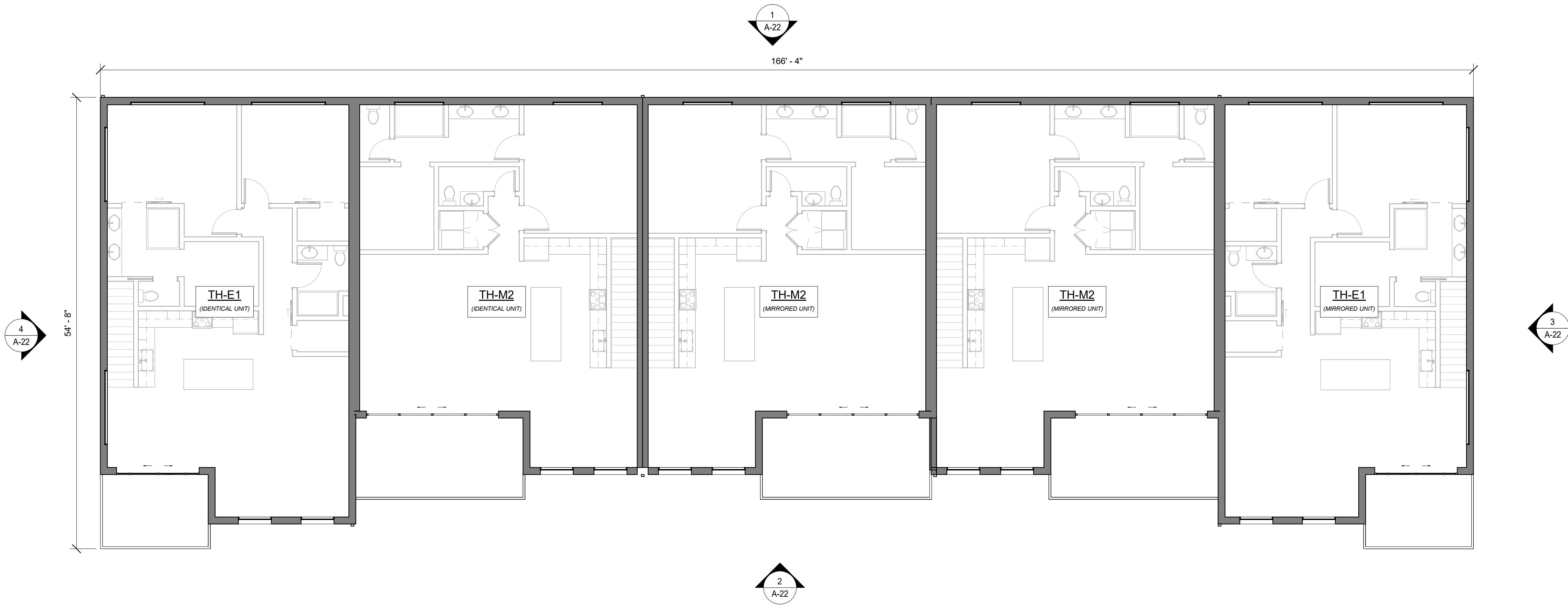
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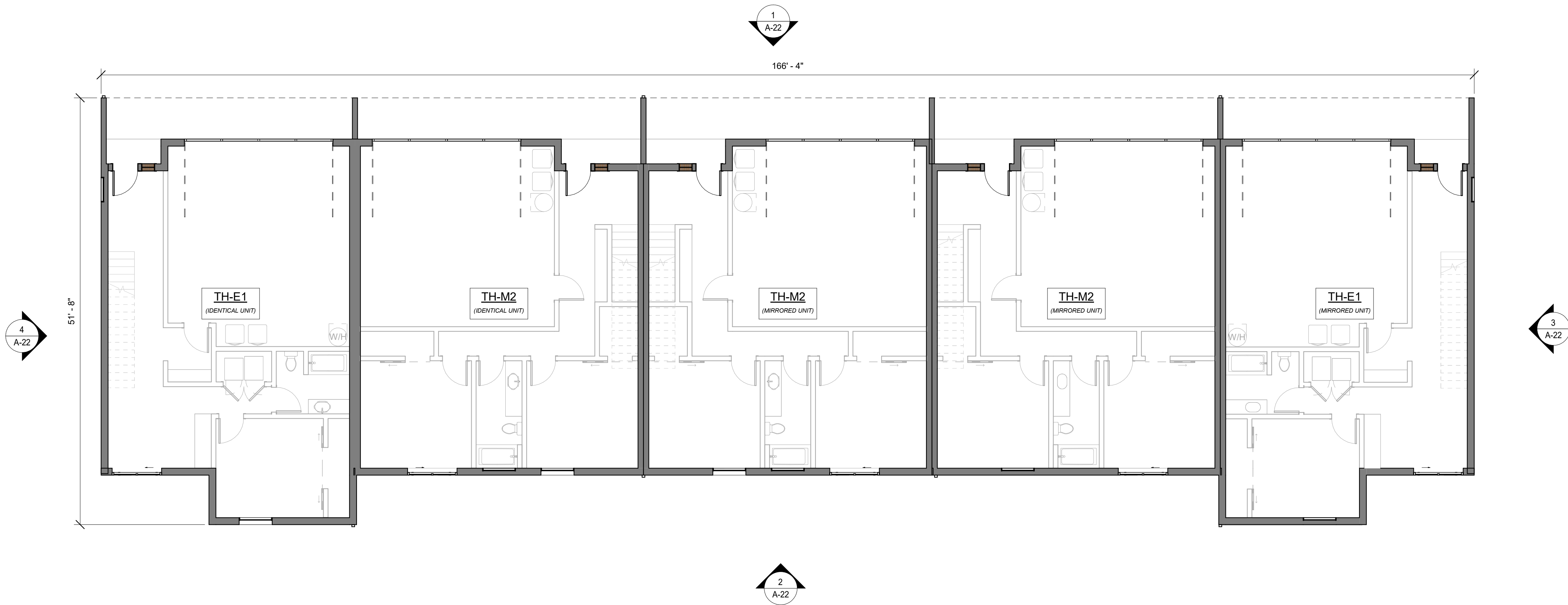
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**TH-C OVERALL
PLANS**

A-12



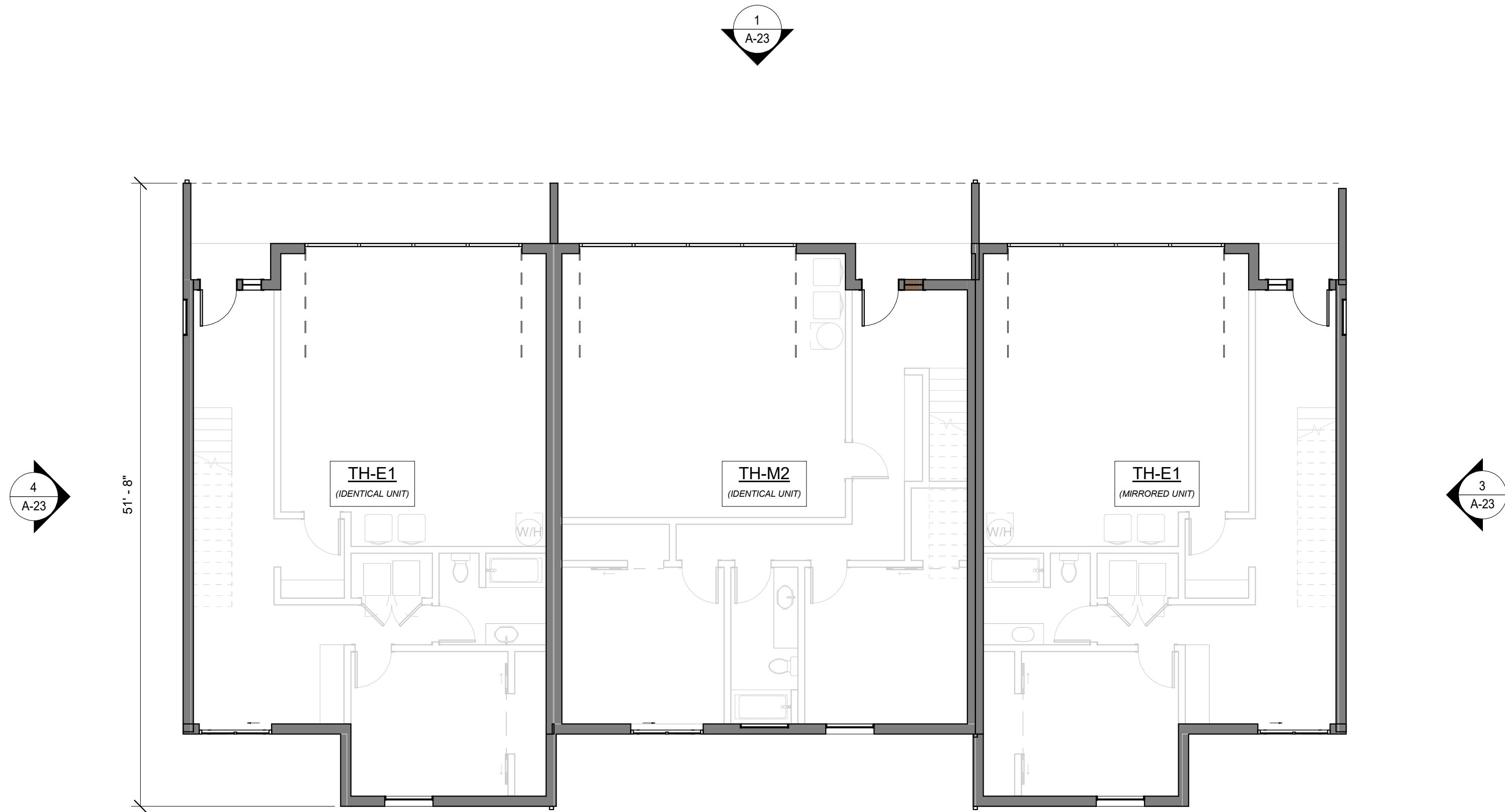
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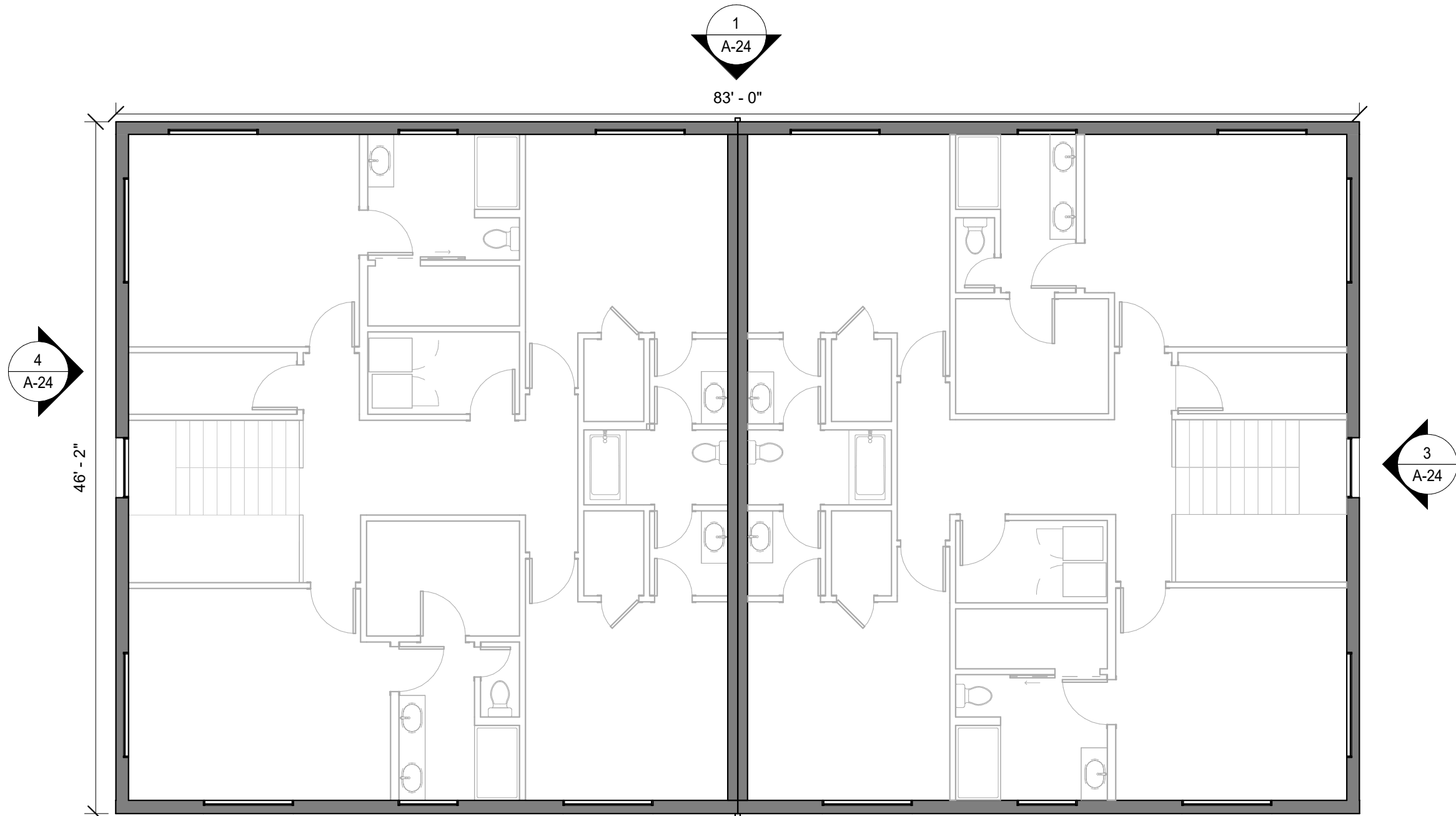
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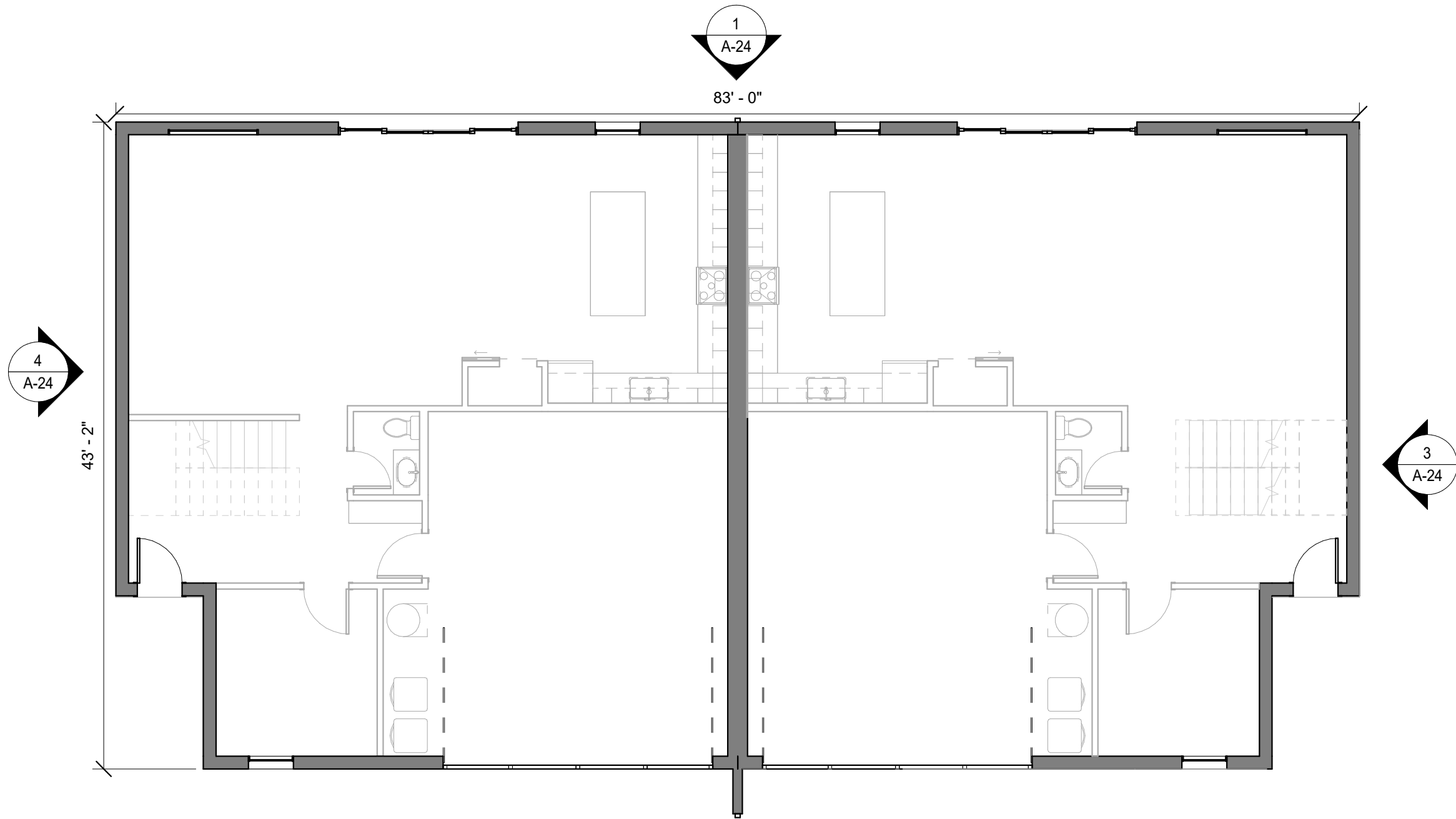
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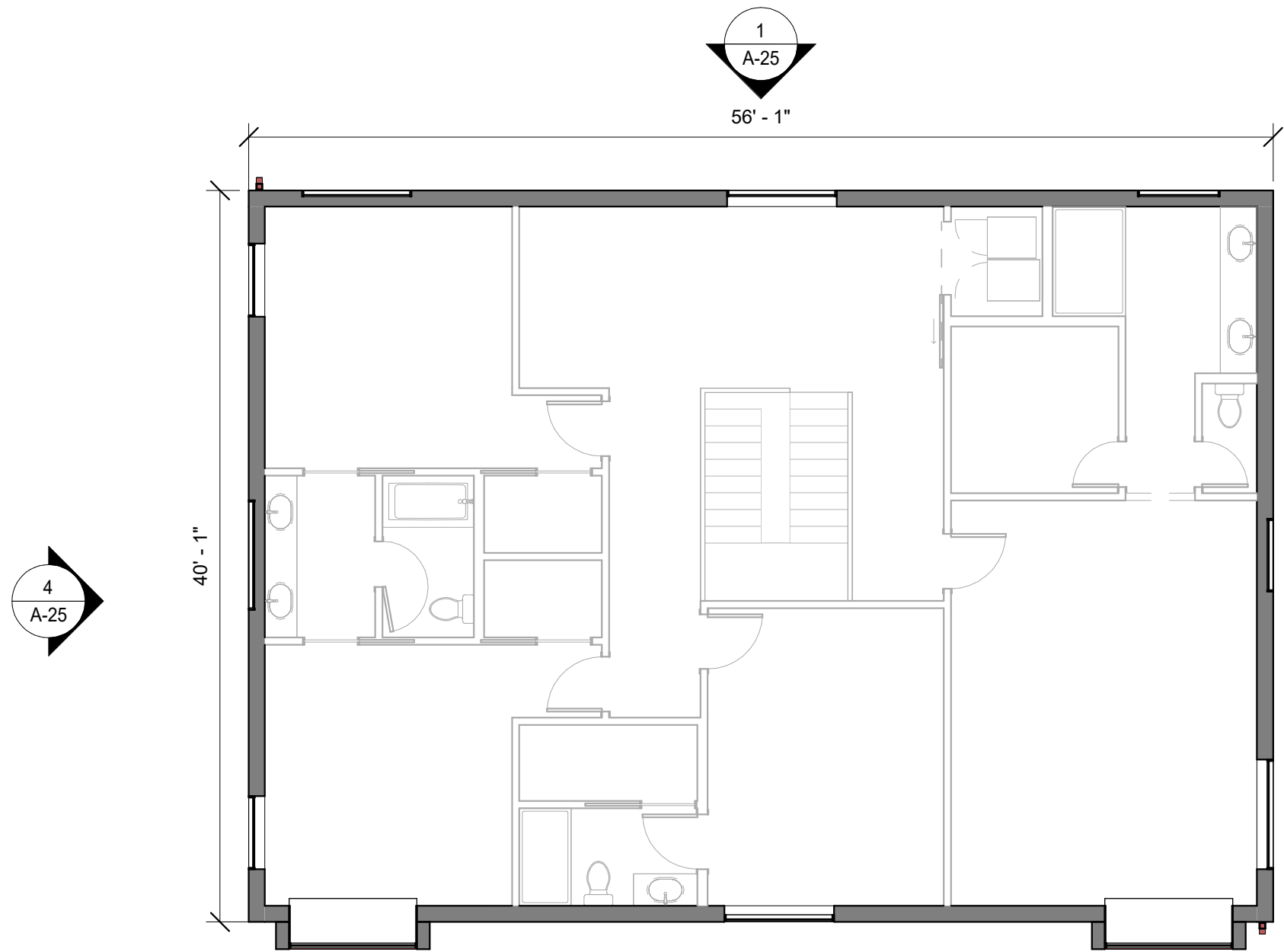
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SCALE: 1/8" = 1'-0"



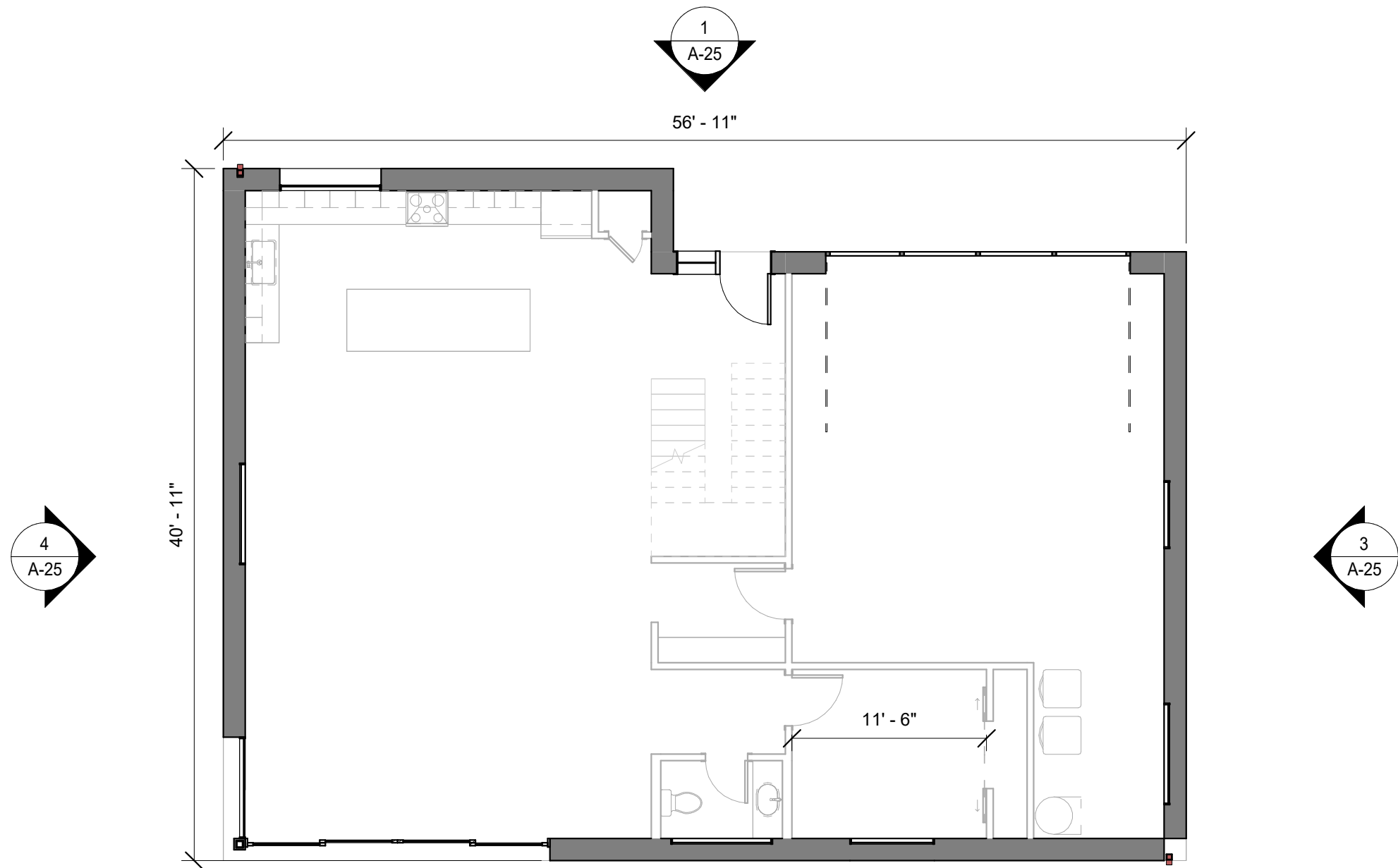
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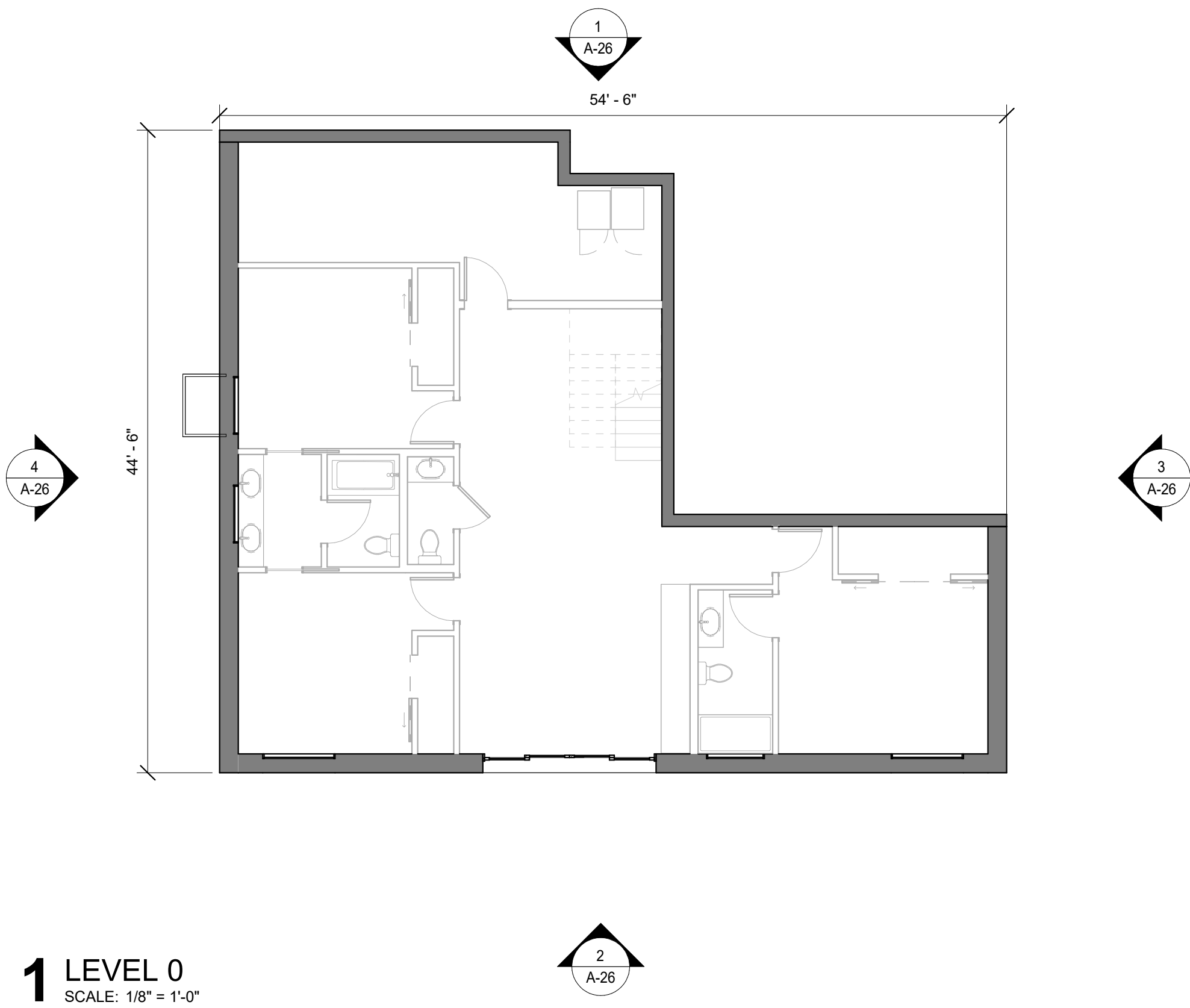
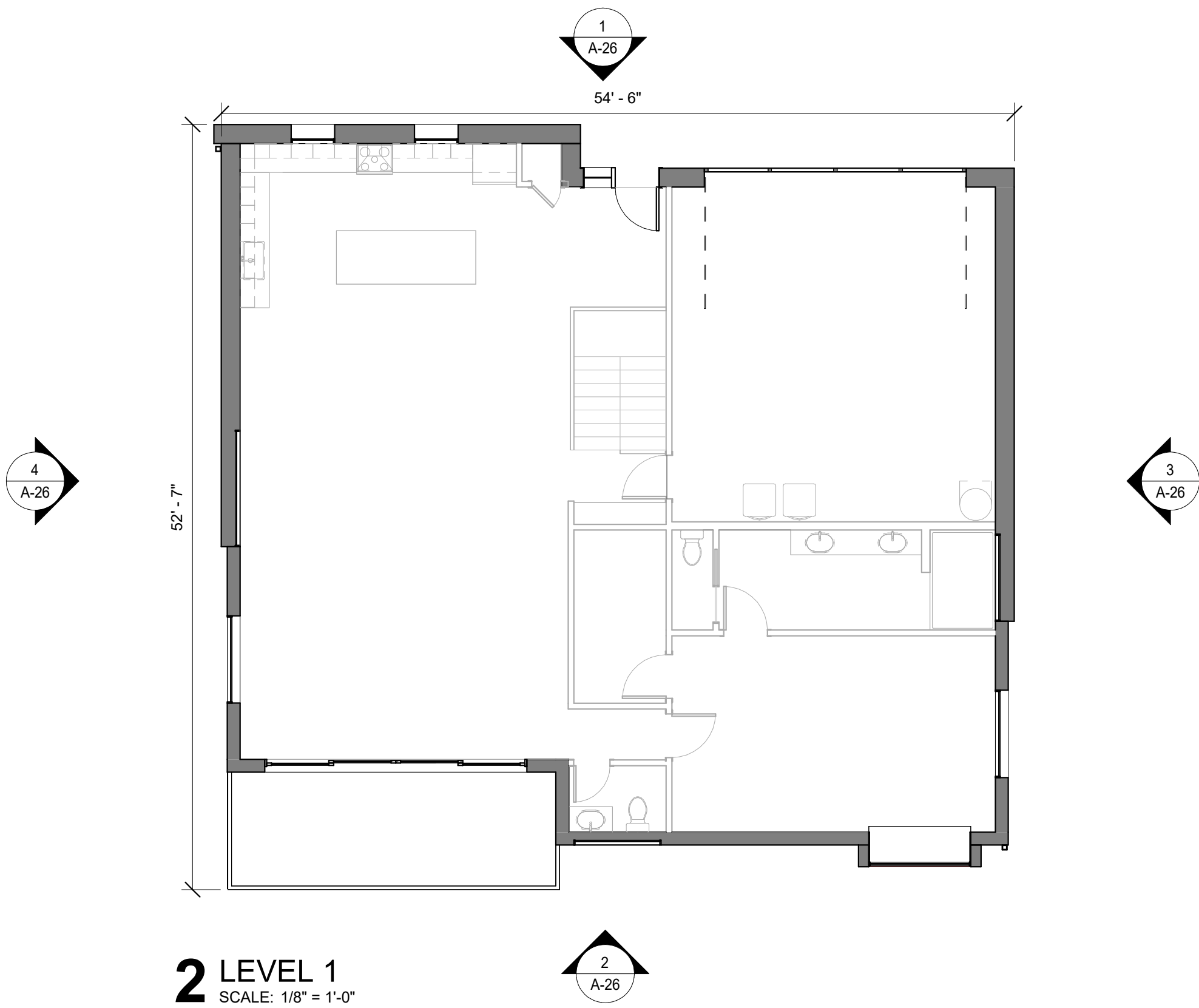
1 LEVEL 1
SCALE: 1/8" = 1'-0"



2 LEVEL 2
SCALE: 1/8" = 1'-0"



1 LEVEL 1
SCALE: 1/8" = 1'-0"



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ARCHITECT/
GENERAL CONTRACTOR

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ISSUE DATE

01.13.2025

CURRENT REVISION

REVISION HISTORY

DRAWING SHEET TITLE

**TH-A
ELEVATIONS**

A-20

GENERAL NOTES

- GROUND LEVEL FFE WILL STEP TO ACCOMMODATE GRADE
- THIS STEP AVERAGES 2'-0" BUT DOES VARY DEPENDING ON GRADE AT SPECIFIC BUILDING LOCATIONS
- RE: OVERALL GRADING PLAN FOR FFEs SPECIFIC TO INDIVIDUAL BUILDINGS

SHEET NOTES

- A** GUTTER. FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
B DOWNSPOUT. FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
C SNOW GUARD. FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
E AIR SOURCE HEAT PUMP. EQUIPMENT CONCEALED IN A PREFABRICATED METAL ENCLOSURE. FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
F RAIN CHAIN DOWNSPOUT
G GARAGE DOORS. BOTTOM PANELS TO BE OPAQUE AND FINISHED SIM. TO OTHER METAL TRIM. UPPER PANELS TO BE GLASS
H SOFFIT TO BE FINISHED IN WOOD PANELS SIMILAR TO FACADE
I SOLID WOOD AT MAIN UNIT ENTRY DOOR
J METAL TRIM. FINISH TO COLOR MATCH STANDING SEAM METAL PANELS

FACADE MATERIALS

METAL PANEL



LOCATION: ROOF AND NORTH FACADE
FINISH: STANDING SEAM, MATTE GREY (BONDERIZED)
INTENDED TO WEATHER SLIGHTLY AS IT AGES.

WOOD SIDING

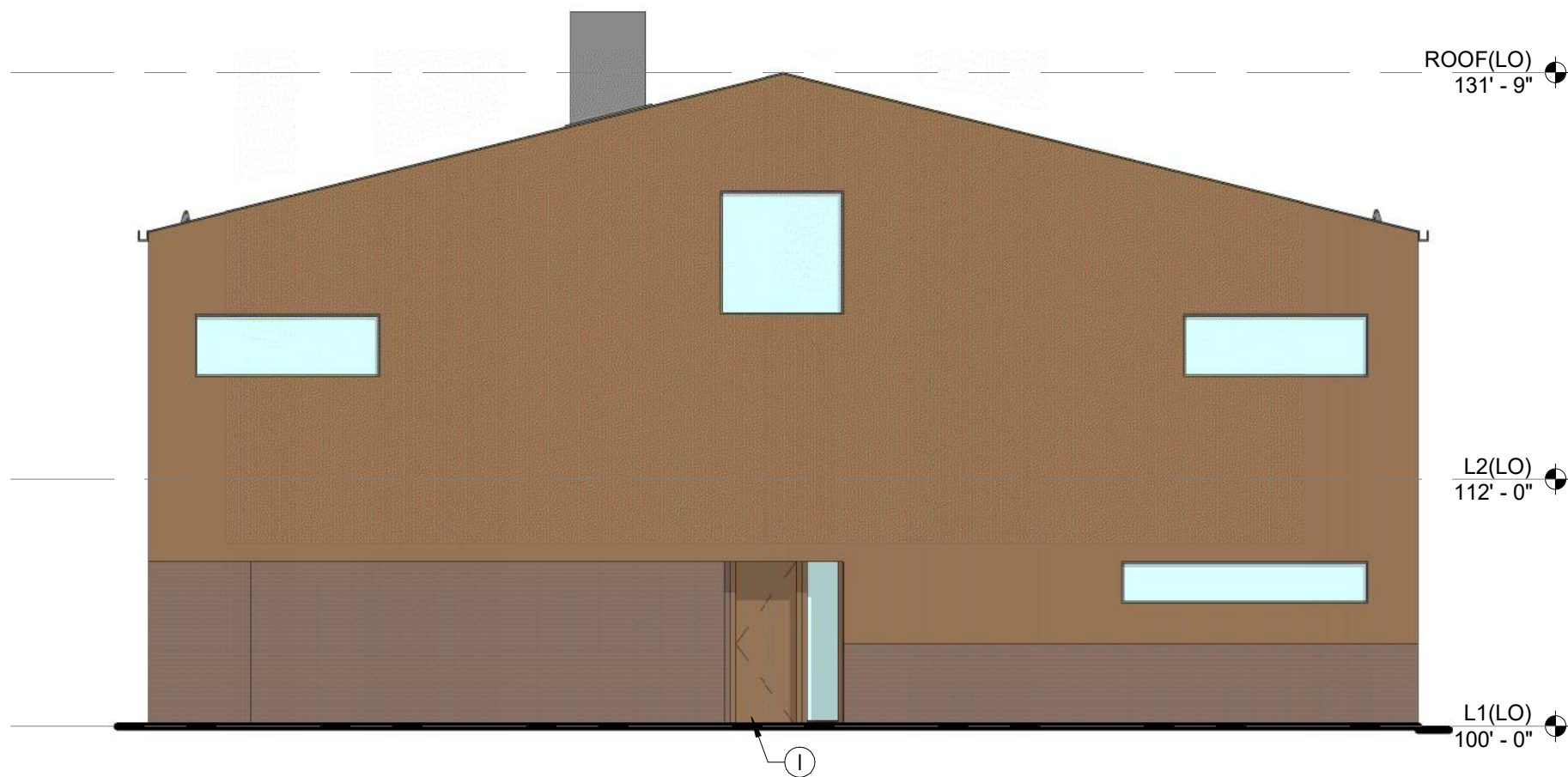


LOCATION: SOUTH, EAST AND WEST FACADES
FINISH: VERTICAL WOOD PANELING. CLEAR FINISH DOUGLAS FIR (OR SIM.) WITH VARIATIONS IN TONE OR GRAIN ACROSS INDIVIDUAL BOARDS.

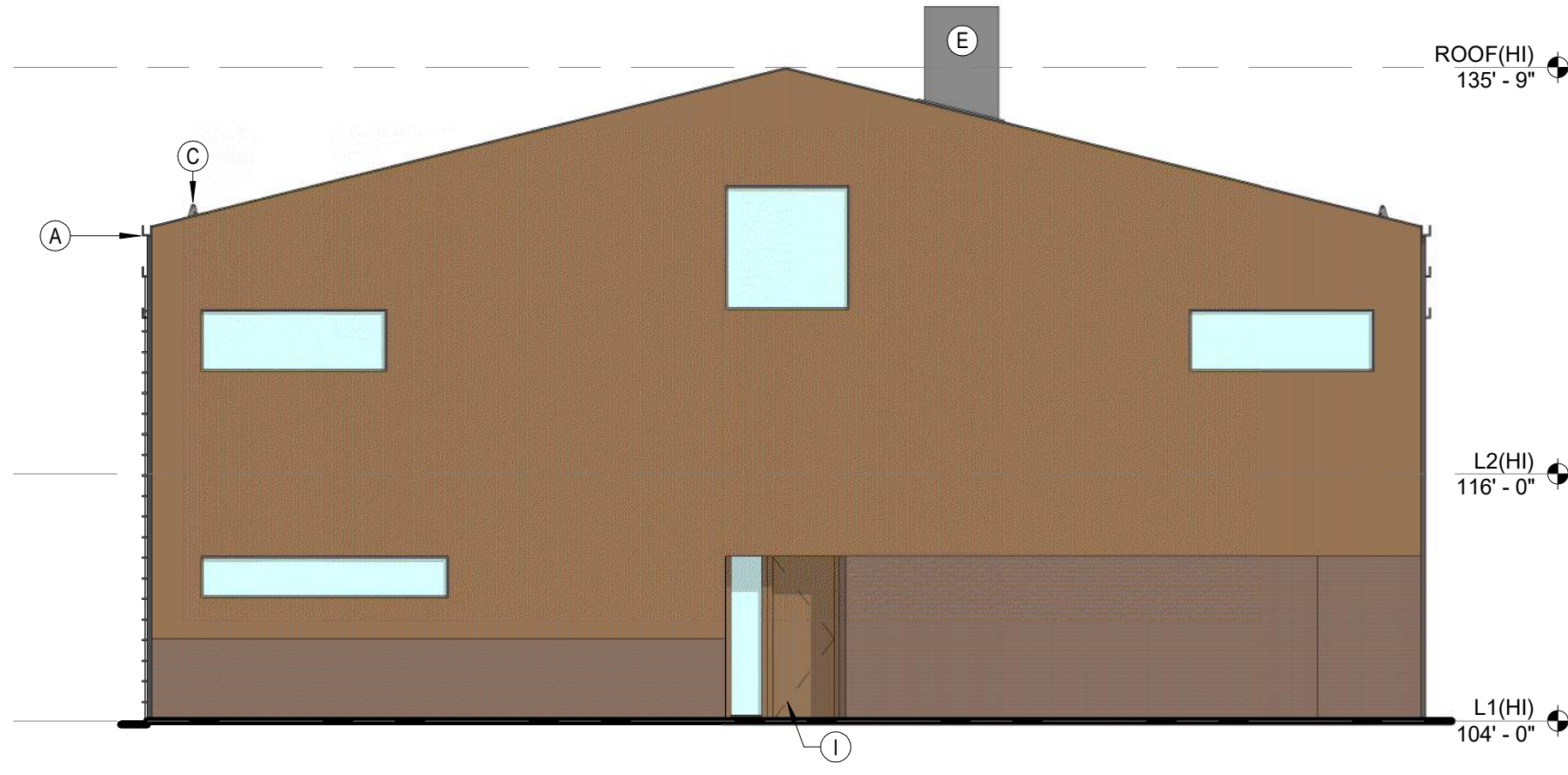
BRICK MASONRY



LOCATION: WHERE EXTERIOR WALLS CONTACT THE GROUND WHERE DURABILITY IS REQUIRED.
FINISH: RECLAIMED BRICK. DEPENDING ON RECLAIMED STOCK AVAILABLE, THE TONE OR SHAPE OF BRICKS USED COULD VARY AT DIFFERENT BUILDINGS



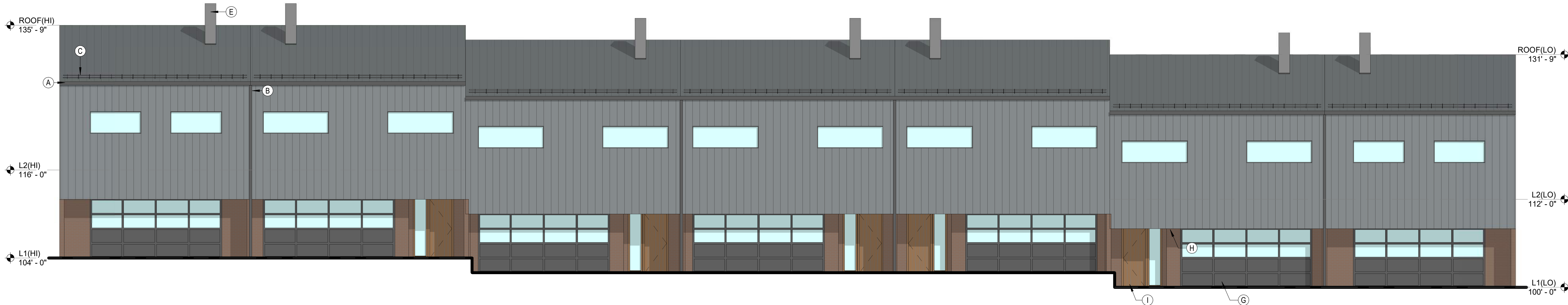
4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



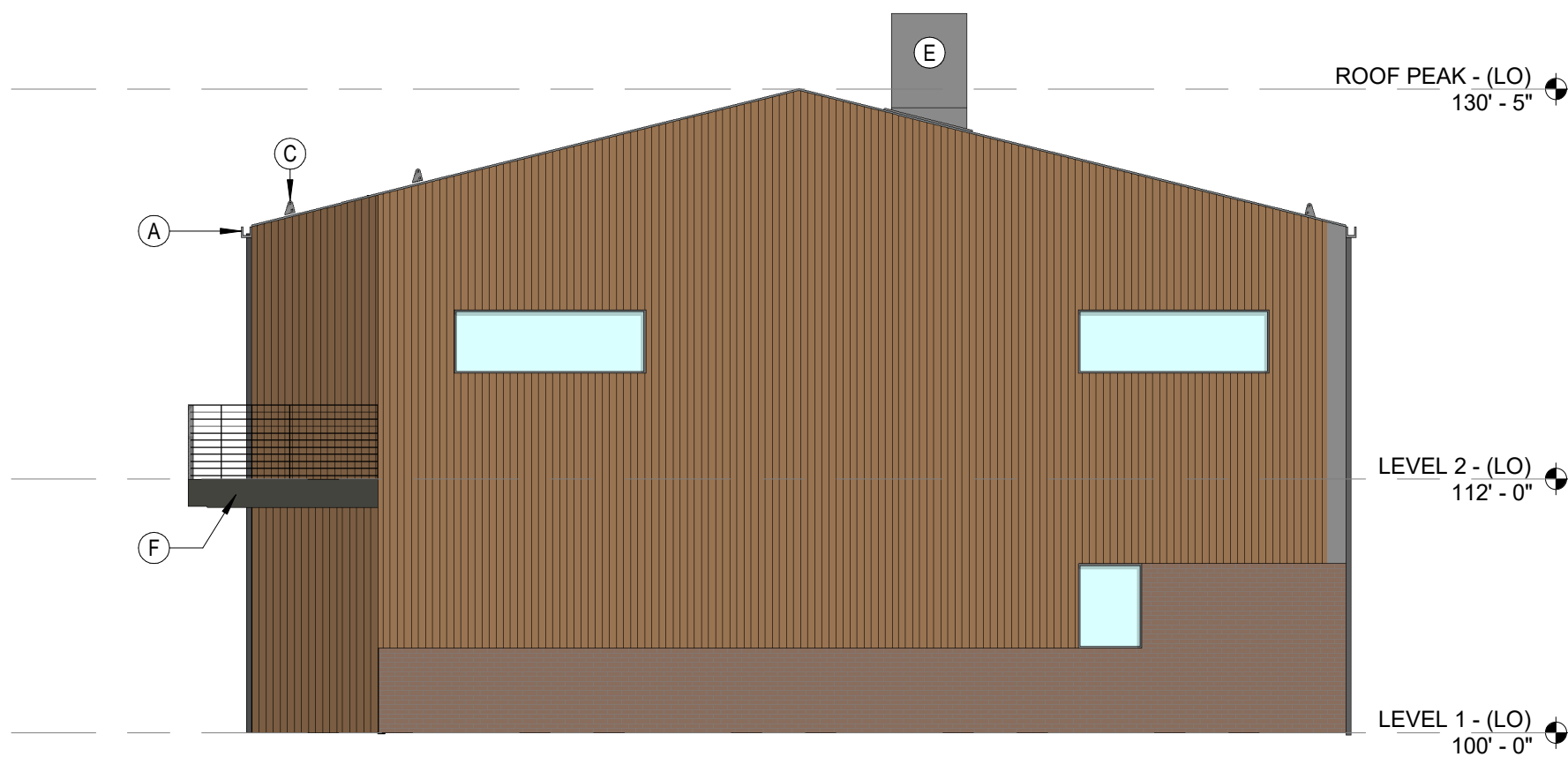
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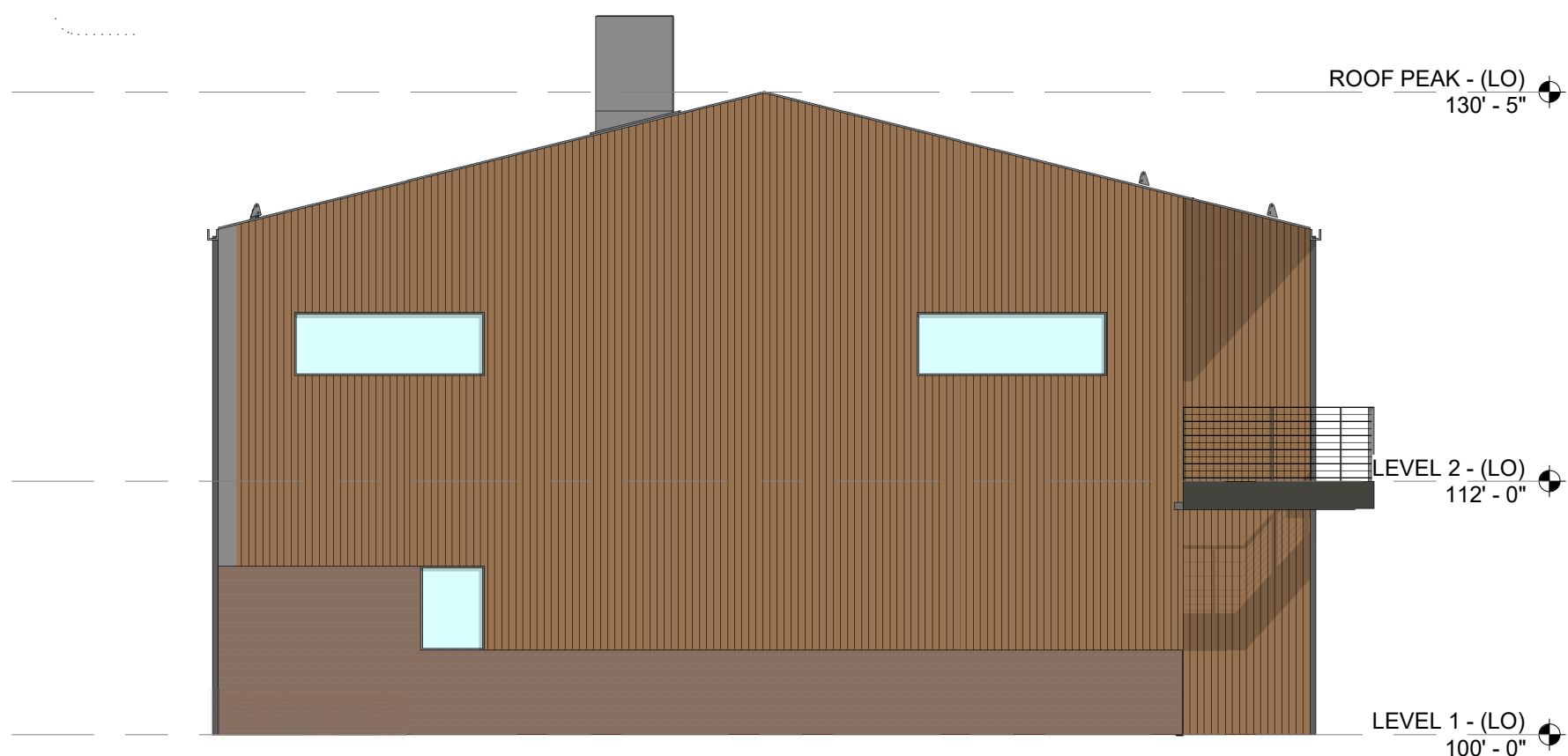
2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



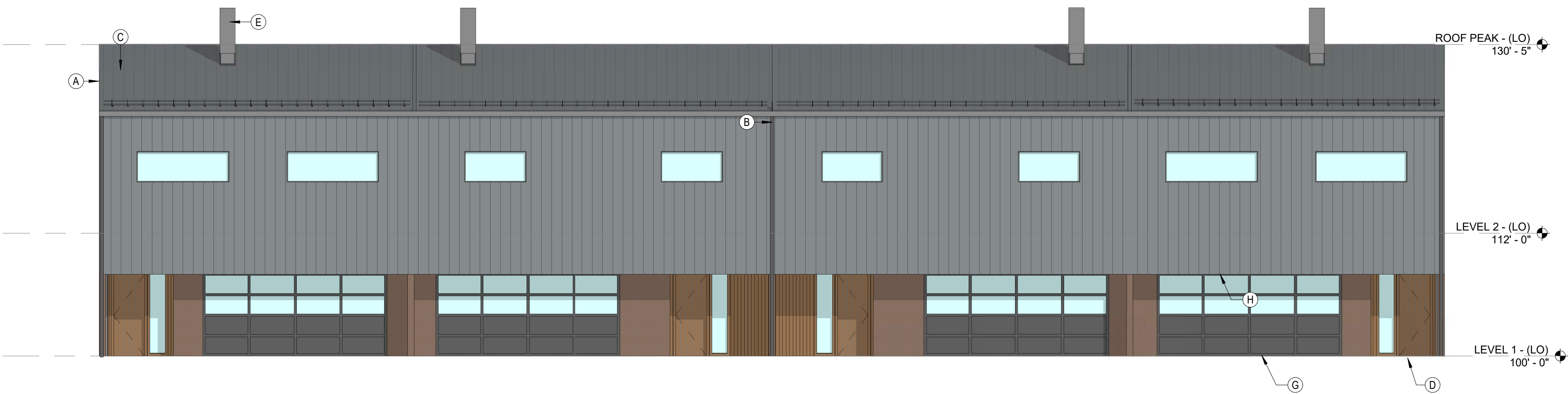
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SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



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SCALE: 1/8" = 1'-0"

GENERAL NOTES

- RE. OVERALL GRADING PLAN FOR FFEs SPECIFIC TO INDIVIDUAL BUILDINGS

SHEET NOTES

- A GUTTER. FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
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PROJECT

RED MOUNTAIN RANCH

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ARCHITECT/

GENERAL CONTRACTOR

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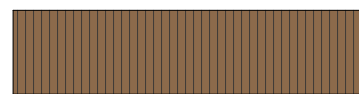
FACADE MATERIALS

METAL PANEL



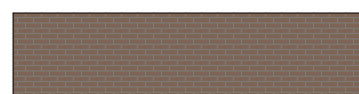
LOCATION: ROOF AND NORTH FACADE
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WOOD SIDING



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LOCATION: WHERE EXTERIOR WALLS CONTACT THE GROUND WHERE DURABILITY IS REQUIRED.
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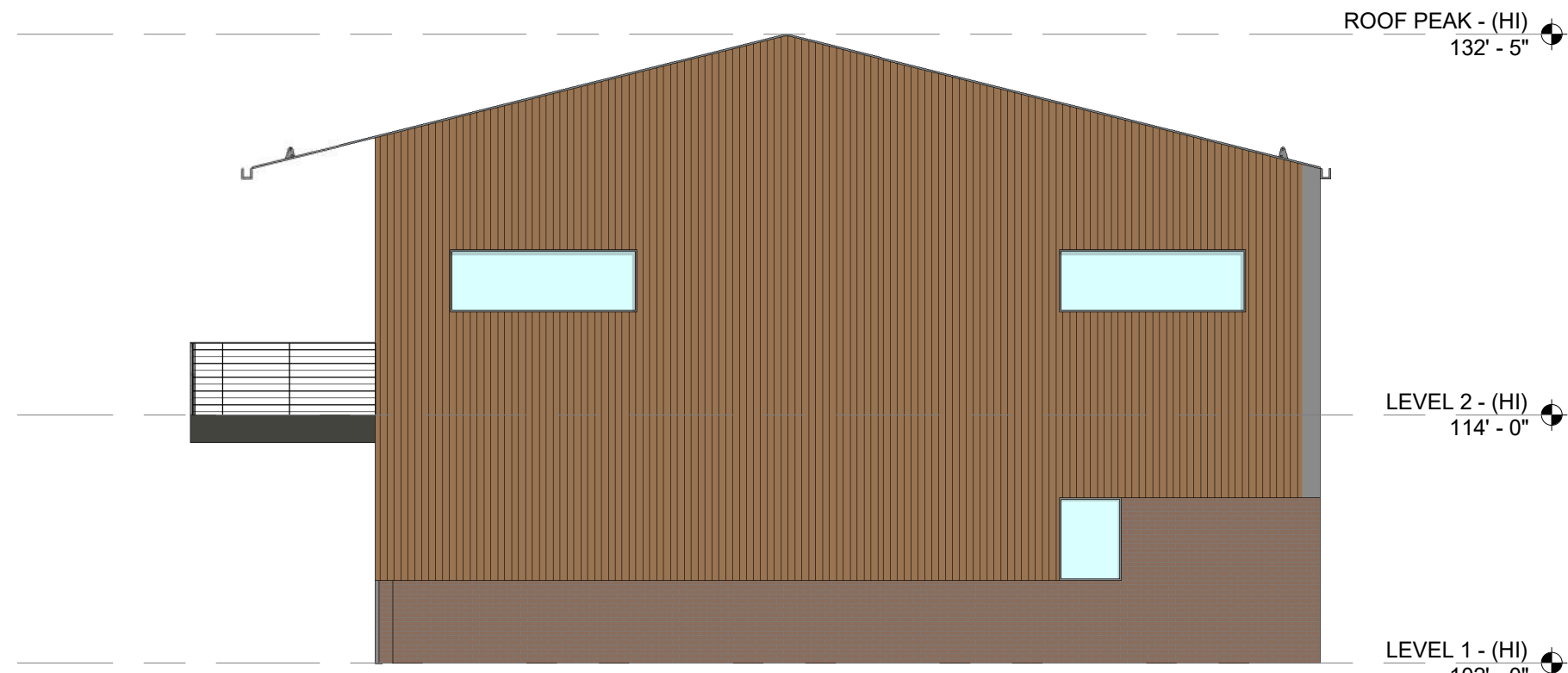
CURRENT REVISION

REVISION HISTORY

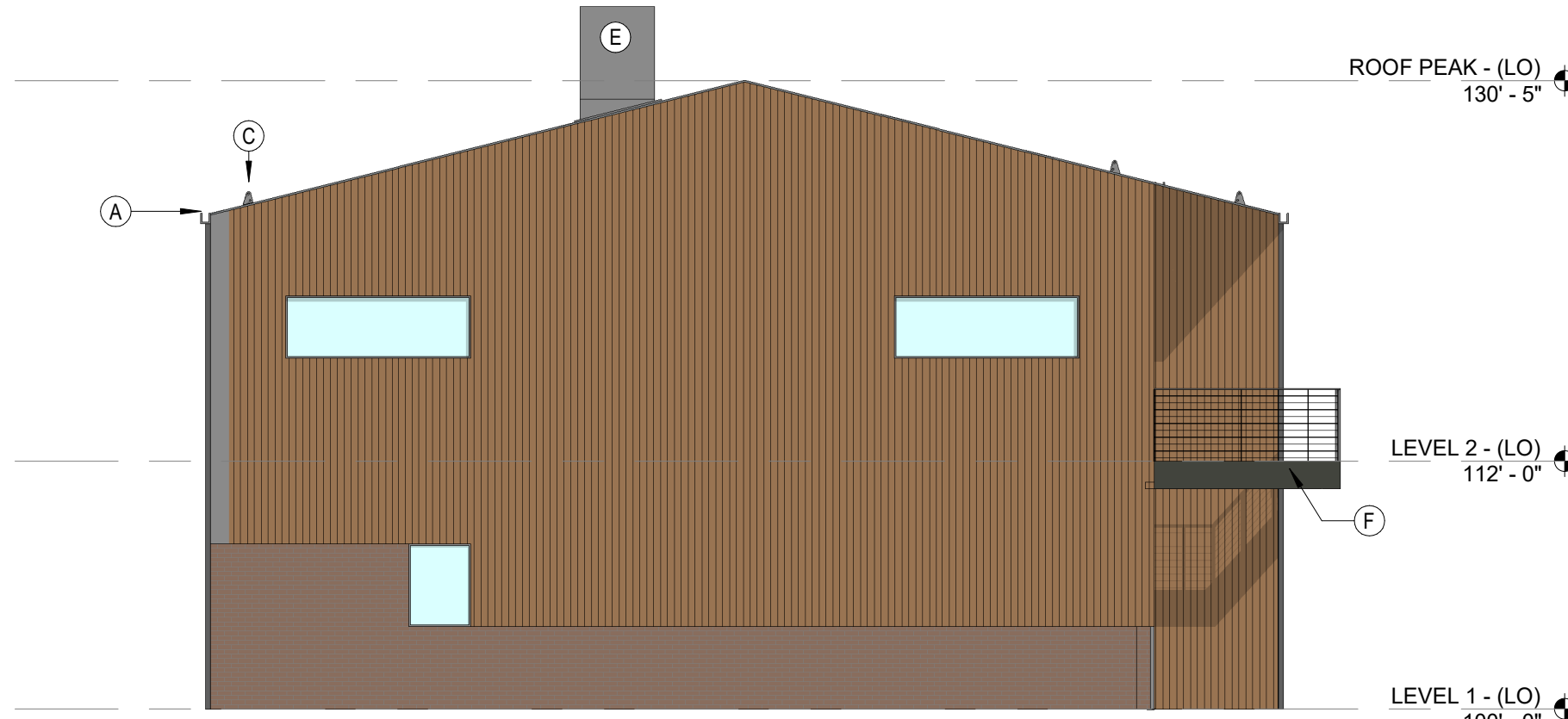
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TH-B ELEVATIONS

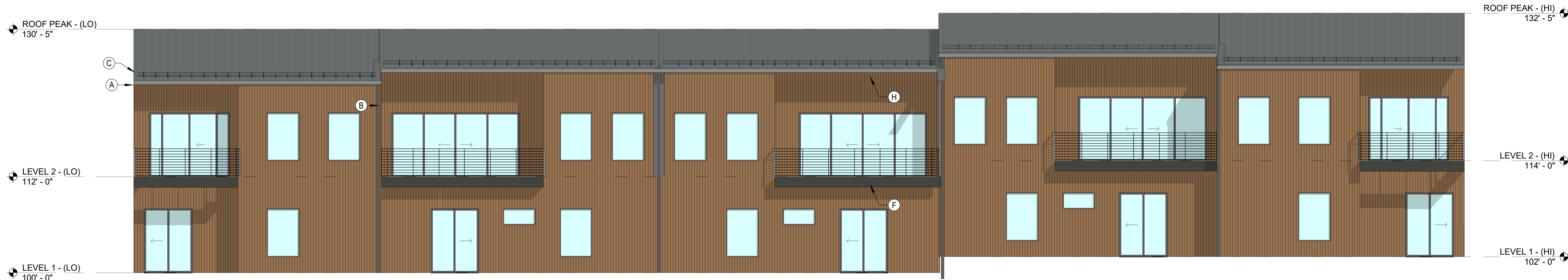
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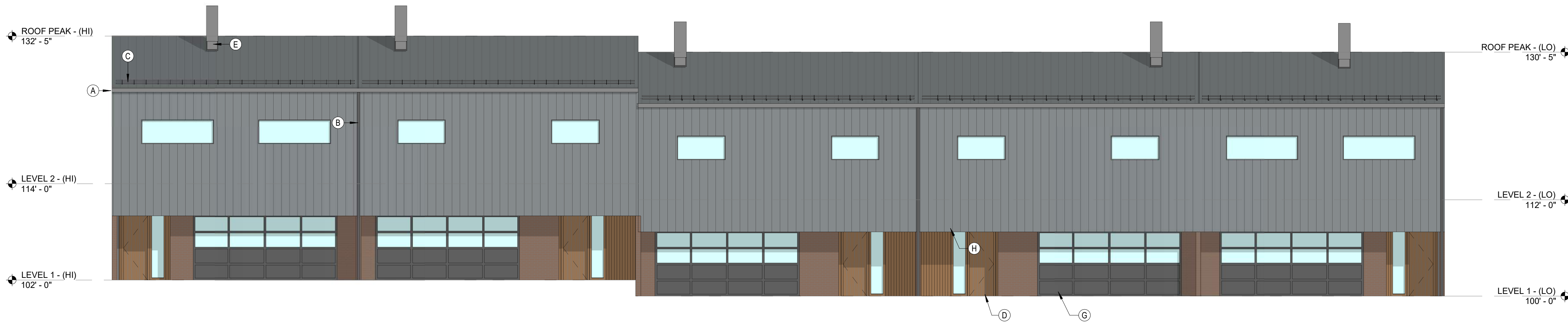
3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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FACADE MATERIALS

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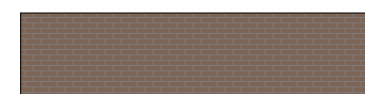
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WOOD SIDING



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BRICK MASONRY

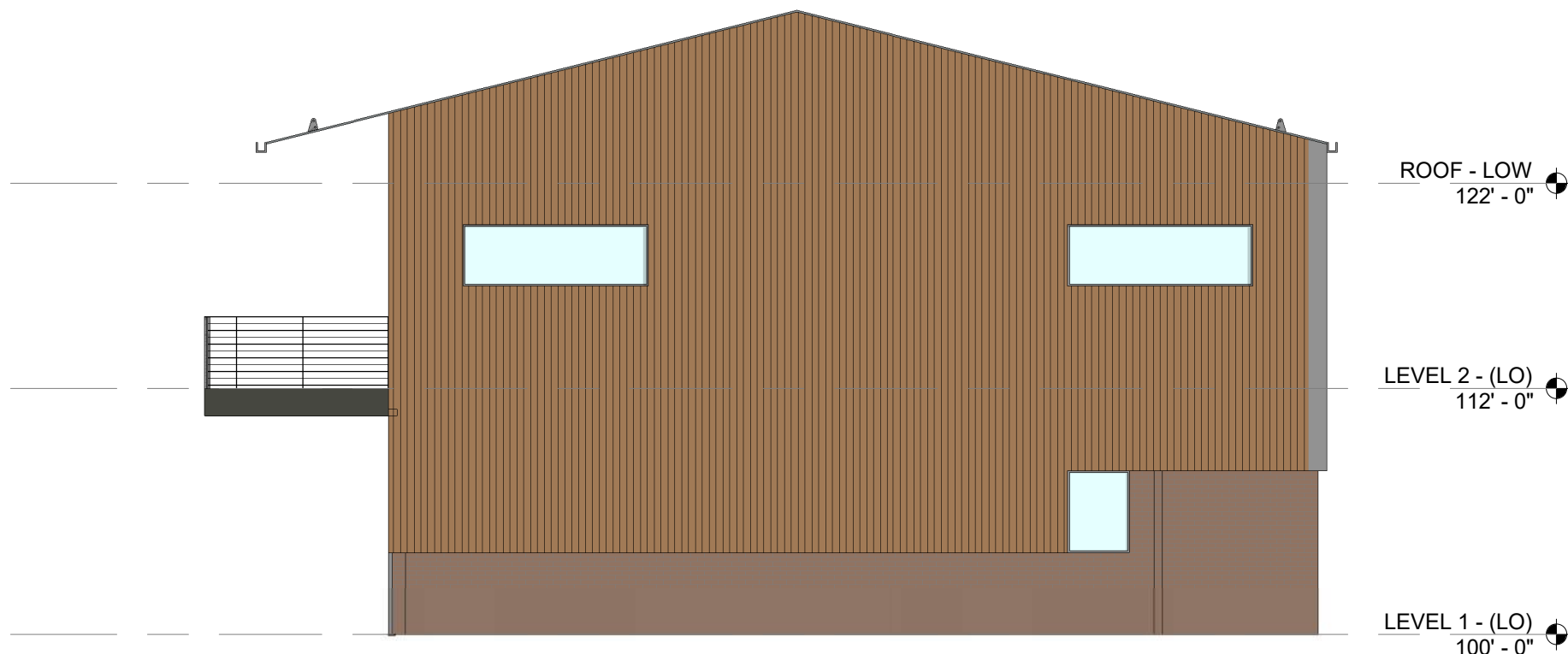


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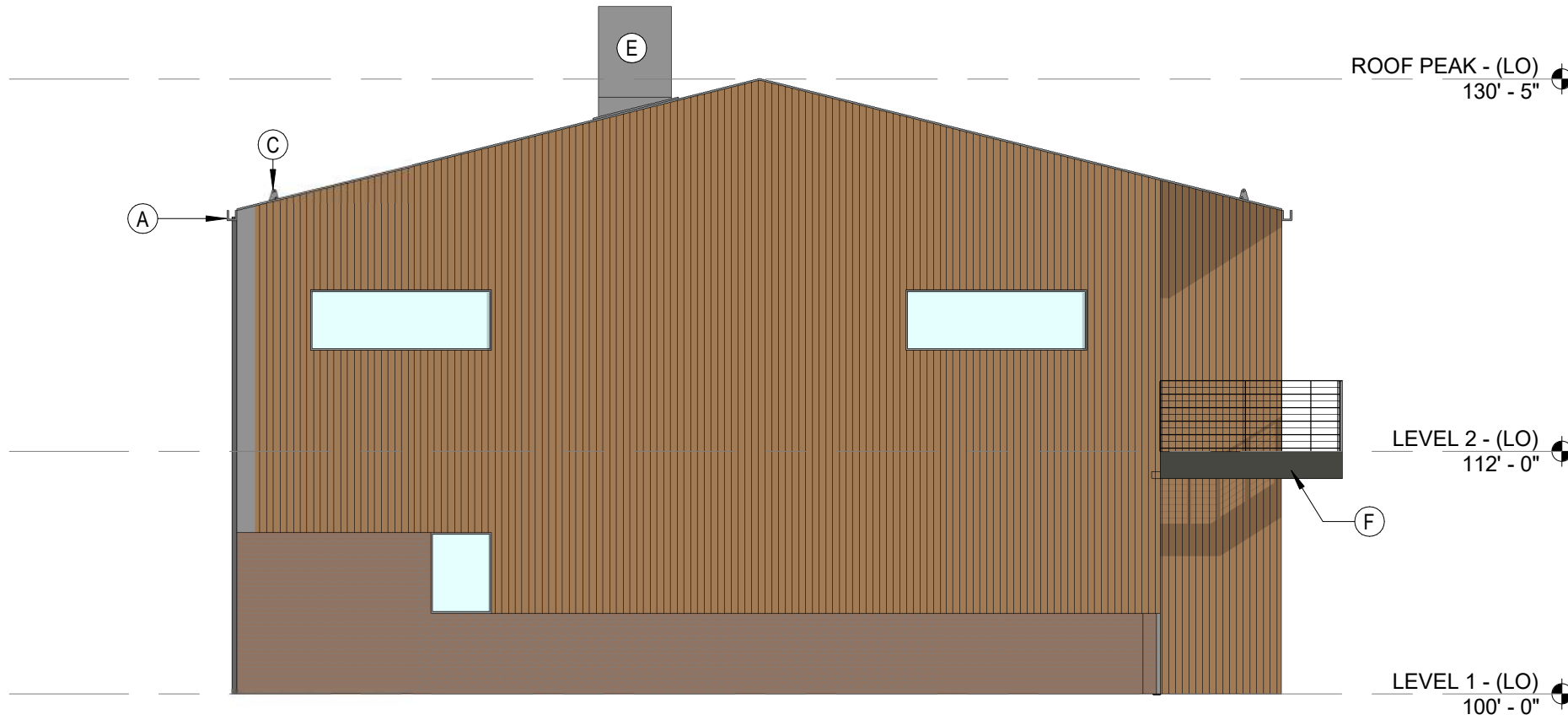
DRAWING SHEET TITLE

TH-C ELEVATIONS

A-22



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- GROUND LEVEL FFE WILL STEP TO ACCOMMODATE GRADE.
- THIS STEP AVERAGES 2'-0" BUT DOES VARY DEPENDING ON GRADE AT SPECIFIC BUILDING LOCATIONS
- RE: OVERALL GRADING PLAN FOR FFEs SPECIFIC TO INDIVIDUAL BUILDINGS

SHEET NOTES

- A GUTTER. FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- B DOWNSPOUT. FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- C SNOW GUARD. FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- D SOLID WOOD AT MAIN UNIT ENTRY DOOR
- E AIR SOURCE HEAT PUMP. EQUIPMENT CONCEALED IN A PREFABRICATED METAL ENCLOSURE. FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
- F EXTERIOR BALCONY. RAILING AND TRIM TO BE FINISHED SIM. TO OTHER METAL TRIM
- G GARAGE DOORS. BOTTOM PANELS TO BE OPAQUE AND FINISHED SIM. TO OTHER METAL TRIM. UPPER PANELS TO BE GLASS
- H SOFFIT TO BE FINISHED IN WOOD PANELS SIMILAR TO FACADE

PROJECT

RED MOUNTAIN RANCH (TH-D)

17500 US-6, Eagle, CO 81631

ARCHITECT/

GENERAL CONTRACTOR

tres birds

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FACADE MATERIALS

METAL PANEL



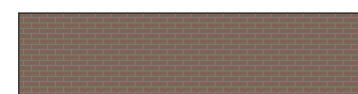
LOCATION: ROOF AND NORTH FACADE
FINISH: STANDING SEAM, MATTE GREY (BONDERIZED)
INTENDED TO WEATHER SLIGHTLY AS IT AGES.

WOOD SIDING



LOCATION: SOUTH, EAST AND WEST FACADES
FINISH: VERTICAL WOOD PANELING. CLEAR FINISH
DOUGLAS FIR (OR SIM.) WITH VARIATIONS IN TONE OR GRAIN ACROSS INDIVIDUAL BOARDS.

BRICK MASONRY



LOCATION: WHERE EXTERIOR WALLS CONTACT THE GROUND WHERE DURABILITY IS REQUIRED.
FINISH: RECLAIMED BRICK. DEPENDING ON RECLAIMED STOCK AVAILABLE. THE TONE OR SHAPE OF BRICKS USED COULD VARY AT DIFFERENT BUILDINGS

ISSUANCE

MAJOR DEVELOPMENT PERMIT

ISSUE DATE

01.13.2025

REVISION HISTORY

DRAWING SHEET TITLE

TH-D ELEVATIONS

A-23

GENERAL NOTES

- GROUND LEVEL FFE WILL STEP TO ACCOMMODATE GRADE.
- RE: OVERALL GRADING PLAN FOR FFEs SPECIFIC TO INDIVIDUAL BUILDINGS

PROJECT

RED MOUNTAIN
RANCH (DUP)

17500 US-6, Eagle, CO 81631

ARCHITECT/

GENERAL CONTRACTOR

tres birds

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ISSUE DATE

01.13.2025

REVISION HISTORY

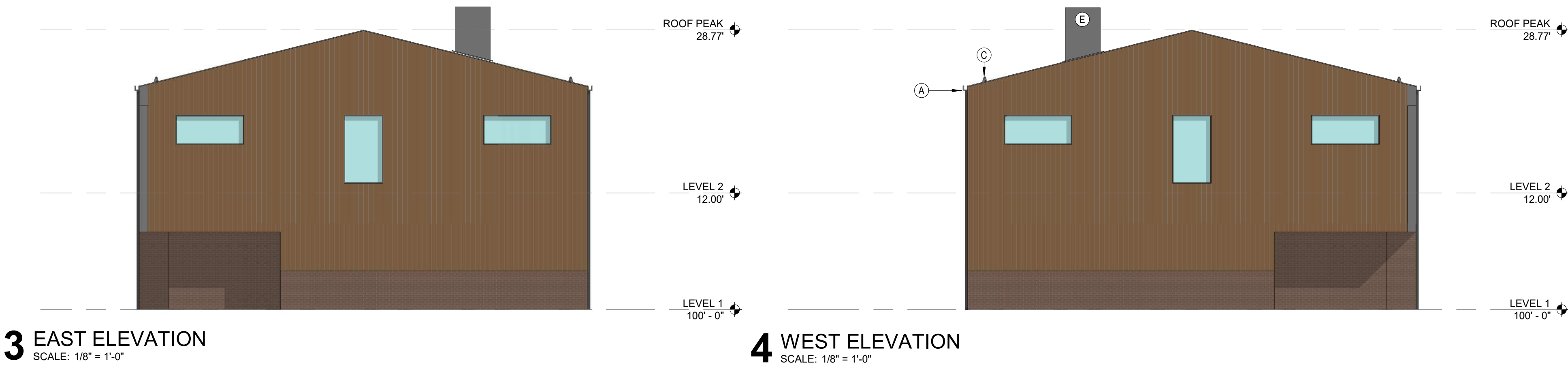
DRAWING SHEET TITLE

DUP
ELEVATIONS

A-24

SHEET NOTES

- A GUTTER, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
B DOWNSPOUT, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
C SNOW GUARD, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
D SOLID WOOD AT MAIN UNIT ENTRY DOOR
E AIR SOURCE HEAT PUMP, EQUIPMENT CONCEALED IN A PREFABRICATED METAL ENCLOSURE, FINISH TO COLOR MATCH STANDING SEAM METAL PANELS
G GARAGE DOORS, BOTTOM PANELS TO BE OPAQUE AND FINISHED SIM. TO OTHER METAL TRIM, UPPER PANELS TO BE GLASS
H SOFFIT TO BE FINISHED IN WOOD PANELS SIMILAR TO FACADE



FACADE MATERIALS

METAL PANEL



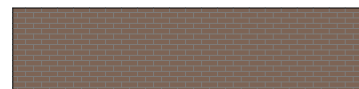
LOCATION: ROOF AND SOUTH FACADE
FINISH: STANDING SEAM, MATTE GREY (BONDERIZED)
INTENDED TO WEATHER SLIGHTLY AS IT AGES.

WOOD SIDING



LOCATION: NORTH, EAST AND SOUTH FACADES
FINISH: VERTICAL WOOD PANELING, CLEAR FINISH
DOUGLAS FIR (OR SIM.) WITH VARIATIONS IN TONE OR GRAIN ACROSS INDIVIDUAL BOARDS.

BRICK MASONRY



LOCATION: WHERE EXTERIOR WALLS CONTACT THE GROUND WHERE DURABILITY IS REQUIRED.
FINISH: RECLAIMED BRICK, DEPENDING ON RECLAIMED STOCK AVAILABLE, THE TONE OR SHAPE OF BRICKS USED COULD VARY AT DIFFERENT BUILDINGS

GENERAL NOTES

- GROUND LEVEL FFE WILL STEP TO ACCOMMODATE GRADE.
- RE: OVERALL GRADING PLAN FOR FFEs SPECIFIC TO INDIVIDUAL BUILDINGS

PROJECT

RMR - SINGLE
FAMILY - TYPE A

17500 US-6, Eagle, CO 81631

ARCHITECT/

GENERAL CONTRACTOR

tres birds

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MAJOR
DEVELOPMENT
PERMIT

ISSUE DATE

01.13.2025

FACADE MATERIALS

METAL PANEL



LOCATION: ROOF AND EXTERIOR WALLS ABOVE STONE
MASONRY BASE
FINISH: CORRUGATED STEEL PANELS. FINISH INTENDED
TO WEATHER AND PATINA SIGNIFICANTLY AS IT AGES

STONE MASONRY

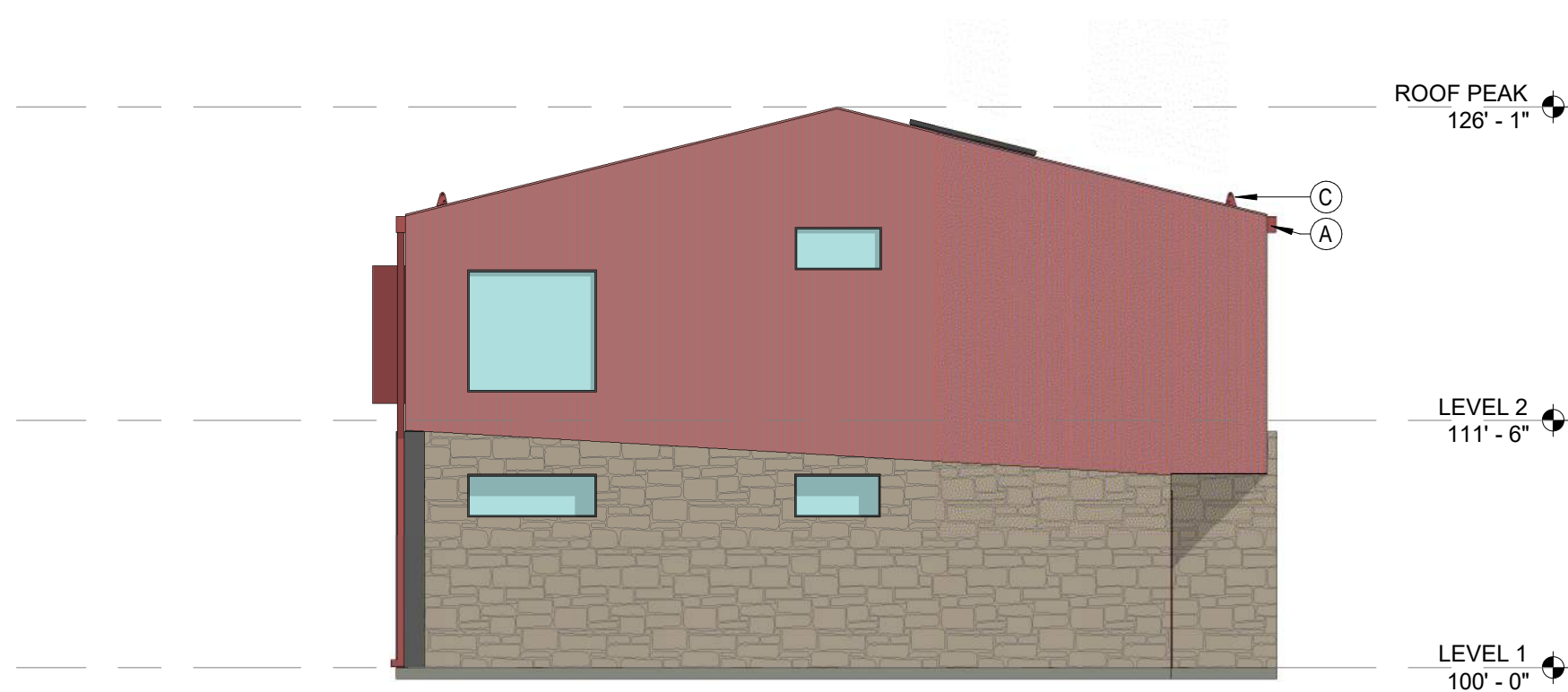


LOCATION: WHERE EXTERIOR WALLS CONTACT THE
GROUND WHERE DURABILITY IS REQUIRED.
FINISH: LOCALLY SOURCED NATURAL STONE. INTENDED
TO REFLECT A MORE ORGANIC MATERIAL APPROACH
THAN THE BRICK MASONRY USED ELSEWHERE. STONES
VARYING IN SIZE, SHAPE AND TONE PREFERRED

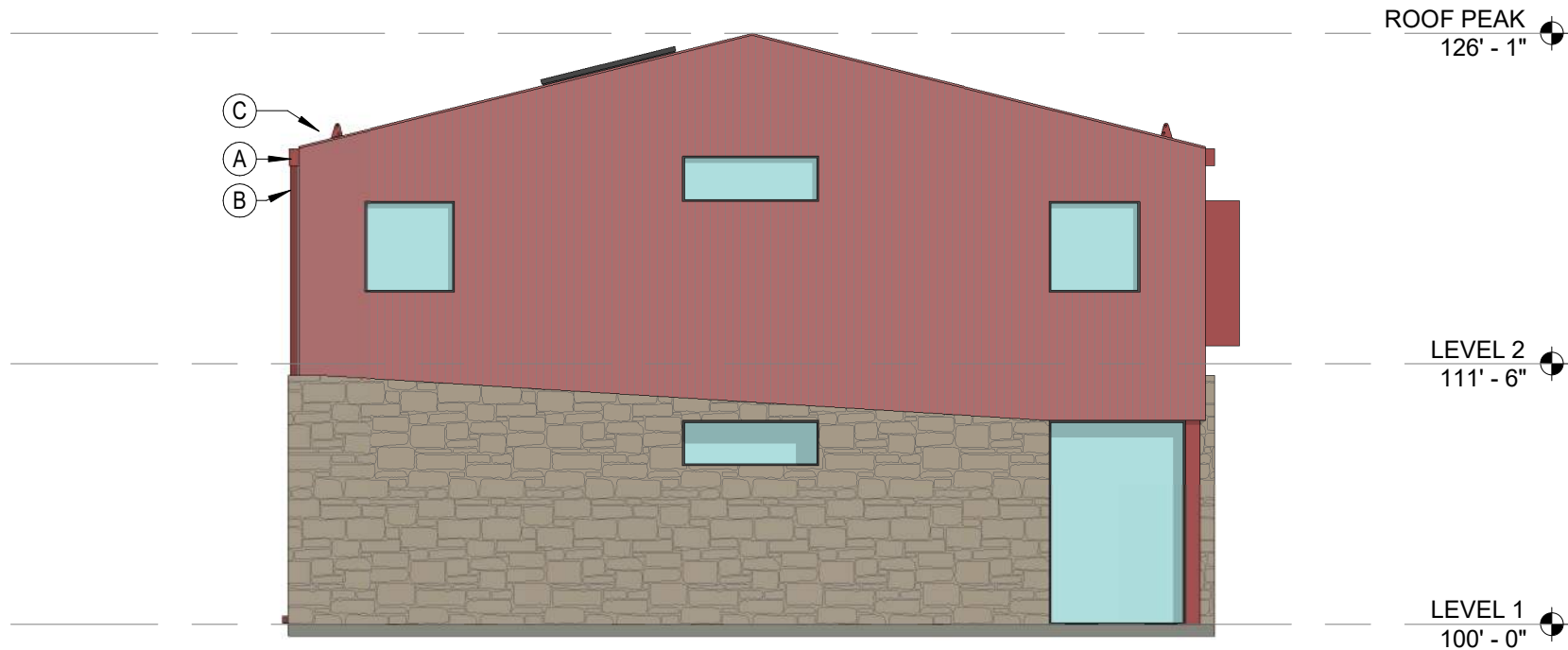
DRAWING SHEET TITLE

SF-A
ELEVATIONS

A-25



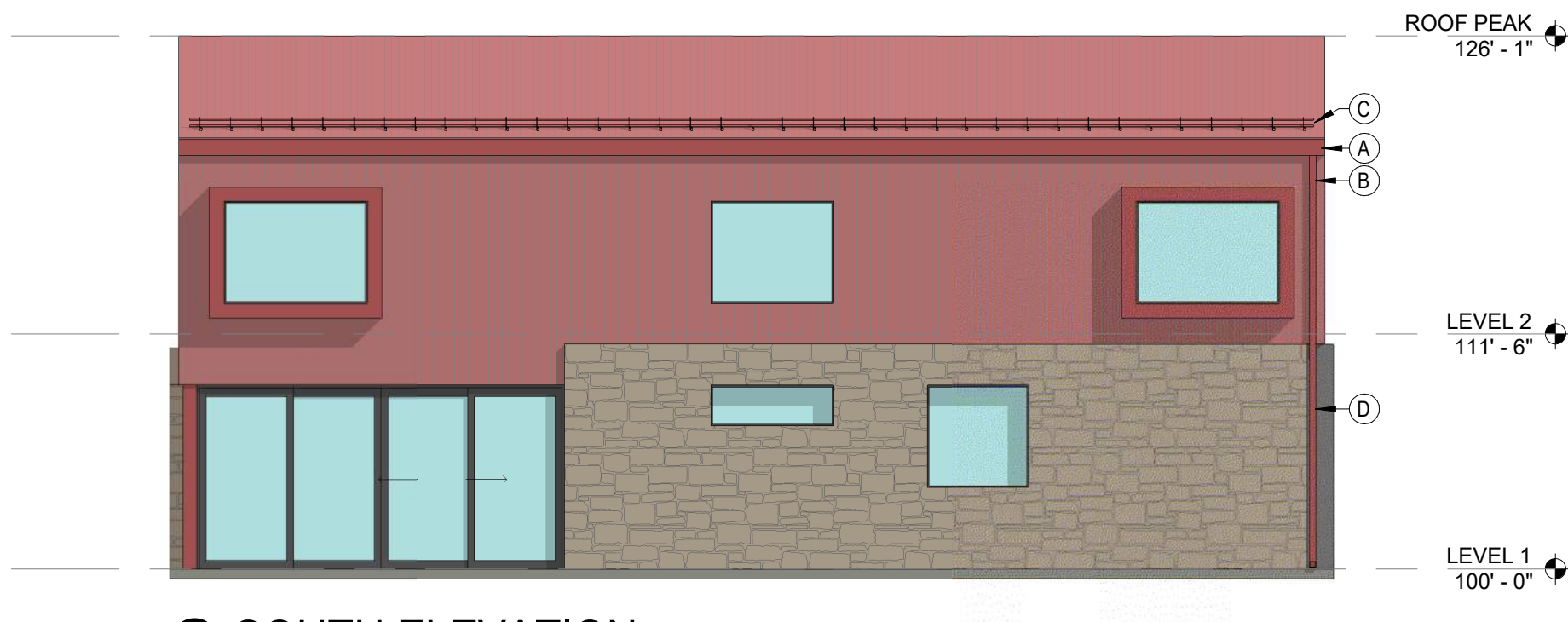
3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- GROUND LEVEL FFE WILL STEP TO ACCOMMODATE GRADE
- RE: OVERALL GRADING PLAN FOR FFEs SPECIFIC TO INDIVIDUAL BUILDINGS

PROJECT

RED MOUNTAIN RANCH (SF-A)

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ARCHITECT/

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ISSUANCE

MAJOR DEVELOPMENT PERMIT

ISSUE DATE

01.13.2025

FACADE MATERIALS

METAL PANEL



LOCATION: ROOF AND EXTERIOR WALLS ABOVE STONE MASONRY BASE
FINISH: CORRUGATED STEEL PANELS. FINISH INTENDED TO WEATHER AND PATINA SIGNIFICANTLY AS IT AGES

STONE MASONRY



LOCATION: WHERE EXTERIOR WALLS CONTACT THE GROUND WHERE DURABILITY IS REQUIRED.
FINISH: LOCALLY SOURCED NATURAL STONE. INTENDED TO REFLECT A MORE ORGANIC MATERIAL APPROACH THAN THE BRICK MASONRY USED ELSEWHERE. STONES VARYING IN SIZE, SHAPE AND TONE PREFERRED

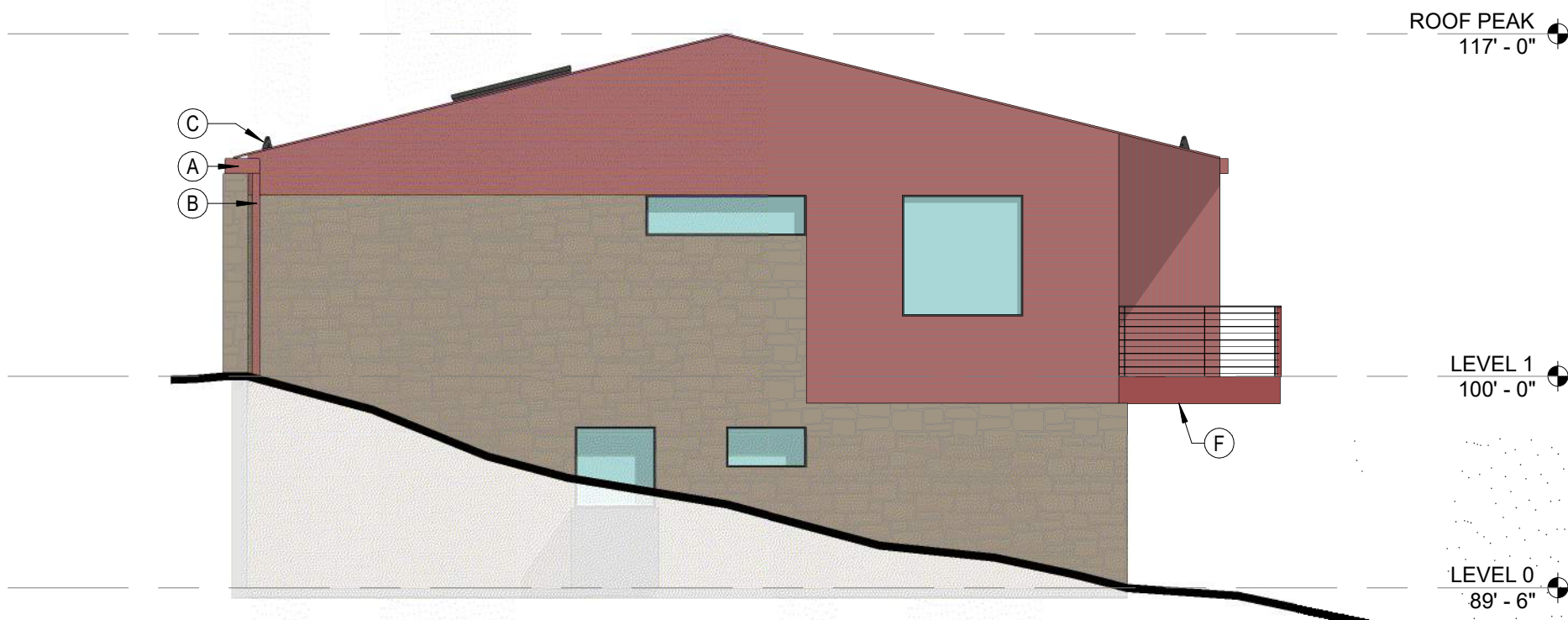
DRAWING SHEET TITLE

SF-B ELEVATIONS

A-26



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"