

GENERAL NOTES

1. THE CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF ANY WORK SHOWN ON THESE PLANS.
2. THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
3. DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
4. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
5. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
6. SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
7. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
8. IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
9. CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
10. CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
13. UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
14. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
17. SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.

MAINTENANCE NOTES

- TREES, SHRUBS AND GROUND COVERS
1. MAINTAIN TREES, SHRUBS, GROUND COVERS AND PLANTS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUYS WORE SUPPORTS, AND RESETTNG TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 2. WATERING: MAINTAIN LARGE ENOUGH WATER BASINS AROUND PLANTS SO THAT ENOUGH WATER CAN BE APPLIED TO ESTABLISH MOISTURE THROUGHOUT ENTIRE ROOT ZONE. UTILIZE MULCHES TO REDUCE EVAPORATION AND WATERING FREQUENCY. ALL TREES SHALL BE DRIP IRRIGATED.
 3. PRUNE AS REQUIRED AT TIME OF PLANTING AND AS NEEDED TO CORRECT DAMAGE.
 4. STAKES AND GUY WIRES: INSPECT REGULARLY TO PREVENT GIRDLING OF TRUNKS OR BRANCHES AND TO PREVENT RUBBING WHICH MIGHT CAUSE BARK WOUNDS. REMOVE AND REPLACE DAMAGED STAKES AND GUYS AS DIRECTED BY THE OWNER.
 5. WEED CONTROL: MAINTAIN TREE AND SHRUB BASINS FREE OF WEEDS AND GRASSES ON A WEEKLY BASIS. FREQUENT SOIL CULTIVATION THAT MIGHT DESTROY SHALLOW ROOTS IS NOT PERMITTED.

18. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
19. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
20. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
22. THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
23. MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
24. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
25. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
26. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
27. THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
28. THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
29. THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED.
30. LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.
31. SOIL PREPARATION INCLUDES AMENDMENT, ADDITIONAL TOPSOIL, TILLING, AND ANY NECESSARY DE-COMPACTON OR EXCAVATION.
32. INSTALL SLOPE PROTECTION, RECLAMATION AND EROSION CONTROL AS NEEDED PROVIDED OVER AND ABOVE SWMP PERMIT FOR RE-VEGETATION AND ESTABLISHMENT OF NATIVE SEED (OR COMPARABLE) WITHIN THE LANDSCAPE PROCESS.
33. AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN IDENTIFIED AT ALL AREAS SHOWING LANDSCAPE VEGETATION. REFER TO IRRIGATION PLANS FOR COORDINATION.
34. SITE LANDSCAPE IMPROVEMENTS, COMMON OPEN SPACE AREAS INSTALLATION AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.

6. INSECTS AND DISEASE CONTROL: CONTROL INSECTS AND DISEASE AS NECESSARY TO PREVENT DAMAGE TO THE HEALTH OR APPEARANCE OF PLANTS. USE ONLY APPROVED MATERIALS AND METHODS. DEAD, DISEASED, AND/OR BEETLE INFESTED TREES MUST BE REMOVED UPON IMMEDIATE RECEIPT OF WRITTEN OR VERBAL NOTICE TO THE PROPERTY OWNER.
 7. DEAD PLANT MATERIAL SHALL BE REMOVED WITHIN (1) MONTH WITH PLANTING MATERIALS THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN.
 8. NATURAL LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REPLENISHED SO THAT THEY AGAIN ACHIEVE FULL COVERAGE TO A MINIMUM DEPTH AS SPECIFIED.
- WEED CONTROL
1. THROUGHOUT THE GROWING SEASON WEED CONTROL OF NATIVE AREAS SHALL BE PERFORMED USING A SPOT TREATMENT METHOD.
 2. HERBICIDE SHALL BE APPLIED BY A LICENSED APPLICATOR OR UNDER THE DIRECT SUPERVISION OF A LICENSED APPLICATOR.

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
3. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
4. THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
5. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
6. REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
7. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
9. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
10. ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AS NOTED IN THE TECHNICAL SPECIFICATIONS.
11. TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.

LAYOUT NOTES

1. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
2. SHOULD SITE CONDITIONS BE DIFFERENT THAN WHAT IS INDICATED ON THE DRAWINGS CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
3. CURVED WALKS AND CURB EDGES ARE INTENDED TO BE CONSTRUCTED WITH SMOOTH FLOWING CURVES. ANYTHING OTHER THAN SMOOTH FLOWING CURVES WILL BE REJECTED.
4. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL INSTALL SLEEVING FOR IRRIGATION IMPROVEMENTS PRIOR TO INSTALLING CONCRETE FLATWORK AND PAVERS. INSTALL 3" PVC SLEEVE UNDER ALL DRIVES.
6. LAY OUT WALKS, SCORE JOINTS AND PAVING PATTERNS AS CLOSELY AS POSSIBLE TO PLANS, DETAILS, AND SPECIFICATIONS. DO NOT DEVIATE FROM PLANS UNLESS SPECIFIC APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.
7. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK. SEE TECHNICAL SPECIFICATIONS.

LANDSCAPE NARRATIVE

THE LANDSCAPE DESIGN FOR THE HOCKETT GULCH NEIGHBORHOOD PHASES 1B AND 2 PROVIDES LANDSCAPE ALONG US HIGHWAY 6 GRAND AVENUE AND ALL INTERNAL ROADS TO COMPLEMENT THE TOWN OF EAGLE'S EXISTING STREETScape. THE LANDSCAPE PLAN INTEGRATES THE PROPOSED SIDEWALKS AND TRAIL SYSTEMS INTO EXISTING TOWN-WIDE TRAIL AND SIDEWALK CONNECTIONS, ENHANCING THE PEDESTRIAN EXPERIENCE THROUGHOUT THE NEIGHBORHOOD. THE DESIGN INTENT IS TO MIMIC THE NATIVE SURROUNDING ECOSYSTEMS, INCORPORATE WATERWISE PLANTINGS, AND PROVIDE GATHERING SPACES THROUGHOUT THE NEIGHBORHOOD. ALL PROPOSED AMENITIES AREAS WILL BE RESPECTFUL OF NATURAL RESOURCES AND BLEND IN WITH THE NATURAL ENVIRONMENT PROVIDING A CONNECTION FROM THE BUILT ENVIRONMENT TO NATURE. A MIX OF ACTIVE AMENITIES SUCH AS A PLAYGROUND, FLEX LAWN SPACES, WALKING LOOPS, AND A DOG RUN ARE COMPLEMENTED BY MORE PASSIVE OFFERINGS SUCH AS PICNIC AREAS, COVERED SEATING OPPORTUNITIES, A SPA, AND OUTDOOR KITCHEN AREAS. ALONG THE SOUTHERN EDGE OF THE SITE STEEP GRADE AS WELL AS SHRUB AND TREE BUFFERING PROVIDE SEPARATION BETWEEN WILDLIFE AND RESIDENTS. ALONG GRAND AVENUE, GENEROUS LANDSCAPE MATERIAL INCLUDING A VARIETY OF PLANT TYPES AND SIZES IS PROVIDED TO SERVE AS AN ENHANCED ENTRY ELEMENT WITH YEAR-ROUND INTEREST FOR THE TOWN OF EAGLE AND COMPLY WITH THE APPROVED PUD THAT ENVISIONED AN ELEVATED TREATMENT TO THIS HIGHLY-VISIBLE EDGE OF THE SITE.

12. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 3 YEARS MAXIMUM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 3 YEARS FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
13. ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
14. ALL LANDSCAPE BEDS SHALL BE MULCHED WITH SPECIFIED MULCH IN MATERIAL SCHEDULE. NO WEED CONTROL FABRIC IS REQUIRED IN GROUND COVER OR PERENNIAL AREAS.
15. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
16. ROUTINE TREE MAINTENANCE AND PRUNING SHALL PREVENT BRANCHES FROM INTERFERING WITH ALL FIRE ACCESS LANE CLEARANCES.
17. WHEN PLANTER URNS/POTS ARE SHOWN ON PLANS, CONTRACTOR SHALL INCLUDE THE FOLLOWING: PLANTER MIX, ANNUAL FLOWER PLANTING PROGRAM AND WINTER HAND-WATERING AS NEEDED. UNLESS OTHERWISE SPECIFIED, CONTRACTOR TO PROVIDE ANNUAL PLANTING SELECTION BASED ON WHAT IS SHOWN ON PLANS, FOR REVIEW BY OWNER. IRRIGATION FOR PLANTERS TO BE ON SEPARATE ZONE(S). CONTRACTOR TO COORDINATE PLACEMENT OF NECESSARY SLEEVING PRIOR TO PLACEMENT OF PAVEMENT.
18. PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
19. THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE TOWN OF EAGLE SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE (SPECIFICATIONS AND DETAILS PROVIDED WITH THE PLANS VERSUS THE TOWN OF EAGLE SPECIFICATIONS AND DETAILS).
20. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
21. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
23. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, LANDSCAPING, OR IRRIGATION THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
24. THE LANDSCAPE CONTRACTOR SHALL FURNISH A ONE YEAR MAINTENANCE AND WARRANTY PERIOD FROM THE DATE OF INITIAL ACCEPTANCE.
25. NO FABRIC IS TO BE LEFT OVER THE TREE ROOTBALLS AND KEEP MULCH 4-6" AWAY FROM TREE TRUNKS.
26. COORDINATE INSTALLATION OF IRRIGATION SLEEVING PRIOR TO CURB AND PAVEMENT INSTALLATION.

FENCING NOTES

1. FUTURE WILDLIFE FENCING OUTLINING DEVELOPER'S OBLIGATIONS TO PARTICIPATE IN THE DESIGN AND COMMITMENT TO CONSTRUCT WILDLIFE FENCING UPON THE TOWN'S APPROVAL OF A FINAL WILDLIFE FENCING PLAN AS OUTLINED IN THE DEVELOPMENT AGREEMENT.
2. GENERAL CONTRACTOR WILL INSTALL PERIMETER CHAIN LINK FENCE IN KEEPING WITH LOCAL REGULATIONS AND OSHA REQUIREMENTS ON ALL AREAS WHERE ACTIVE CONSTRUCTION IS OCCURRING. THE GENERAL CONTRACTOR WILL ENSURE THAT GATES REMAIN CLOSED DURING NON-WORKING HOURS TO ENSURE SAFETY AND MINIMIZE WILDLIFE ENTRY. GENERAL CONTRACTOR SHALL FOLLOW CPW "LIVING WITH WILDLIFE" RECOMMENDATIONS INCLUDING CONDUCTING INSPECTIONS TO ENSURE WILDLIFE IS NOT TRAPPED WITHIN CONSTRUCTION FENCING.

SHEET LIST

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LP-503 - LANDSCAPE DETAILS	
LP-504 - LANDSCAPE DETAILS	

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE
DECIDUOUS TREES						
AC FL	12	ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	B & B	3" CAL.	LOW
PO AN	16	POPULUS ANGUSTIFOLIA	NARROWLEAF COTTONWOOD	B & B	3" CAL.	LOW
PO TR	63	POPULUS TREMULOIDES	QUAKING ASPEN	B & B	3" CAL.	LOW
PO AC3"	20	POPULUS X ACUMINATA	LANCELEAF COTTONWOOD	B & B	3" CAL.	LOW
EVERGREEN TREES						
JU SC	17	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	B & B	6' HT.	LOW
PI BS	7	PICEA PUNGENS 'GLAUCA'	BLUE COLORADO SPRUCE	CONT.	6' HT.	LOW
PI FT	13	PICEA PUNGENS GLAUCA 'FAT ALBERT'	FAT ALBERT COLORADO BLUE SPRUCE	CONT.	6' HT.	LOW
PI ED	7	PINUS EDULIS	PINYON PINE	B & B	6' HT.	LOW
PI MN	20	PINUS MONOPHYLLA	SINGLELEAF PINON PINE	B & B	6' HT.	LOW
PI TA	15	PINUS MUGO 'TANNENBAUM'	TANNENBAUM MUGO PINE	B & B	6' HT.	LOW
PS ME	5	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	B & B	6' HT.	LOW
ORNAMENTAL TREES						
AC GL	22	ACER GLABRUM	ROCKY MOUNTAIN MAPLE	B & B	3" CAL.	LOW
CR AM	7	CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	B & B	3" CAL.	LOW
DECIDUOUS SHRUBS						
AR VA	45	ARTEMISIA TRIDENTATA VASEYANA	MOUNTAIN SAGEBRUSH	CONT.	#5	LOW
CE IN	17	CERCOCARPUS INTRICATUS	LITTLE LEAF MOUNTAIN MAHOGANY	CONT.	#5	LOW
CE LE	27	CERCOCARPUS LEDIFOLIUS	CURL-LEAF MOUNTAIN MAHOGANY	CONT.	#5	LOW
CE MO	25	CERCOCARPUS MONTANUS MONTANUS	MOUNTAIN MAHOGANY	CONT.	#5	LOW
CH NN	70	CHRYSOTHAMNUS NAUSEOSUS	BABY BLUE RABBITBRUSH	CONT.	#5	LOW
CO AL	48	CORNUS ALBA 'ARGENTEOMARGINATA'	VARIEGATED DOGWOOD	CONT.	#5	MOD
CO ST	52	CORNUS STOLONIFERA	RED TWIG DOGWOOD	CONT.	#5	LOW
PO PB	101	POTENTILLA FRUTICOSA 'PINK BEAUTY'	PINK BEAUTY POTENTILLA	CONT.	#5	LOW
RH GL	55	RHUS GLABRA	SMOOTH SUMAC	CONT.	#5	LOW
RO WO	105	ROSA WOODSII	MOUNTAIN ROSE	CONT.	#5	LOW
SA MO	97	SALIX MONTICOLA	MOUNTAIN WILLOW	CONT.	#5	LOW
SO ST	115	SORBARIA SORBIFOLIA STELLIPIILA	URAL FALSE SPIREA	CONT.	#5	LOW
SP FR	26	SPIRAEA X BUMALDA 'FROEBELII'	FROBEL SPIREA	CONT.	#5	MOD
SY VU	95	SYRINGA VULGARIS	COMMON PURPLE LILAC	CONT.	#5	LOW
EVERGREEN SHRUBS						
JU BL	9	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	CONT.	#5	LOW
JU BU	70	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	CONT.	#5	LOW
PI GL	34	PICEA PUNGENS 'GLOBOSA'	DWARF GLOBE GREEN SPRUCE	CONT.	#5	LOW
ORNAMENTAL GRASSES						
FE EB	167	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	CONT.	#1	LOW
HE SE	283	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	CONT.	#1	LOW
MI SI	243	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	CONT.	#1	MOD
SC SC	542	SCHIZACHYRIUM SCOPARIUM 'BLAZE'	BLAZE LITTLE BLUESTEM	CONT.	#1	LOW
PERENNIALS						
AC MI	66	ACHILLEA MILLEFOLIUM	COMMON YARROW	CONT.	#1	LOW
AQ PU	5	AQUILEGIA X 'PURPLE EMPEROR'	PURPLE EMPEROR COLUMBINE	CONT.	#1	LOW
AS OB	12	ASTER OBLONGIFOLIUS	FALL ASTER	CONT.	#1	LOW
CH RH	20	CHRYSANTHEMUM X SUPERBUM	SHASTA DAISY	CONT.	#1	LOW
GA GR	52	GAILLARDIA GRANDIFLORA	NATIVE BLANKET FLOWER	CONT.	#1	LOW
LI BO	31	LINUM GRANDIFLORUM 'RUBRUM'	SCARLET FLAX	CONT.	#1	LOW
LU AL	22	LUPINUS X ALPESTRIS	MOUNTAIN LUPINE	CONT.	#1	LOW
PA OR	31	PAPAVER ORIENTALE	ORIENTAL POPPY	CONT.	#1	LOW
PE ST	10	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	CONT.	#1	LOW
PH BI	13	PHLOX BIFIDA	SNOWMASS PHLOX	CONT.	#1	LOW
SA SU	14	SALVIA X SUPERBA	PERENNIAL SAGE	CONT.	#1	LOW
TH AD	42	THYMUS ADAMOVICII	CREEPING THYME	CONT.	#1	LOW

LOW GROW NATIVE SEED MIX

EL PASO COUNTY ALL-PURPOSE LOW GROW MIX FOR UPLAND AND TRANSITION AREAS.
INSTALLATION METHOD: HYDROSEED

COMMON NAME	BOTANICAL NAME	% OF TOTAL	POUNDS PLS 80 SEEDS / SF
BUFFALOGRASS	BUCHLOE DACTYLOIDES	25%	9.6
BLUE GRAMA	BOUTELOUA GRACILIS	20%	10.8
SIDEOATS GRAMA	BOUTELOUA CURTIPENDULA	29%	5.6
GREEN NEEDLEGRASS	NASSELLA VIRIDULA	5%	3.2
WESTERN WHEATGRASS	PASCOPIRYUM SMITHII	20%	12
SAND DROPSEED	SPOROBOLUS CRYPTANDRUS	1%	0.8
		100%	42 (LBS PLS/ACRE)

TURFGRASS

IRRIGATED SOD - "PIKES PEAK BLUEGRASS"
GREEN BELT TURF FARM
719.598.8686
OR APPROVED EQUAL

LANDSCAPE BED MULCH

SEE MATERIAL SCHEDULE, SHEET LP-005 FOR MULCH SPECIFICATION

SNOW STORAGE

TOTAL PARKING/PAVING AREA:	191,495 SF
SNOW STORAGE REQUIRED:	47,874 SF
SNOW STORAGE PROVIDED:	52,575 SF





Land Use Summary						
Parcel	Use	Acreage	Square Feet	Percent of Total	Ownership	Maintenance
Lot 1	Multi-family Residential	4.25	185,130	14.3%	Owner	Owner
Lot 2	Multi-family Residential	6.93	301,871	23.4%	Owner	Owner
Lot 3	Multi-family Residential & Townhouses	5.96	259,618	20.1%	Owner	Owner
OS-1	Town Public Open Space	3.50	152,460	11.8%	Town of Eagle	Town of Eagle
OS-2	Community Open Space	2.12	92,347	7.2%	Owner	Owner
Tract A	Roadway, Public Access Easement, Drainage, Irrigation & General Utilities, Water Easement, Sewer Easement, Emergency Access Easement	6.20	270,072	20.9%	Owner	Owner
Tract B	Roadway, Public Access Easement, Drainage, Irrigation & General Utilities, Water Easement, Sewer Easement, Emergency Access Easement	0.69	30,056	2.3%	Owner	Owner
Total		29.65	1,291,554	100%		

LANDSCAPE WATER USE

TOTAL PERMANENTLY-IRRIGATED AREA: 139,631 SF (3.21 ACRES)

Supplemental Information (Town Landscape Requirements for Construction Area - Phase 1A and 1B)									
				Minimum Live Plant Coverage Requirement	Minimum Live Plant Coverage SF	Proposed Live Plant Material Coverage (Phase 1A)	Proposed % of Live Plant Material (Phase 1A)		
Live Plant Material	Lot 1 (4.25 AC) + Lot 2 (6.93 AC) + Tract A (6.20 AC)	17.38	757,175	20%	151,435	206,687	27%		
	All of HD / PUD-1 + HD / PUD-2 Planning Area								
				Max Non-Live Plant Coverage Requirement *	Max Non-Live Plant Coverage SF (30% of Total Landscape Area)	Proposed Non-Live Plant Material Coverage (Phase 1A)	Proposed % of Non-Live Plant Material Coverage (Phase 1A)		
Non-Live Plant Material	All of HD / PUD-1 + HD / PUD-2 Planning Area	17.38	757,175	30%	71,990	33,281	16%	* 30% Max of Total Landscaped Area	Total landscape area: 239,968 sf

Section	Acre	SF	PUD Approved Max Floor to Area Ratio (FAR)	Total Allowable SF (FAR)	Phase 1A Total SF (FAR)	Proposed Phase 1B Total SF (FAR)	Total Phase 1A/ 1B SF (FAR)	Proposed Phase 2 Total SF FAR	Resulting FAR	
Phase 1A & 1B: Lot 1 + Lot 2 + Tract A. Or all of HD/PUD-1 + HD/PUD-2	17.38	757,018	0.53	401,220	212,444	181,665	394,109	-	0.52	PASS
Phase 2: Lot 3 + Tract B. Or HUD/PUD-3	6.66	289,928	0.86	249,338	-	-	-	144,170	0.50	PASS
			PUD Approved Max Impervious Coverage	Total Allowable SF	Phase 1A Total SF	Proposed Phase 1B Total SF	Total Phase 1A/ 1B SF	Proposed Phase 2 Total SF	Resulting Impervious Coverage	
Phase 1A & 1B: Lot 1 + Lot 2 + Tract A. Or all of HD/PUD-1 + HD/PUD-2	17.38	757,175	75%	567,881	219,563	177,766	397,329	-	52%	PASS
Phase 2: Lot 3 + Tract B. Or HUD/PUD-3	6.66	289,928	75%	217,446	-	-	-	130,743	45%	PASS
			PUD Approved Max Building Coverage	Total Allowable SF Building Coverage	Phase 1A Total SF	Proposed Phase 1B Total SF	Total Phase 1A/ 1B SF	Proposed Phase 2 Total SF	Resulting Building Coverage	
Phase 1A & 1B: Lot 1 + Lot 2 + Tract A. Or all of HD/PUD-1 + HD/PUD-2	17.38	757,175	55%	416,446	89,189	68,660	157,849	--	38%	PASS
Phase 2: Lot 3 + Tract B. Or HUD/PUD-3	6.66	289,928	55%	159,460	--	--	-	48,354	17%	PASS
			PUD Max Approved Units	Phase 1A Units	Phase 1B/2 Proposed Units	Proposed Total Units	Max Denisty/ Acre	Actual Density/ Acre	Maximum/ Actual Density Entire PUD	
Phase 1A & 1B: Lot 1 + Lot 2 + Tract A. Or all of HD/PUD-1 + HD/PUD-2	17.38	757,175	400	216	183	399	23.0	23.0	16.86/ 16.83	PASS
Phase 2: Lot 3 + Tract B. Or HUD/PUD-3	6.66	289,928	100	-	100	100	15.0	15.0		PASS

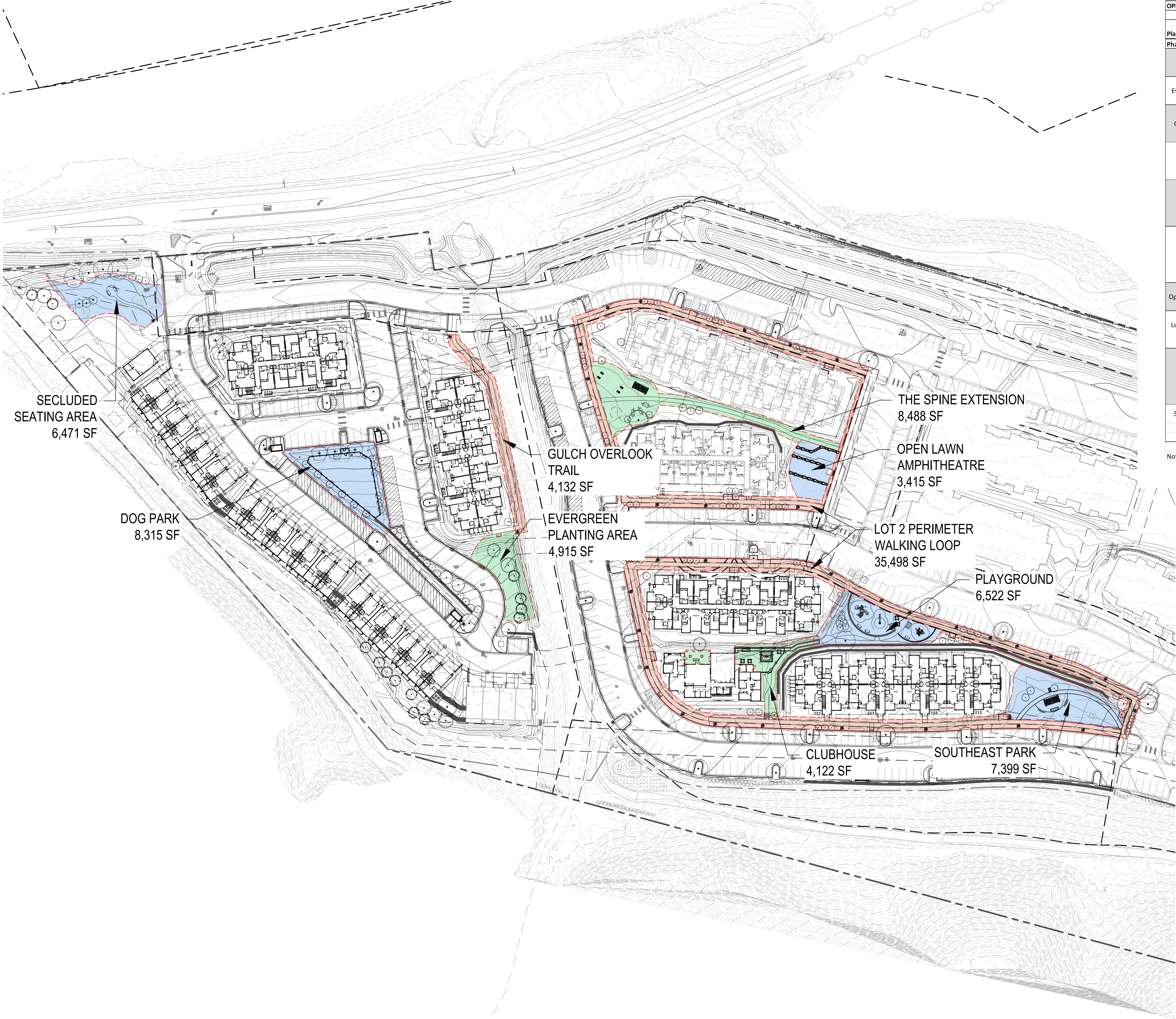
AMENITY SCHEDULE

ITEM	DESCRIPTION	QUANTITY	MANUFACTURER	PRODUCT NAME	COLOR / FINISH	SIZE / DIMENSIONS	NOTES
1	PLANTER POT	10	GREEN THEORY DESIGN (844) 747-9283 (OR APPROVED EQUAL)	PLANTERS PERFECT, ROUND SERIES	COLOR TO MATCH MIDNIGHT AND GEMSTONE POWDER COATS OF SITE PIECES AMENITIES	36"D X 18"H, 36"D X 24"H, 36"D X 32"H, REFER TO PLANS FOR LOCATIONS	INSTALL PER MANUFACTURERS RECOMMENDATIONS, ALL PLANTERS TO HAVE IRRIGATION AND DRAINS
2	BENCH	11	SITE PIECES (800) 484-0797 (OR APPROVED EQUAL)	MONOLINE BENCH, ML-BENCH-72	MIX OF MIDNIGHT AND GEMSTONE POWDER COATS; THERMALLY MODIFIED ASH	72" x 24" x 18"H	SURFACE MOUNT PER DETAIL 5 ON LP-503
3	CAROUSEL TABLE	7	SITE PIECES (800) 484-0797 (OR APPROVED EQUAL)	MONOLINE CAROUSEL TABLE: ML-CT-4SEAT-SQ ML-CT-3SEAT-SQ - ADA	MIX OF MIDNIGHT AND GEMSTONE POWDER COATS; THERMALLY MODIFIED ASH	77" x 77" x 29.3"H 77" x 60" x 29.3"H	FLUSH MOUNT INSTALLATION PER MANUFACTURERS RECOMMENDATIONS. PROVIDE ONE ADA TABLE PER AMENITY AREA
4	BIKE RACK	23	SITE PIECES (800) 484-0797 (OR APPROVED EQUAL)	MONOLINE STANDARD BIKE RACK, ML-STAND-19	MIX OF MIDNIGHT AND GEMSTONE POWDER COATS BUT GROUPED TOGETHER IN SINGULAR COLOR	19" x 3" x 36"H	FLUSH MOUNT INSTALLATION PER MANUFACTURERS RECOMMENDATIONS.
5	TRASH AND RECYCLING RECEPTACLE	NA	SITE PIECES (800) 484-0797 (OR APPROVED EQUAL)	MONOLINE LITTER BIN ML-LGLITTER-DL (DUAL STREAM)	MIDNIGHT POWDER COAT FOR ALL TRASH/RECYCLING CANS	27" x 14" x 42"H (36gal), REFER TO PLANS FOR TYPE AND LOCATION	FLUSH MOUNT INSTALLATION PER MANUFACTURERS RECOMMENDATIONS.
6	PET STATION	2	DOG-ON-IT PARKS (877) 348-3647 (OR APPROVED EQUAL)	COMPLETE DOG WASTE STATION - SINGLE PULL; ITEM #: 7408S	BLACK POWDER COAT	73"H X 18"W X 10"D	INSTALL PER MANUFACTURERS RECOMMENDATIONS.
7	BUILT IN GRILL	2	FIRE MAGIC (877) 474-5578 (OR APPROVED EQUAL)	CHOICE 30" BUILT IN NATURAL GAS GRILL - C540I-RT1	STAINLESS STEEL	APPROXIMATE 30" WIDTH X 18" DEPTH	INSTALL PER MANUFACTURER'S SPECIFICATIONS, 60,000 BTU's EACH, ADD AUTOMATIC SHUT OFF AND TIMER ON EACH AND MOUNT TO INTERIOR OF CABINET BELOW GRILL, CABINET BELOW TO BE VENTED
8	ACCESS DOORS	2	FIRE MAGIC (877) 474-5578 (OR APPROVED EQUAL)	FLUSH MOUNTED DOUBLE ACCESS DOORS - 53934SC	STAINLESS STEEL	APPROXIMATE 30" WIDTH X 15" DEPTH	INSTALL PER MANUFACTURER'S SPECIFICATIONS, CABINET TO BE VENTED
9	FIRE PIT A	1	LUMACAST (760) 834-1567 (OR APPROVED EQUAL)	BOLA 52 WIDE WITH GLASS WIND GUARD, ELECTRONIC IGNITION AND UPGRADED BURNER	TAUPE, INFILL TO BE LUMACAST SMOOTH BASALT FIRE ROCKS	25.75" X 74.38" X 18"	INSTALL PER MANUFACTURER'S SPECIFICATIONS, REQUIRES 180,000 BTU's WITH ELECTRONIC IGNITION, CONTRACTOR TO PROVIDE TIMER AND AUTO SHUT OFFSEE PLANS FOR LOCATION
10	HAMMOCK	9	HATTERAS HAMMOCKS (OR APPROVED EQUAL)	LARGE QUILTED HAMMOCK, MODEL #SQ-NEU2	REGENCY SAND	REFER TO MANUFACTURER FOR DIMENSIONS	INSTALL PER MANUFACTURER'S SPECIFICATIONS. COLOR AND PRODUCT TO BE APPROVED BY OWNERS REPRESENTATIVE
11	MOTION PLAY FEATURE	1	LANDSCAPE STRUCTURES (888)-438-6574 (OR APPROVED EQUAL)	SMART PLAY SYSTEM: MOTION MODEL #197057	COLOR: PALETTE BF	MINIMUM AREA REQUIRED: 22' 6" x 23' 11"	INSTALL PER MANUFACTURER'S SPECIFICATIONS. COLOR AND PRODUCT TO BE APPROVED BY OWNERS REPRESENTATIVE
12	DESIGN 403 PLAY FEATURE	1	LANDSCAPE STRUCTURES (888)-438-6574 (OR APPROVED EQUAL)	SMART PLAY SYSTEM: DESIGN 403 MODEL #176166	COLOR: PALETTE BF	MINIMUM AREA REQUIRED: 28' 1" x 29' 11"	INSTALL PER MANUFACTURER'S SPECIFICATIONS. COLOR AND PRODUCT TO BE APPROVED BY OWNERS REPRESENTATIVE
13	SINGLE POST SWING FRAME	1	LANDSCAPE STRUCTURES (888)-438-6574 (OR APPROVED EQUAL)	FREESTANDING PLAY: SINGLE POST SWING FRAME MODEL #177332	COLOR: PALETTE BF	SEE PLANS FOR PLACEMENT	INSTALL PER MANUFACTURER'S SPECIFICATIONS. COLOR AND PRODUCT TO BE APPROVED BY OWNERS REPRESENTATIVE
14	TETHERBALL	1	GREAT LAKES SPORTS (800)-446-2114 (OR APPROVED EQUAL)	PERMANENT TETHERBALL POLE, ITEM # FT-STTHBPOL	GALVANIZED STELL	SEE PLANS FOR PLACEMENT	INSTALL PER MANUFACTURER'S SPECIFICATIONS. COLOR AND PRODUCT TO BE APPROVED BY OWNER'S REPRESENTATIVE
15	TYRE SWING	1	COLUMBIA CASCADE 1-800-547-1940 (OR APPROVED EQUAL)	CLASSIC CANTILEVER TIMBERFORM TYRESWING 1554-01-TS	NATURAL WOOD TIMBERS WITH GRAPHITE POWDER COATED STEEL SUPPORTS	SEE PLANS FOR AREA AND LOCATION	INSTALL PER MANUFACTURER'S SPECIFICATIONS. COLOR AND PRODUCT TO BE APPROVED BY OWNER'S REPRESENTATIVE
16	TRELLIS	2	BY CONTRACTOR	N/A	CEDAR TIMBER	SEE PLANS FOR AREA AND LOCATION	REFER TO DETAIL 6 ON SHEET LP-501
17	PORCH SWING	2	BY CONTRACTOR	N/A	CEDAR TIMBER	SEE PLANS FOR AREA AND LOCATION	REFER TO DETAIL 7 ON SHEET LP-501
18	SEASONAL CLOSURE / WILDLIFE ADVISORY SIGNAGE	TBD	BY CONTRACTOR	N/A	ALL-WEATHER	SEE PLANS FOR LOCATIONS	SIGNS SHALL BE CONSTRUCTED OF ALL-WEATHER MATERIALS AND POSTED IN HIGHLY VISIBLE LOCATIONS. LOCATIONS, DETAILS, AND INFORMATIONAL LANGUAGE OF SIGNS TO BE COORDINATED WITH AND APPROVED BY TOWN STAFF
19	AT-GRADE MECHANICAL EQUIPMENT SCREENING	SEE PLANS	BY CONTRACTOR	N/A	NATURAL WOOD	SEE PLANS FOR LOCATIONS	6'-12' LONG BY 4'-6' TALL (NECESSARY WIDTH AND HEIGHT TO SCREEN HVAC EQUIPMENT) 3" SQ TUBE POSTS W/ 6"x $\frac{5}{8}$ " SQ BASE PLATES W/ (QTY 4) $\frac{1}{2}$ " HOLES FOR $\frac{3}{8}$ " WEDGE ANCHORS 2"x2"x $\frac{5}{8}$ " ANGLE IRON FRAME INFILL W/ (QTY 12) 6"x $\frac{5}{8}$ " KILN-DRIED CEDAR BOARDS (LEAVES ROUGHLY 1 $\frac{1}{2}$ " GAPS BETWEEN BOARDS) SECURE BOARDS W/ 1"x2"x14 GA FRAME POWDERCOAT ALL STEEL FABRICATED COMPONENTS TO MATCH ULTRALOX SELECTED RAIL COLOR BOARDS TO BE PAINTED TO MATCH COLOR OF ADJACENT BUILDING FACADE SCREENING WILL BE SAME SPECIFICATION AS HVAC SCREENING LOCATED AT THE NW SECTION OF PHASE 1 CLUBHOUSE EXCEPT WOOD WILL BE PAINTED

MATERIAL SCHEDULE (CONTRACTOR TO SUBMIT SAMPLES FOR ALL ITEMS IN MATERIAL SCHEDULE FOR OWNER / ARCHITECT REVIEW AND APPROVAL.)

ITEM	DESCRIPTION	MANUFACTURER	PRODUCT NAME	SIZE / DIMENSIONS	COLOR / FINISH	NOTES
A	STANDARD CONCRETE	N/A	STANDARD GRAY CONCRETE	REFER TO PLANS	STANDARD GRAY, LIGHT BROOM FINISH	REFER TO CIVIL AND GEOTECHNICAL SPECIFICATIONS FOR CONCRETE DEPTH AND REQUIREMENTS. REFER TO PLANS FOR LOCATION AND AREA
B	ENHANCED CONCRETE A	N/A	SANDSCAPE/ETCHED FINISH	REFER TO PLANS	STANDARD GRAY CONCRETE WITH SANDSCAPE/ETCHED FINISH	REFER TO CIVIL AND GEOTECHNICAL SPECIFICATIONS FOR CONCRETE DEPTH AND REQUIREMENTS. REFER TO PLANS FOR LOCATION AND AREA
C	SPA PLASTER/INSERT	NATIONAL POOL TILE (303) 629-7665 (OR APPROVED EQUAL)	JEWELSCAPES POOL PLASTER FINISH	PER POOL CONTRACTOR	ICE CAP JEWELSCAPES	INSTALL PER MANUFACTURER'S SPECIFICATIONS, ALL POOL FEATURES WILL REQUIRE SHOP DRAWINGS FROM POOL CONTRACTOR
D	WATERLINE TILE	NATIONAL POOL TILE (303) 629-7665 (OR APPROVED EQUAL)	PACIFIC COAST TILE	1" x 2" TILE, SEE PLANS AND DETAILS FOR AREAS	PACIFIC COAST - PALISADES, SILVER GROUT GRT-SILVER	INSTALL PER MANUFACTURER'S SPECIFICATIONS, ALL POOL FEATURES WILL REQUIRE SHOP DRAWINGS FROM POOL CONTRACTOR
E	SPA COPING	NATIONAL POOL TILE (303) 629-7665 (OR APPROVED EQUAL)	BULLNOSE POOL COPING	2 1/4" x 24" x 12"	TTW	INSTALL PER MANUFACTURER'S SPECIFICATIONS, ALL POOL FEATURES WILL REQUIRE SHOP DRAWINGS FROM POOL CONTRACTOR, POOL COPING TO ALSO BE USED AS PLANTER WALL ADJACENT TO POOL
F	METAL FENCE AND GATE	AMERISTAR FENCE (888) 333-3422 (OR APPROVED EQUAL)	MONTAGE PLUS STEEL FENCE AND GATE	REFER TO PLANS FOR LENGTH, 5' HEIGHT	MAJESTIC STYLE, BRONZE	INSTALL PER MANUFACTURER SPECIFICATIONS, REFER TO PLANS FOR LENGTHS AND HEIGHT LOCATIONS, ALSO SEE DETAILS 6-7, SHEET LP-503, CONTACT OWNERSHIP REPRESENTATIVE FOR ACCESS CONTROL MECHANISM DESIRED FOR GATES AT POOL DECK
G	STONE VENEER	(TO MATCH ARCHITECTURE - OR APPROVED EQUAL)	LEDGE STONE VENEER TO MATCH ARCHITECTURE	REFER TO PLANS AND DETAILS FOR AREA	TO MATCH ARCHITECTURE	INSTALL PER MANUFACTURERS RECOMMENDATION, MORTAR, SIZING, COLOR AND FINISH TO MATCH ARCHITECTURE
H	STONE CAP	ELDORADO STONE (800) 925-1491 (OR APPROVED EQUAL)	CHISELED EDGE WALL CAP	REFER TO PLANS AND DETAILS FOR LENGTHS	BUCKSKIN	INSTALL PER MANUFACTURERS RECOMMENDATION, MORTAR, SIZING, COLOR AND FINISH TO MATCH ARCHITECTURE
I	GRILL STATION COUNTER	GRANITE IMPORTS (303) 733-1444 (OR APPROVED EQUAL)	GRANITE COUNTER TOP	3 CM GRANITE COUNTER TOP, REFER TO PLANS AND DETAILS FOR OUTSIDE DIMENSIONS	DESERT BEACH OR SIMILAR	INSTALL PER MANUFACTURERS RECOMMENDATION
J	LANDSCAPE BED MULCH	WAUPACA NORTHWOODS OR APPROVED EQUAL	NORTHWOODS ORGANICS WNW03255	NA	NATURAL SHREDDED BARK	MINIMUM 3" DEPTH, INSTALL ABOVE WEED CONTROL FABRIC
K	PLANTER MIX	PIONEER SAND (970) 323-6310 (OR APPROVED EQUAL)	PREMIUM GARDENERS MIX	FOR STAND ALONE PLANTING POTS	NA	TO BE INSTALLED IN ALL PLANTING POTS
L	COBBLE	PIONEER SAND (970) 323-6310 (OR APPROVED EQUAL)	GREY ROSE COBBLESTONE	75% 2"-4" COBBLE, 25% 5"-12" COBBLE, MINIMUM 4" DEPTH, SEE PLANS FOR AREA	NATURAL	TO BE INSTALLED AROUND BUILDINGS FOR COBBLE DRIP LINE AS WELL AS OTHER LOCATIONS, REFER TO PLANS FOR LOCATION, ALSO SEE DETAIL 5 ON SHEET LP-501
M	CRUSHER FINES	PIONEER SAND (970) 323-6310 (OR APPROVED EQUAL)	PREMIUM TRAIL MIX	¾" MINUS, 4" DEPTH	BUFF/NATURAL	INSTALL PER MANUFACTURER'S SPECIFICATIONS
N	BOULDERS	SILOAM STONE INC. (719) 275-4275 (OR APPROVED EQUAL)	SILOAM STONE, MIX OF 1'-4' DIAMETER	CINNAMON SHADOW QUARRY BOULDERS	NATURAL	REFER TO DETAIL 1 ON SHEET LP-505
O	BENDA BOARD EDGER	EPIC PLASTICS (209) 333-6161 (OR APPROVED EQUAL)	SEE PLANS	BENDA BOARD EDGER	TEAK	INSTALL PER MANUFACTURER'S SPECIFICATIONS
P	DOG RUN MIX	PIONEER SAND (OR APPROVED EQUAL)	SAND / PEA GRAVEL MIX	¾" WASHED RIVER ROCK AND BROWN MASON SAND, 6" DEPTH	PEA GRAVEL - COLORADO AND BROWN MASON SAND	70% SAND / 30% PEA GRAVEL MIX. ALL RIVER ROCK SHALL BE WASHED AND FREE OF DEBRIS. MIX SHALL BE INSTALLED ON TOP OF WEED CONTROL FABRIC. INSTALL 6" DEPTH MINIMUM.
S	RETAINING WALL	N/A	N/A	REFER TO PLANS FOR LENGTHS AND LOCATION	N/A	REFER TO CIVIL PLANS
T	PEDESTRIAN POLE LIGHT	BEGA-US (805) 684-0533 (OR APPROVED EQUAL)	84 126 LIGHT BUILDING ELEMENT	REFER TO PLANS FOR LOCATIONS	BLACK	INSTALL PER MANUFACTURER'S SPECIFICATIONS
U	BOLLARD LIGHT	BEGA-US (805) 684-0533 (OR APPROVED EQUAL)	84 218 GARDEN AND PATHWAY BOLLARD	REFER TO PLANS FOR LOCATIONS	BLACK	INSTALL PER MANUFACTURER'S SPECIFICATIONS
V	WALL SCONCE LIGHT	BEGA-US (805) 684-0533 (OR APPROVED EQUAL)	22 365 LED WALL LUMINAIRE	REFER TO PLANS FOR LOCATIONS	BLACK	INSTALL PER MANUFACTURER'S SPECIFICATIONS
W	PLAY SOFT SURFACE	PIONEER SAND (970) 323-6310 (OR APPROVED EQUAL)	PLAYGROUND CHIPS - ENGINEERED WOOD FIBER	SEE PLAND FOR AREA, 12" DEPTH MINIMUM	NATURAL	MINIMUM 12" DEPTH OVER WEED CONTROL FABRIC IN PLAY AND EXERCISE AREAS
X	RIVER ROCK MULCH	PIONEER SAND (970) 323-6310 (OR APPROVED EQUAL)	RIVER ROCK MULCH	AREA VARIES, ROCK SIZE TO BE 1-1/2" SEE PLANS; MINIMUM 3" DEPTH	NATURAL	TO BE INSTALLED IN ALL LANDSCAPE BEDS, USE SHREDDED WOOD MULCH UNDER PERENNIALS AND IN PLANTING POTS





OPEN SPACE PROGRAMMING TABLE					
Planning Area	Useable Open Space Recreation Amenities	Useability		Target Users	
		Active	Passive	Children	Adults
Phase 1B and 2					
	Dog Park				
	Dog Run	x		x	x
	Landscape Improvements		x	x	x
Evergreen Planting Area					
	Evergreen Tree Plantings		x		
	Low-water Native Seed		x		
Gulch Connector Trail					
	Soft Surface Trail	x		x	x
	Landscape Improvements		x	x	x
Clubhouse					
	Outdoor Fireplace		x	x	x
	Outdoor Kitchen	x			x
	Outdoor Spa		x	x	x
	Variety of Dining and Lounge Seating		x	x	x
Playground					
	2-5 yr Play Structure	x		x	
	5-12 yr Play Structure	x		x	
	Bench and Picnic-Style Seating		x	x	x
	Landscape Improvements		x	x	x
Southeast Park					
	Trellis Shade Structure		x	x	x
	Outdoor Kitchen w/ Grills	x		x	x
	Picnic-Style Seating		x	x	x
	Bench Swings		x	x	x
	Multiuse Field	x	x	x	x
Open Lawn Amphitheatre					
	Amphitheater Style Seat Boulders		x	x	x
	Multiuse Field	x	x	x	x
Lot 2 Perimeter Walking Loop					
	Concrete Walking Loop	x		x	x
	Landscape Improvements		x	x	x
The Spine Extension					
	Walks	x		x	x
	Landscape Improvements		x	x	x
	Trellis Shade Structure		x	x	x
	Open Lawn Area	x	x	x	x
	Picnic-Style Seating		x	x	x
Secluded Seating Area					
	Soft Surface Trail	x		x	x
	Bench seating		x	x	x
	Landscape Improvements		x	x	x

Note - At least 75% of the useable open space area must be less than 10% slope.

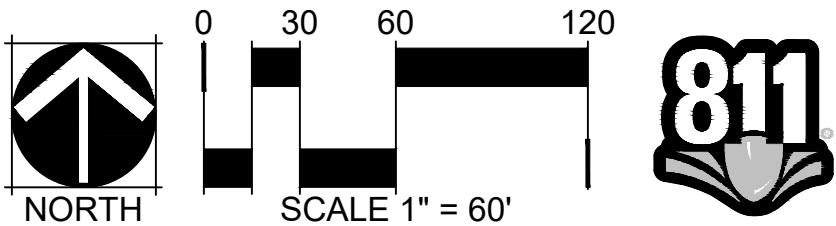
USABLE OPEN SPACE TABLE - PUD AREAS			
AREA DESCRIPTION	TOTAL OPEN SPACE (SF)	USABLE AREA (SF) <10% SLOPE	PERCENT USABLE OPEN SPACE
Phase 1A	86,596	80,522	93%
Phase 1B	65,443	65,443	100%
Phase 2 (Lot 3)	23,834	21,549	90%
Totals:	175,873	167,514	95%

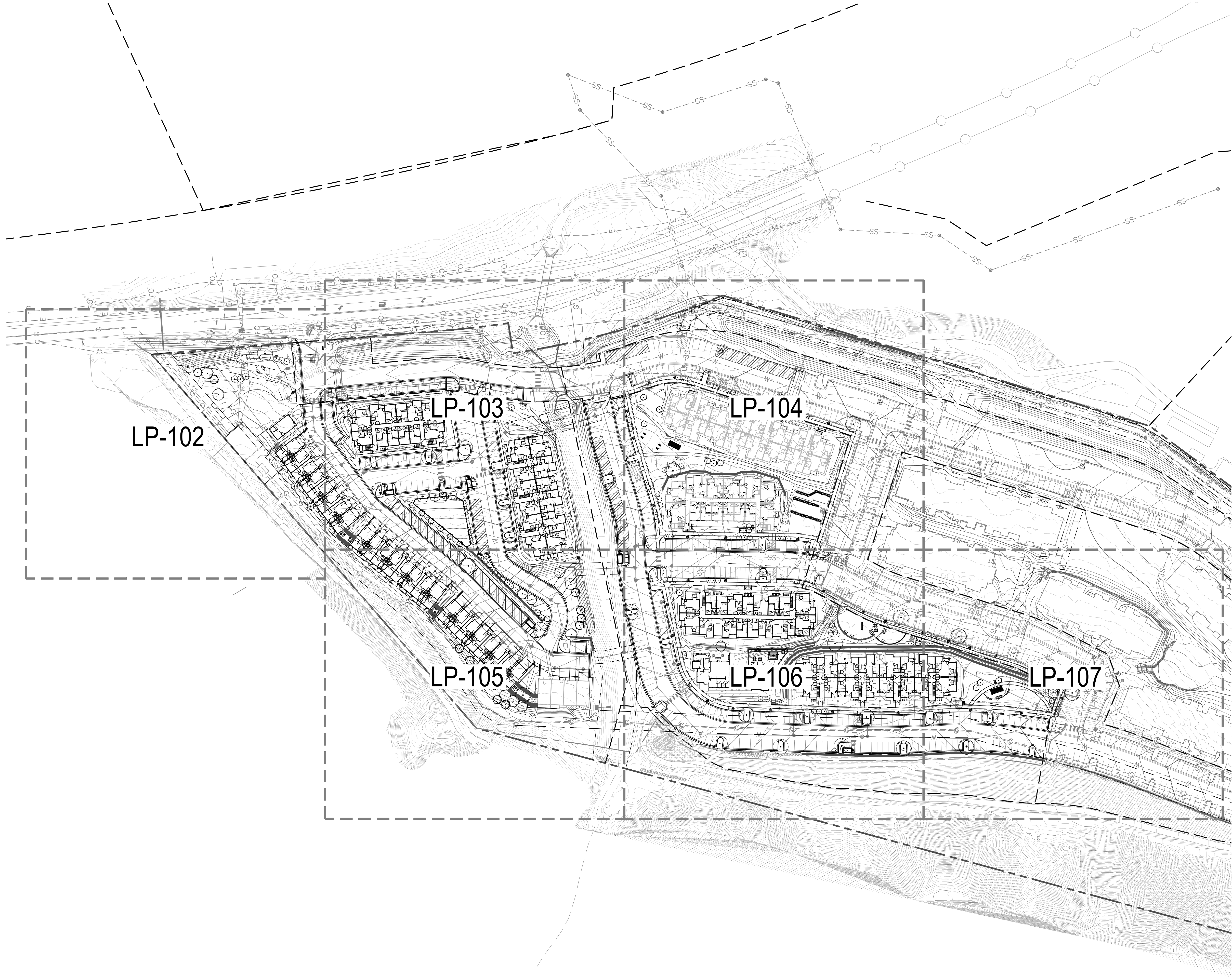
USABLE OPEN SPACE TABLE - PHASE 1B AND 2			
AREA DESCRIPTION	TOTAL OPEN SPACE (SF)	USABLE AREA (SF) <10% SLOPE	PERCENT USABLE OPEN SPACE
Secluded Seating Area	6,471	6,471	100%
Dog Park	8,315	8,315	100%
Evergreen Planting Area	4,915	2,629	53%
Gulch Overlook Trail	4,132	4,132	100%
Clubhouse	4,122	4,122	100%
Playground	6,522	6,522	100%
Southeast Park	7,399	7,399	100%
Open Lawn Amphitheatre	3,415	3,415	100%
Lot 2 Perimeter Walking Loop	35,498	35,498	100%
The Spine Extension	8,488	8,488	100%
Totals:	89,277	86,991	97%

USABLE OPEN SPACE TABLE - OVERALL			
AREA DESCRIPTION	TOTAL OPEN SPACE (SF)	USABLE AREA (SF) <10% SLOPE	PERCENT USABLE OPEN SPACE
Phase 1A	86,596	80,522	93%
OS-1 (Park and Dog Park)	8,448	7,521	89%
Sub Area-Park	3,172	2,245	71%
Sub Area-Dog Park	5,276	5,276	100%
OS-1 (Trail)	12,898	12,898	100%
OS-2	94,792	94,792	100%
Phase 1B and 2	89,277	86,992	97%
Totals:	300,459	290,246	93%

AGGREGATE PUD AREA (SF)	USABLE OPEN SPACE REQUIRED (15%)	PROVIDED
1,291,553	193,733	300,459

NOTES:
1) SECTION 4.20.020. - DEFINITIONS OF TOWN CODE DEFINES USEABLE OPEN SPACE AS FOLLOWS. *USEABLE OPEN SPACE* MEANS THE OPEN AREA OF A LOT DESIGNED AND DEVELOPED FOR USES, INCLUDING WITHOUT LIMITATION RECREATION, COURTS, GARDENS, AND PARKS, WHICH OPEN SPACE MAY INCLUDE A MAXIMUM OF 20 PERCENT OF NON-LIVING MATERIALS SUCH AS WALKS, DECKS, TERRACES, WATER FEATURES AND DECORATIVE ROCK.
LOT 2 PERIMETER WALKING LOOP INCLUDES WALKWAYS, BOTH SIDEWALKS AND TRAILS, AND A 5' BUFFER ON EITHER SIDE INCLUDING LANDSCAPE IMPROVEMENTS.
2)





LEGEND

--- MATCHLINE
--- PROPERTY LINE
--- LIMIT OF WORK

HOCKET GULCH PH2
SYLVAN LAKE RD AND SOUTH OF GRAND AVE.
EAGLE, CO

OWNER:
EPOCH - GCH
HOCKETT GULCH HOLDINGS, LLC

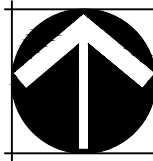
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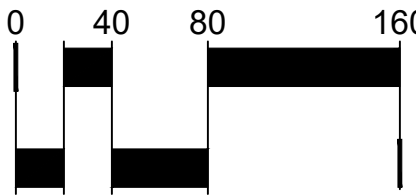
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07/17/24 SUBMITTAL 2
11/06/24 SUBMITTAL 3
01/14/25 SUBMITTAL 4
02/07/25 REVISION


SHEET TITLE:
OVERALL
LANDSCAPE PLAN

LP-101

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NORTH


SCALE 1" = 80'



HOCKET GULCH PH2

SYLVAN LAKE RD AND SOUTH OF GRAND AVE.
EAGLE, CO

OWNER:
EPOCH - GCH
HOCKETT GULCH HOLDINGS, LLC

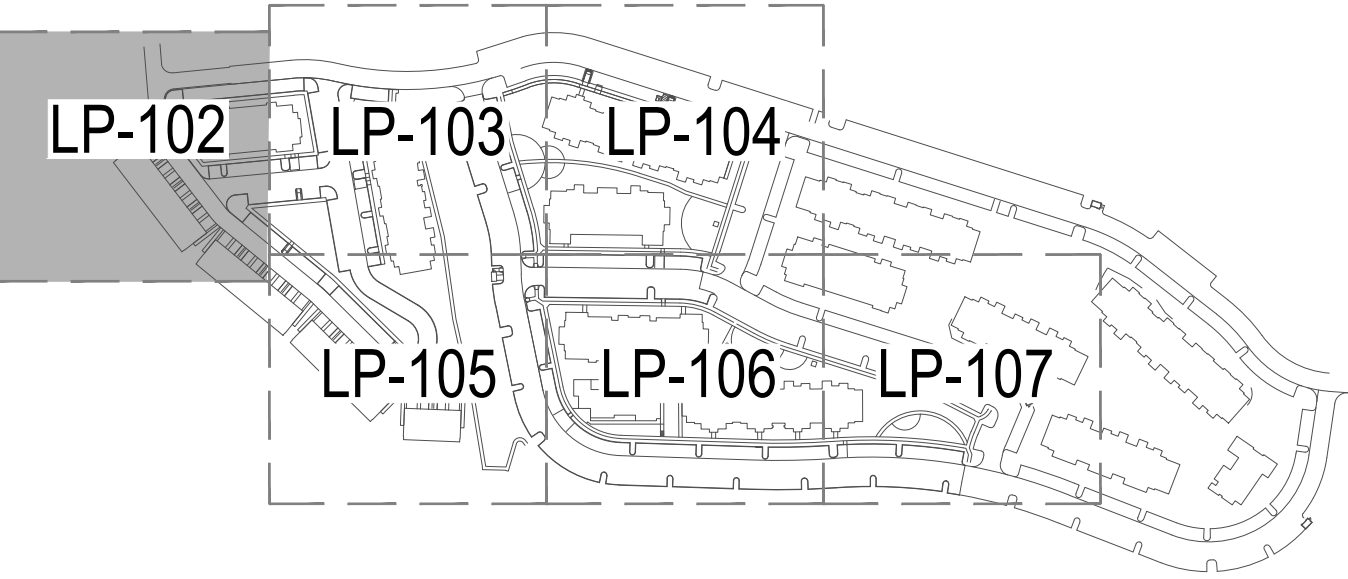
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03/21/23 SUBMITTAL 1
07/17/24 SUBMITTAL 2
11/06/24 SUBMITTAL 3
01/14/25 SUBMITTAL 4
02/07/25 REVISION

SHEET TITLE:
LANDSCAPE
PLAN

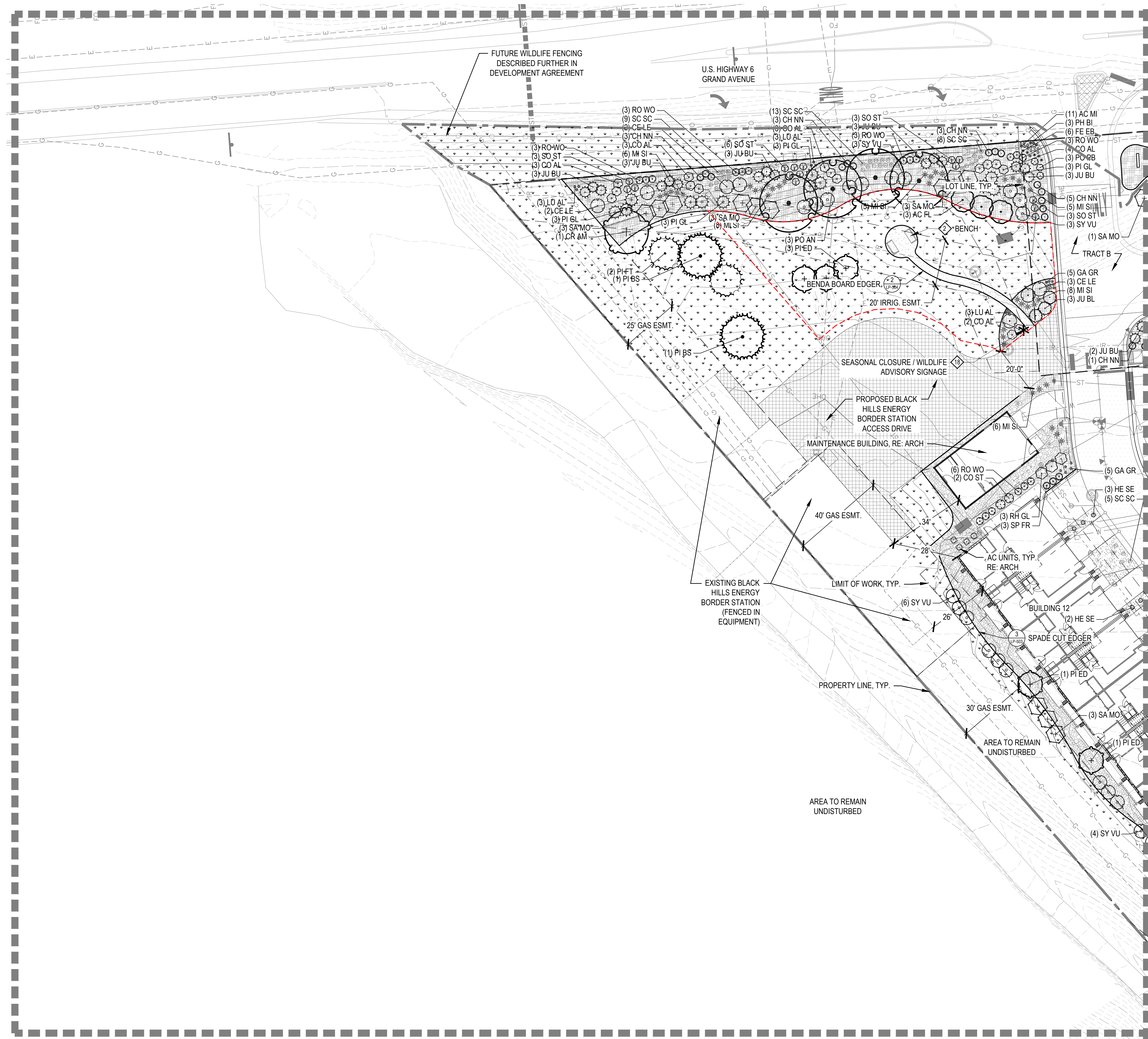
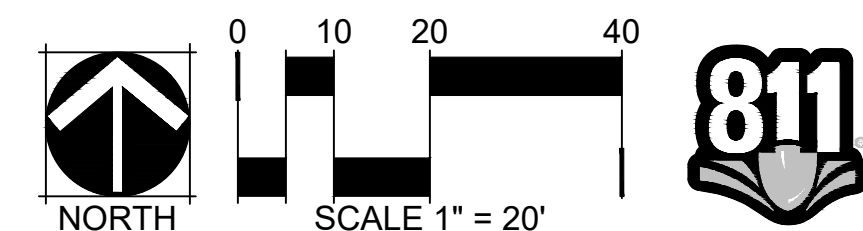
LP-102

KEY MAP



LEGEND

- EVERGREEN TREES
- DECIDUOUS TREES
- EXISTING TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASS
- CRUSHER FINES, RE: MATERIAL SCHEDULE ITEM N
- NATIVE SEED, RE: SHEET LP-002
- COBBLE, RE: MATERIAL SCHEDULE ITEM L
- DECORATIVE ROCK MULCH
- TURFGRASS IRRIGATED SOD, SEE SHEET LP-002
- LANDSCAPE BED MULCH, RE: MAT. SCHEDULE ITEM J
- DOG RUN MIX, RE: MATERIAL SCHEDULE ITEM P
- PLAYGROUND SOFT SURFACE, RE: MAT. SCHED. ITEM W
- GRAVEL ACCESS DRIVE, RE: CIVIL
- ASPHALT, RE: CIVIL
- CONCRETE, RE: CIVIL
- SPADE CUT EDGER
- METAL EDGER
- FENCE
- LIMIT OF WORK
- PROPERTY BOUNDARY
- LOT LINE
- TRASH ENCLOSURE, RE: ARCH
- BOULDER WALL SEATING, RE: MAT. SCHEDULE ITEM N
- SITE LIGHTING, RE: PHOTOMETRIC PLANS
- TRAIL SEASONAL CLOSURE / WILDLIFE ADVISORY SIGNAGE
- USABLE OPEN SPACE AREA BOUNDARY
- AT-GRADE MECHANICAL EQUIPMENT SCREENING, RE: AMENITY SCHEDULE ITEM 19



MATCHLINE, SEE SHEET LP-105

MATCHLINE, SEE SHEET LP-103

CHECKED BY:
DRAWN BY:

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HOCKET GULCH PH2

SYLVAN LAKE RD AND SOUTH OF GRAND AVE.
EAGLE CO

OWNER:
EPOCH - GCH
HOCKETT GULCH HOLDINGS, LLC

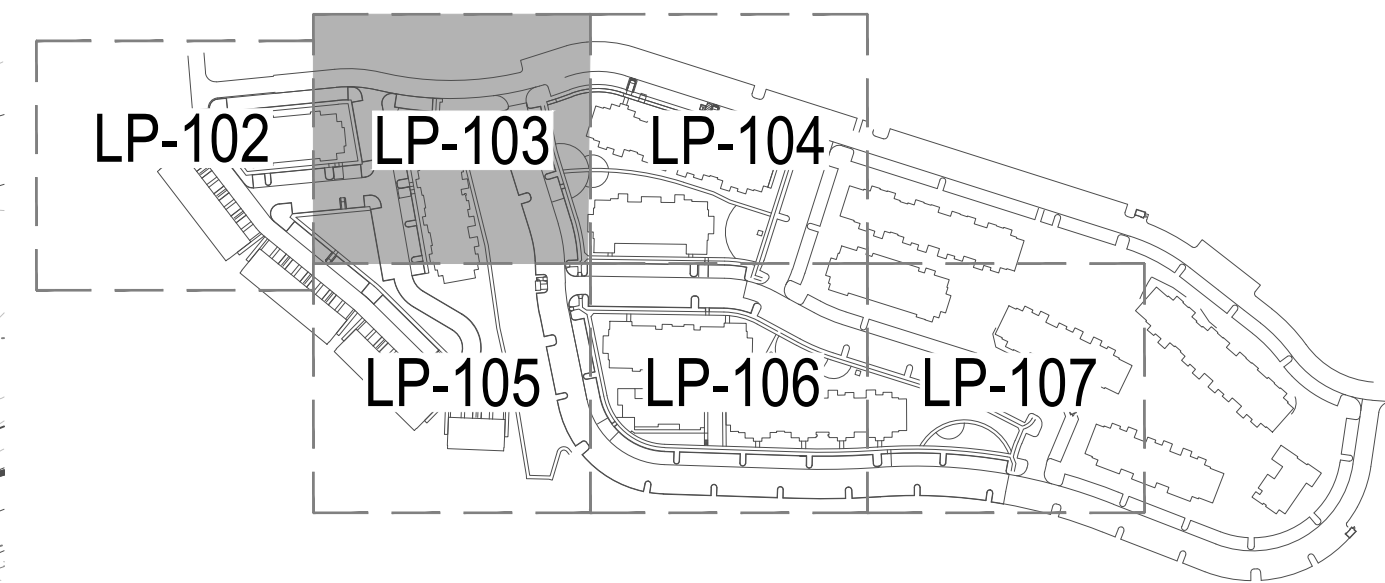
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07/17/24 SUBMITTAL 2
11/06/24 SUBMITTAL 3
01/14/25 SUBMITTAL 4
02/07/25 REVISION

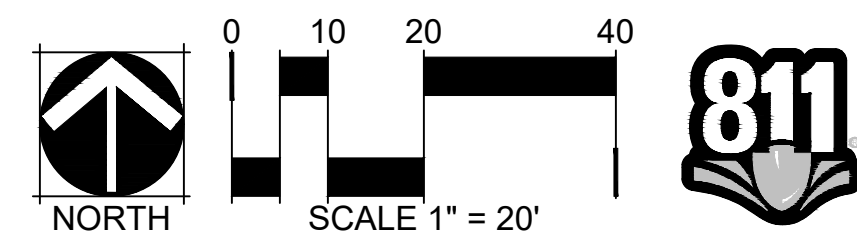
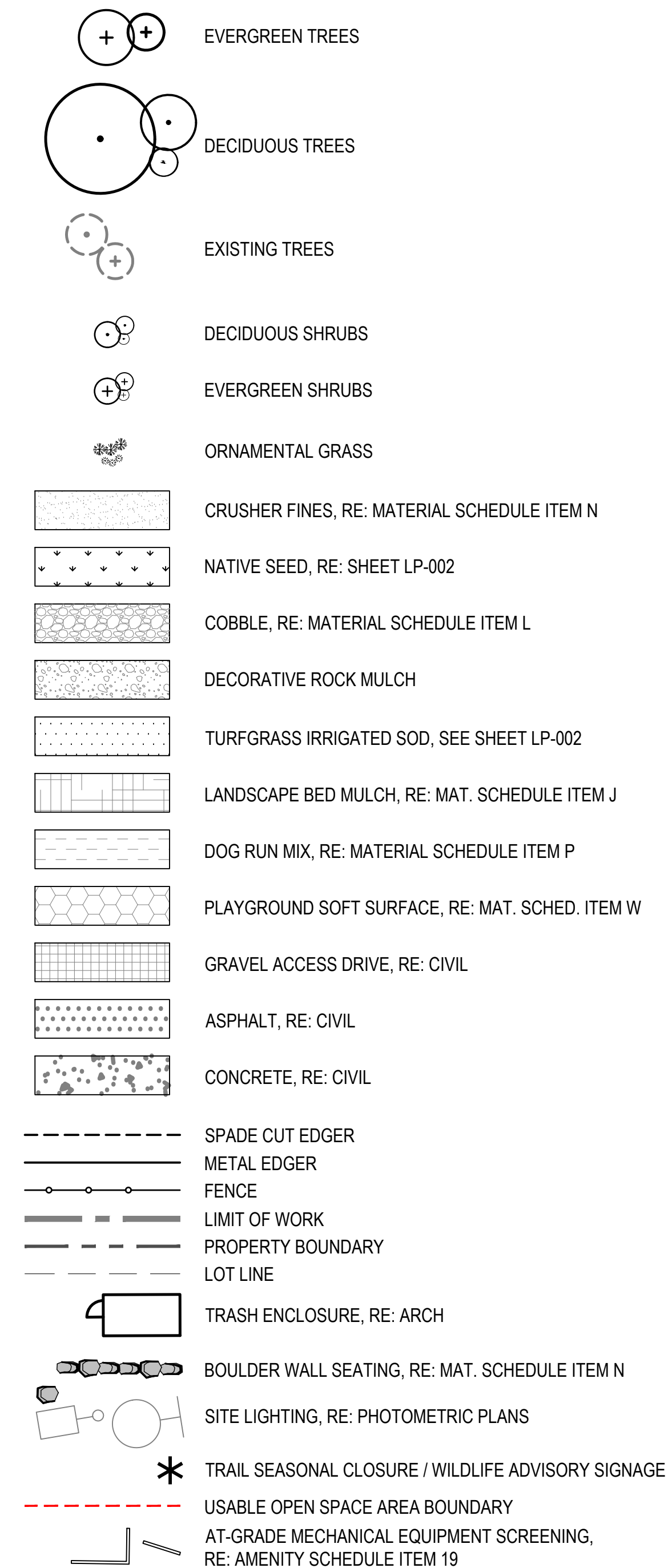
SHEET TITLE:
LANDSCAPE
PLAN

LP-103

KEY MAP



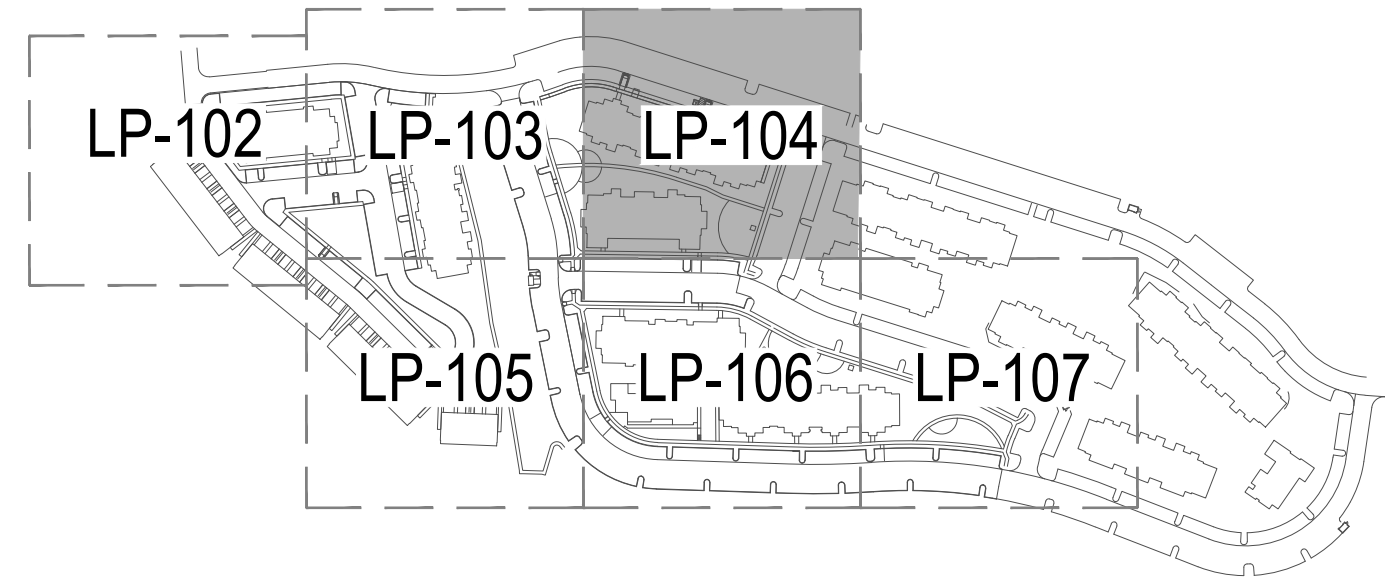
LEGEND



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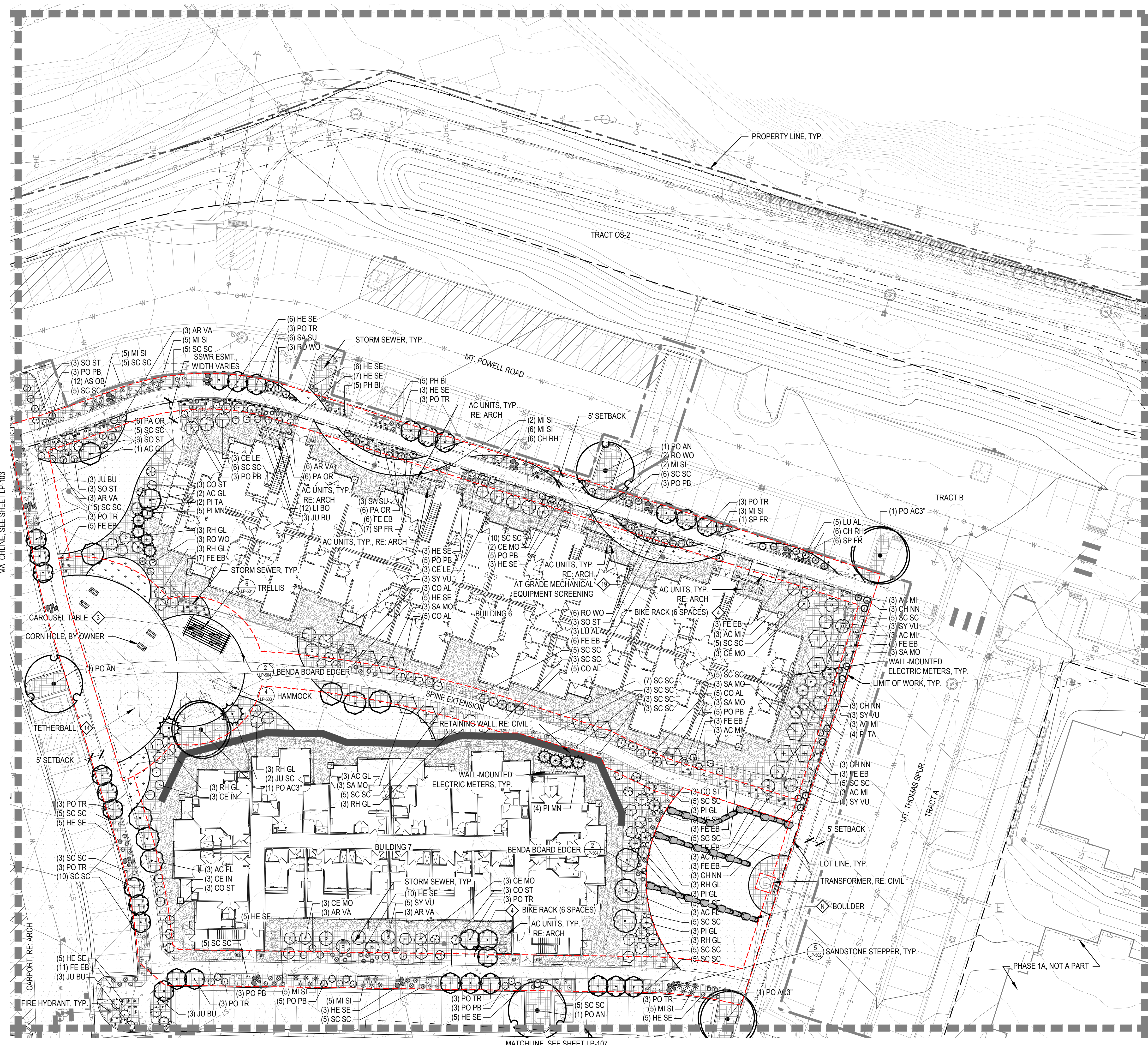
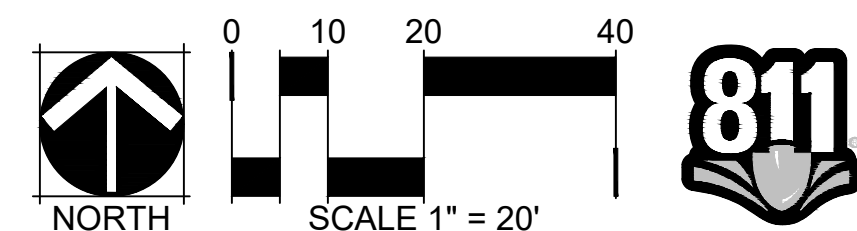
MATCHLINE. SEE SHEET LP-105

KEY MAP



LEGEND

- EVERGREEN TREES
- DECIDUOUS TREES
- EXISTING TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASS
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- NATIVE SEED, RE: SHEET LP-002
- COBBLE, RE: MATERIAL SCHEDULE ITEM L
- DECORATIVE ROCK MULCH
- TURFGRASS IRRIGATED SOD, SEE SHEET LP-002
- LANDSCAPE BED MULCH, RE: MAT. SCHEDULE ITEM J
- DOG RUN MIX, RE: MATERIAL SCHEDULE ITEM P
- PLAYGROUND SOFT SURFACE, RE: MAT. SCHED. ITEM W
- GRAVEL ACCESS DRIVE, RE: CIVIL
- ASPHALT, RE: CIVIL
- CONCRETE, RE: CIVIL
- SPADE CUT EDGER
- METAL EDGER
- FENCE
- LIMIT OF WORK
- PROPERTY BOUNDARY
- LOT LINE
- TRASH ENCLOSURE, RE: ARCH
- BOULDER WALL SEATING, RE: MAT. SCHEDULE ITEM N
- SITE LIGHTING, RE: PHOTOMETRIC PLANS
- TRAIL SEASONAL CLOSURE / WILDLIFE ADVISORY SIGNAGE
- USABLE OPEN SPACE AREA BOUNDARY
- AT-GRADE MECHANICAL EQUIPMENT SCREENING, RE: AMENITY SCHEDULE ITEM 19



HOCKET GULCH PH2
SYLVAN LAKE RD AND SOUTH OF GRAND AVE.
EAGLE, CO

OWNER:
EPOCH - GCH
HOCKETT GULCH HOLDINGS, LLC

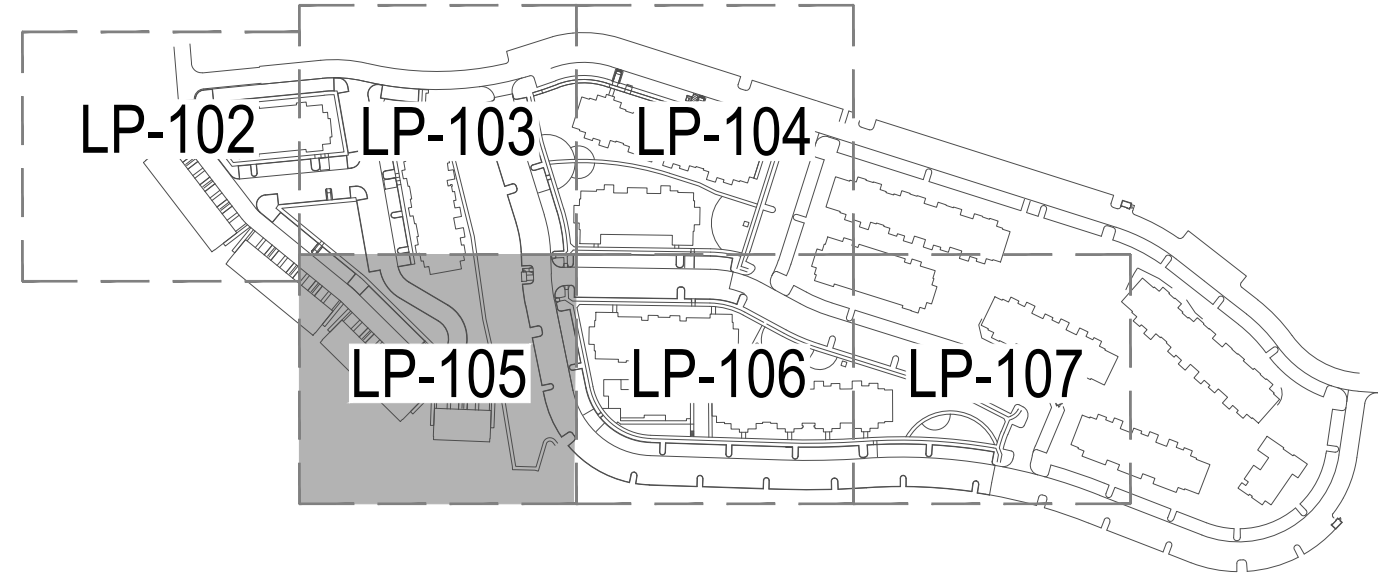
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07/17/24 SUBMITTAL 2
11/06/24 SUBMITTAL 3
01/14/25 SUBMITTAL 4
02/07/25 REVISION

SHEET TITLE:
LANDSCAPE
PLAN

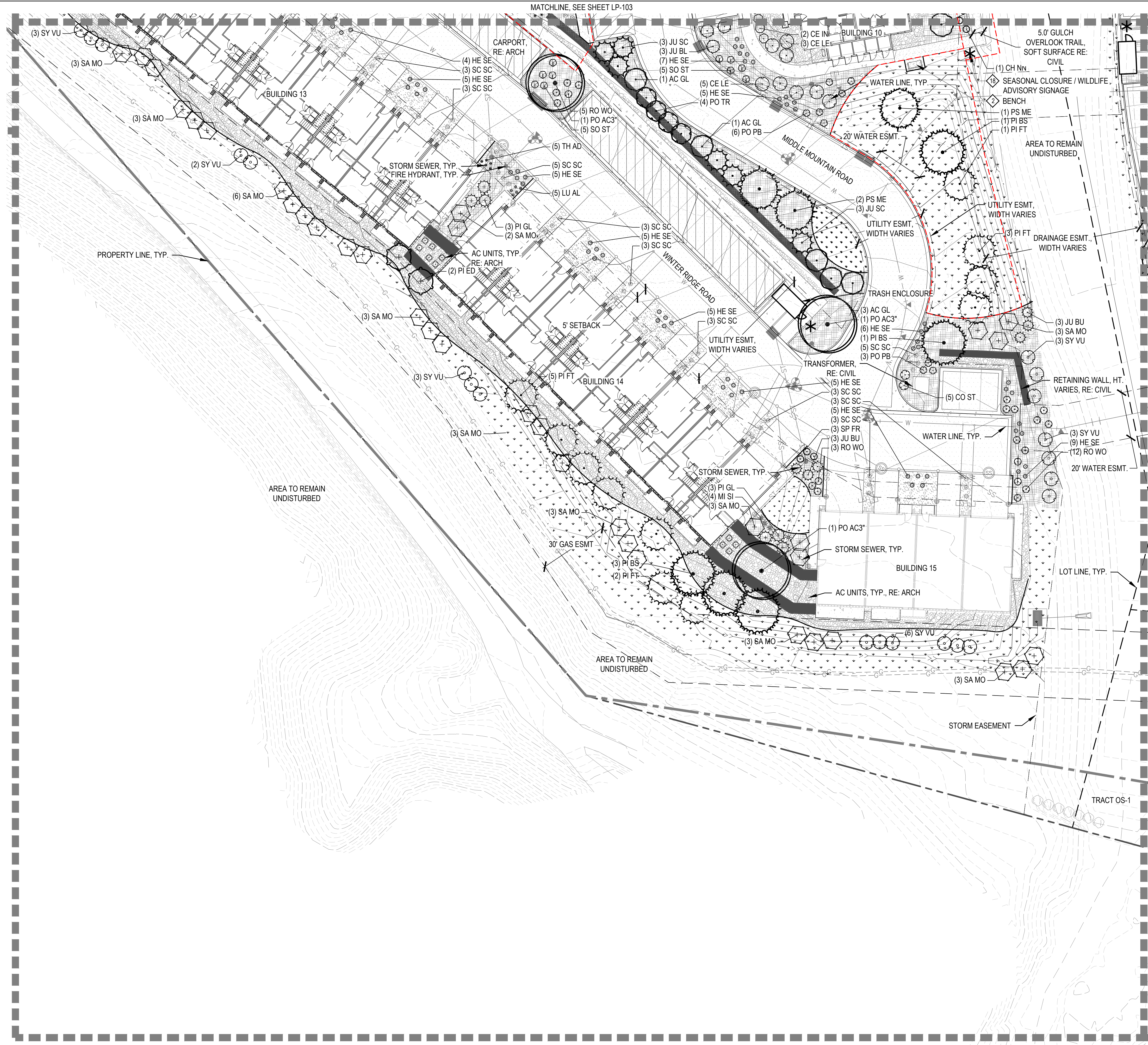
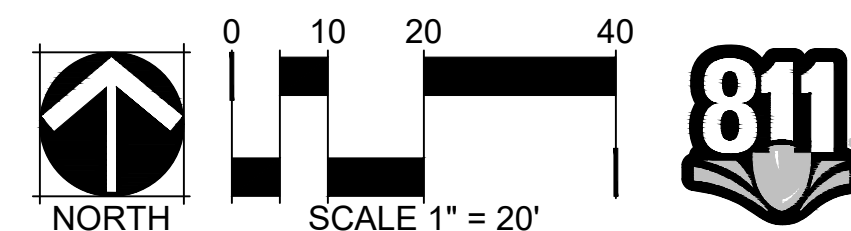
LP-105

KEY MAP



LEGEND

- EVERGREEN TREES
- DECIDUOUS TREES
- EXISTING TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
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HOCKET GULCH PH2

SYLVAN LAKE RD AND SOUTH OF GRAND AVE.
EAGLE, CO

OWNER:
EPOCH - GCH
HOCKETT GULCH HOLDINGS, LLC

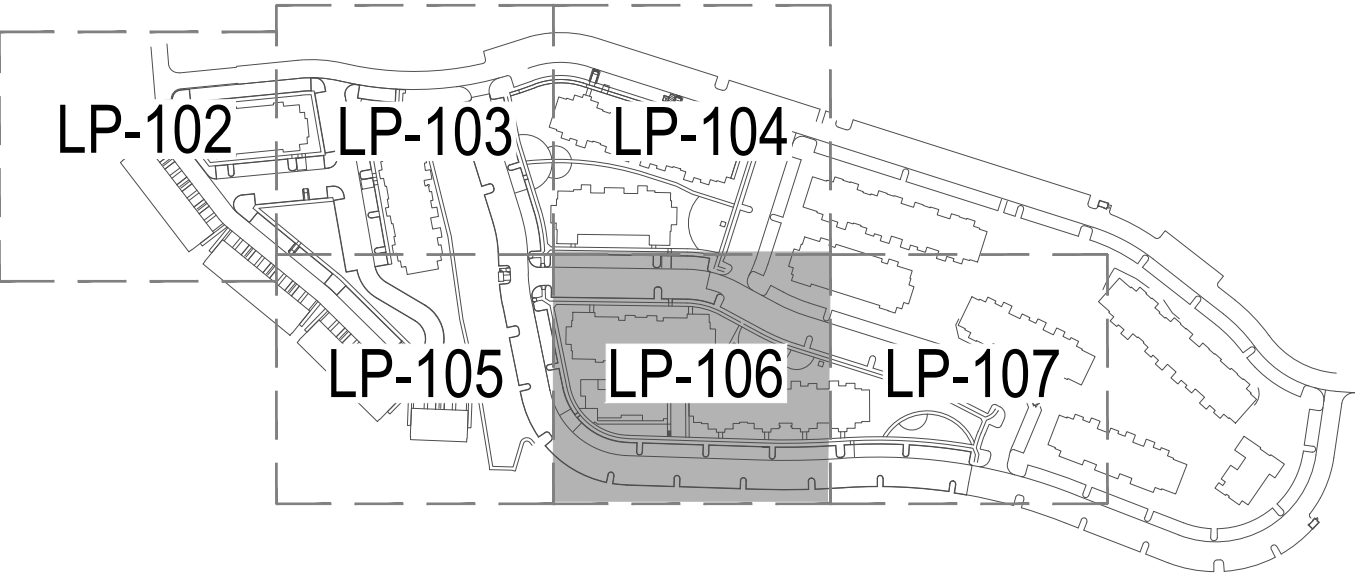
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11/06/24 SUBMITTAL 3
01/14/25 SUBMITTAL 4
02/07/25 REVISION

SHEET TITLE:
LANDSCAPE
PLAN

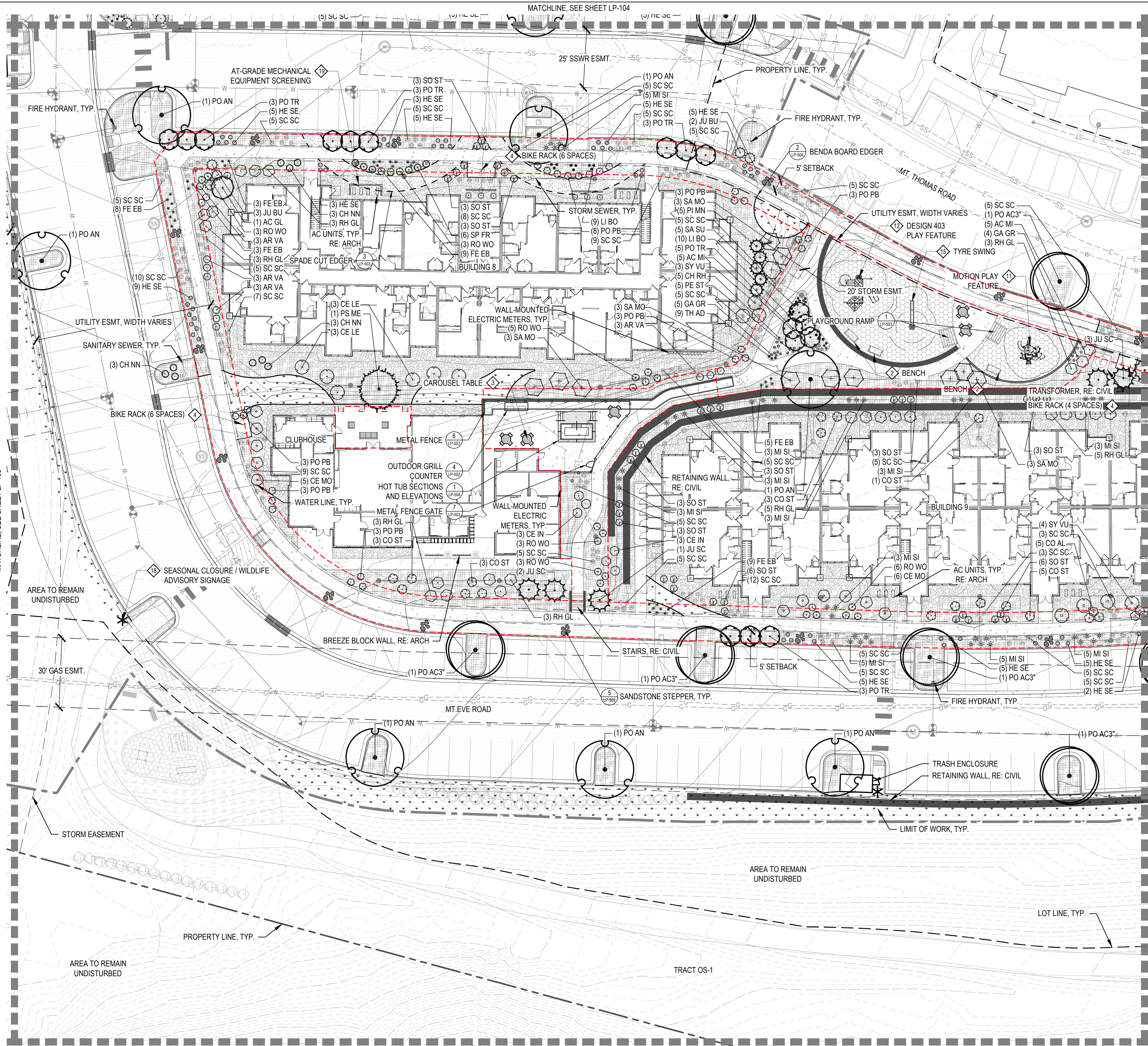
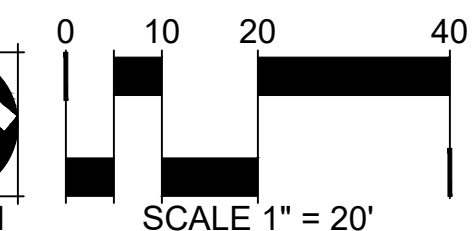
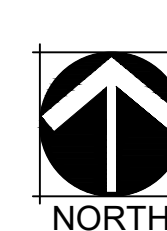
LP-106

KEY MAP



LEGEND

- EVERGREEN TREES
- DECIDUOUS TREES
- EXISTING TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASS
- CRUSHER FINES, RE: MATERIAL SCHEDULE ITEM N
- NATIVE SEED, RE: SHEET LP-002
- COBBLE, RE: MATERIAL SCHEDULE ITEM L
- DECORATIVE ROCK MULCH
- TURFGRASS IRRIGATED SOD, SEE SHEET LP-002
- LANDSCAPE BED MULCH, RE: MAT. SCHEDULE ITEM J
- DOG RUN MIX, RE: MATERIAL SCHEDULE ITEM P
- PLAYGROUND SOFT SURFACE, RE: MAT. SCHED. ITEM W
- GRAVEL ACCESS DRIVE, RE: CIVIL
- ASPHALT, RE: CIVIL
- CONCRETE, RE: CIVIL
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- BOULDER WALL SEATING, RE: MAT. SCHEDULE ITEM N
- SITE LIGHTING, RE: PHOTOMETRIC PLANS
- TRAIL SEASONAL CLOSURE / WILDLIFE ADVISORY SIGNAGE
- USABLE OPEN SPACE AREA BOUNDARY
- AT-GRADE MECHANICAL EQUIPMENT SCREENING, RE: AMENITY SCHEDULE ITEM 19



HOCKET GULCH PH2

SYLVAN LAKE RD AND SOUTH OF GRAND AVE.
EAGLE, CO

OWNER:
EPOCH - GCH
HOCKETT GULCH HOLDINGS, LLC

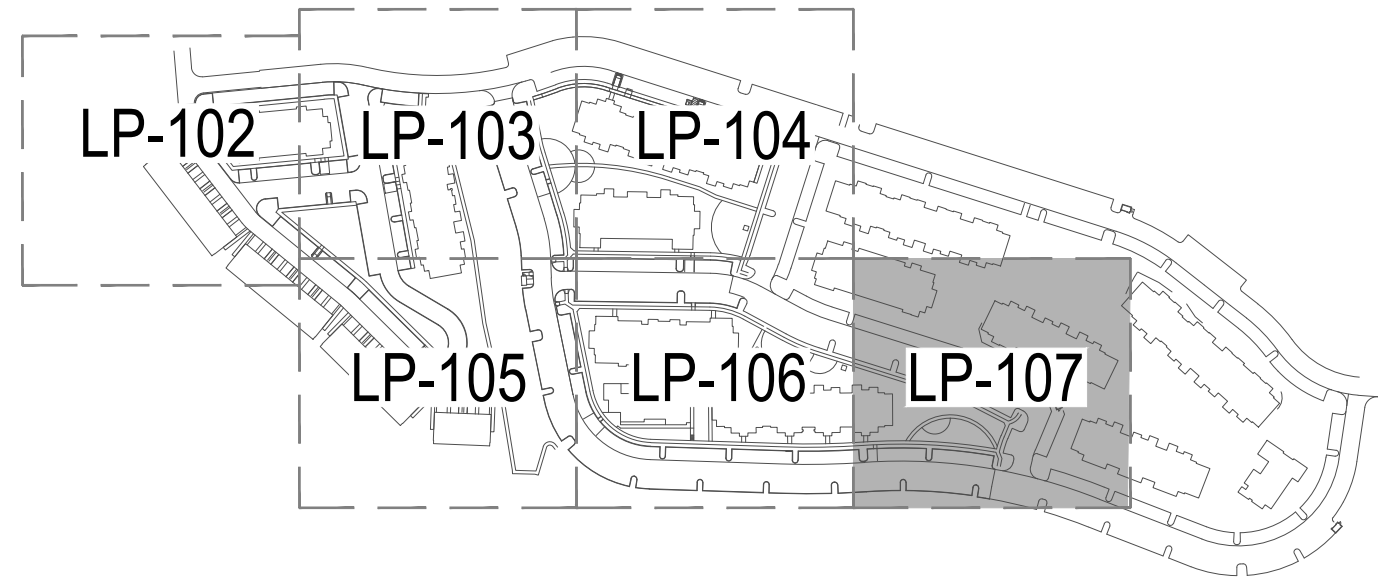
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11/06/24 SUBMITTAL 3
01/14/25 SUBMITTAL 4
02/07/25 REVISION

SHEET TITLE:
LANDSCAPE
PLAN

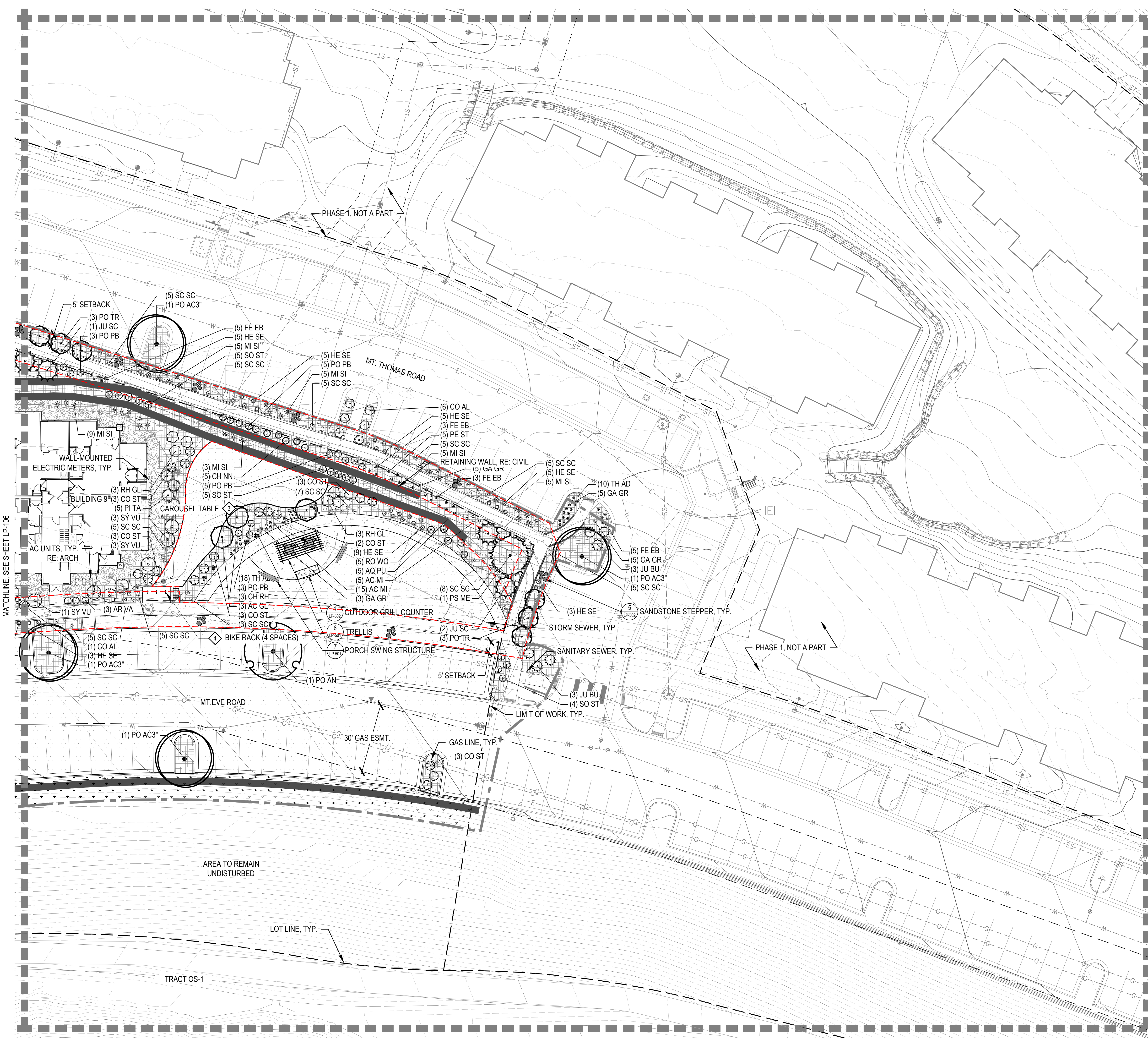
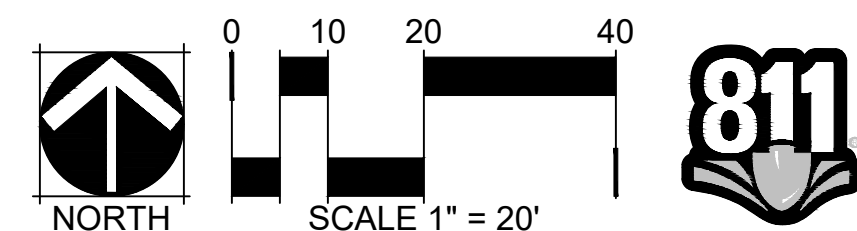
LP-107

KEY MAP



LEGEND

- EVERGREEN TREES
- DECIDUOUS TREES
- EXISTING TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASS
- CRUSHER FINES, RE: MATERIAL SCHEDULE ITEM N
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- ASPHALT, RE: CIVIL
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- USABLE OPEN SPACE AREA BOUNDARY
- AT-GRADE MECHANICAL EQUIPMENT SCREENING, RE: AMENITY SCHEDULE ITEM 19

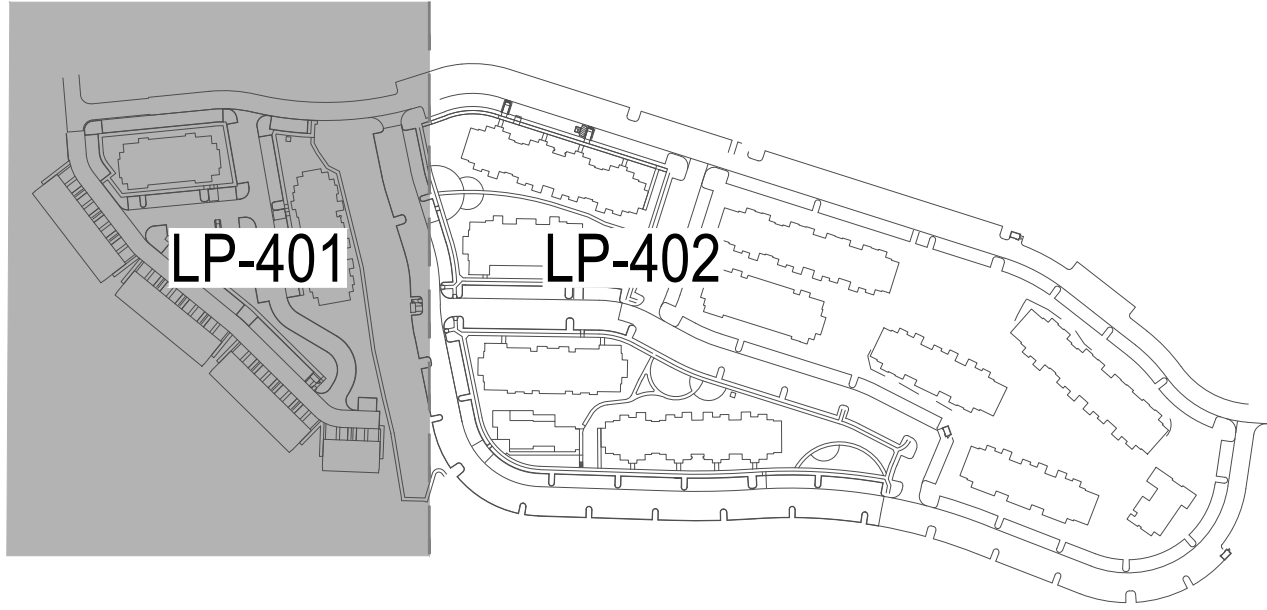


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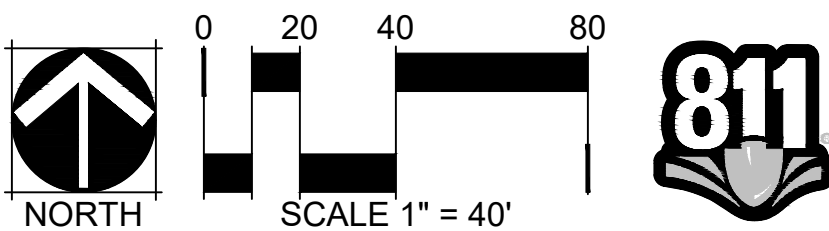


KEY MAP

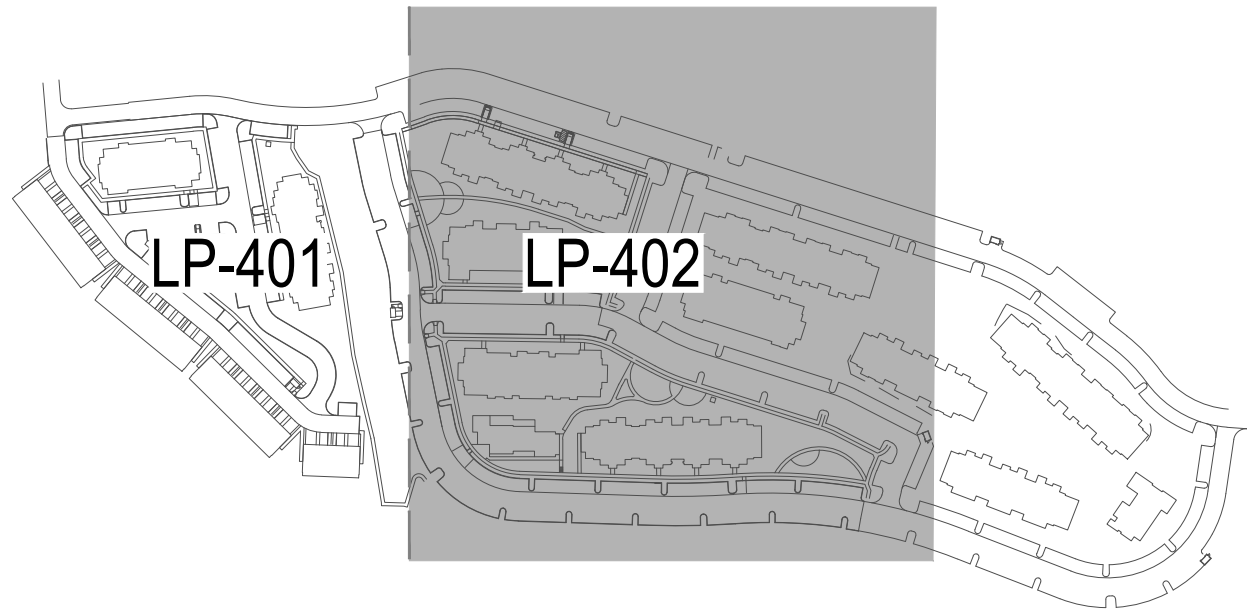


LEGEND

- EVERGREEN TREES
- DECIDUOUS TREES
- EXISTING TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASS
- CRUSHER FINES
- NATIVE SEED
- COBBLE
- TURF GRASS IRRIGATED SOD
- LANDSCAPE BED
- SYNTHETIC TURF
- PLAYGROUND MULCH
- SNOW STORAGE
- LIMIT OF WORK



KEY MAP



LEGEND

- EVERGREEN TREES
- DECIDUOUS TREES
- EXISTING TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASS
- CRUSHER FINES
- NATIVE SEED
- COBBLE
- TURF GRASS IRRIGATED SOD
- LANDSCAPE BED
- SYNTHETIC TURF
- PLAYGROUND MULCH
- SNOW STORAGE
- LIMIT OF WORK

HOCKET GULCH PH2

SYLVAN LAKE RD AND SOUTH OF GRAND AVE.
EAGLE, CO

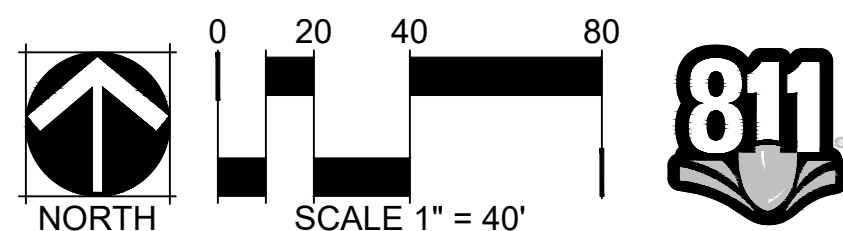
OWNER:
EPOCH - GCH
HOCKETT GULCH HOLDINGS, LLC

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07/17/24 SUBMITTAL 2
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01/14/25 SUBMITTAL 4
02/07/25 REVISION

SHEET TITLE:
SNOW STORAGE
PLANS

LP-402

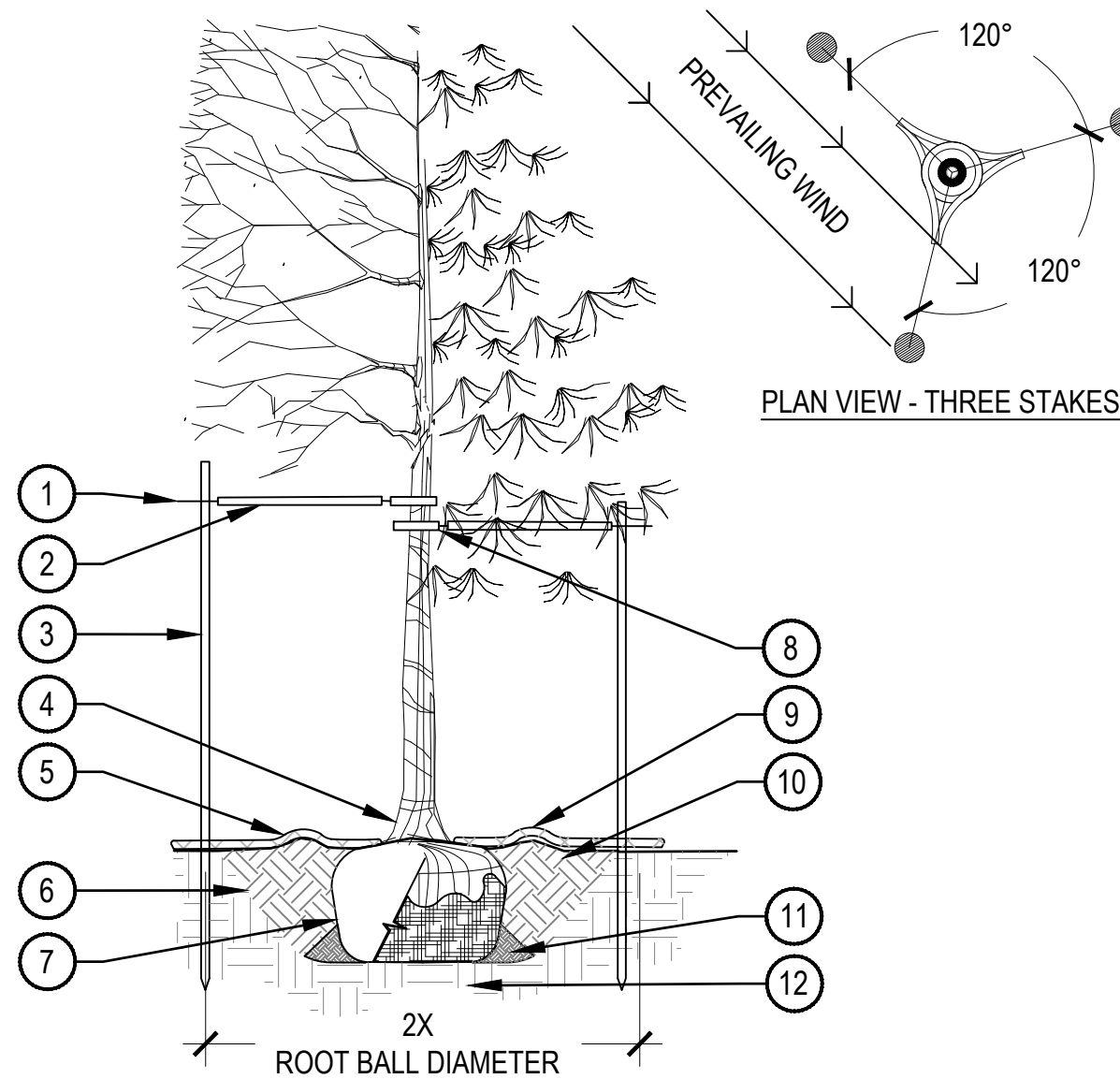


PRUNING NOTES:

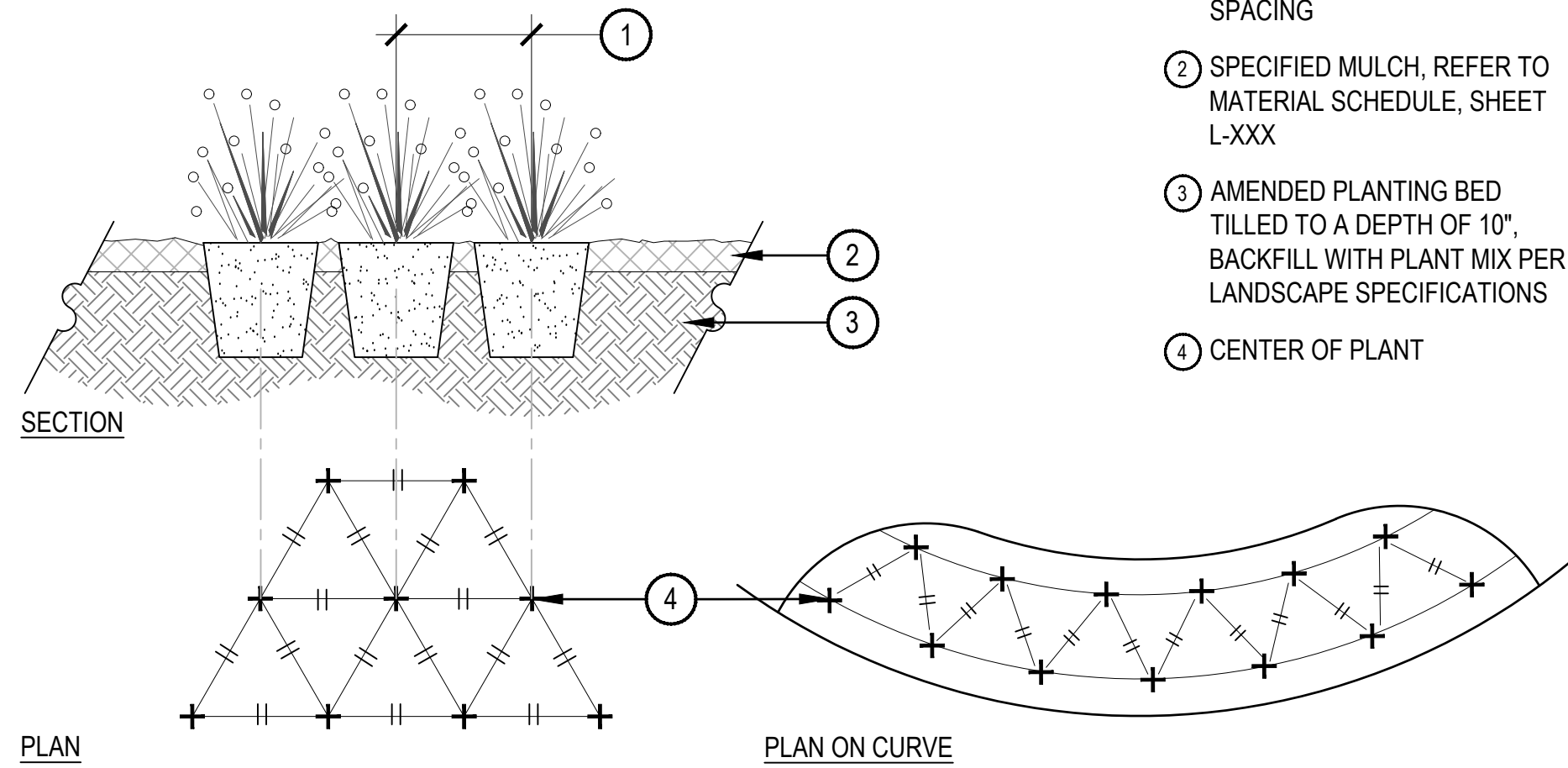
- ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
- DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

- STAKE TREES PER DIAGRAM. AFTER A MINIMUM OF (3) THREE YEARS CONFIRM TREE IS ESTABLISHED. CHECK FOR ROOTBALL STABILITY. APPLY HAND PRESSURE TO TRUNK OF TREE, WHEN ROOTBALL DOES NOT MOVE, REMOVE STAKING.
 - 2" CALIPER SIZE AND UNDER DECIDUOUS AND ASPEN TREES - MINIMUM 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).
 - EVERGREEN TREES - 3 STAKES PER DIAGRAM.
 - 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.
- WIRE OR CABLE SHALL BE MINIMUM 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.
- ADJUST STAKING, STRAPS AND GUY WIRES ANNUALLY.
- TREATED WOOD POST PREFERRED. METAL T STAKES WITH PLASTIC SAFETY CAPS ACCEPTABLE WITH APPROVAL FROM OWNER.



- GALVANIZED WIRE
- PLACE MINIMUM 1/2" PVC PIPE AROUND EACH WIRE, EXPOSED WIRE SHALL BE MAXIMUM 2" EACH SIDE
- INSTALL STAKING PER SPECIFICATIONS
- PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1'-2" ABOVE FINAL GRADE
- 2'-0" RADIUS MULCH RING, CENTERED ON TRUNK, 3" DEPTH, ON TOP OF WEED FABRIC, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK, FINISHED GRADE REFERENCES TOP OF MULCH
- 1:1 SLOPE ON SIDES OF PLANTING HOLE
- REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM THE ENTIRE ROOTBALL AND TRUNK
- GROMMETED NYLON STRAPS
- 4-6" HIGH WATER SAUCER IN NON-TURF AREAS
- BACKFILL AROUND ROOTBALL WITH PLANT MIX. PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST, EXCAVATED SOIL, PLUS MYCORRHIZAL INOCULANT PER SPECIFICATIONS
- PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP, SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS
- PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT



- NOTES:
- WHEN PLANTED ON A CURVE, ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSSED.

TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"

NOTES:

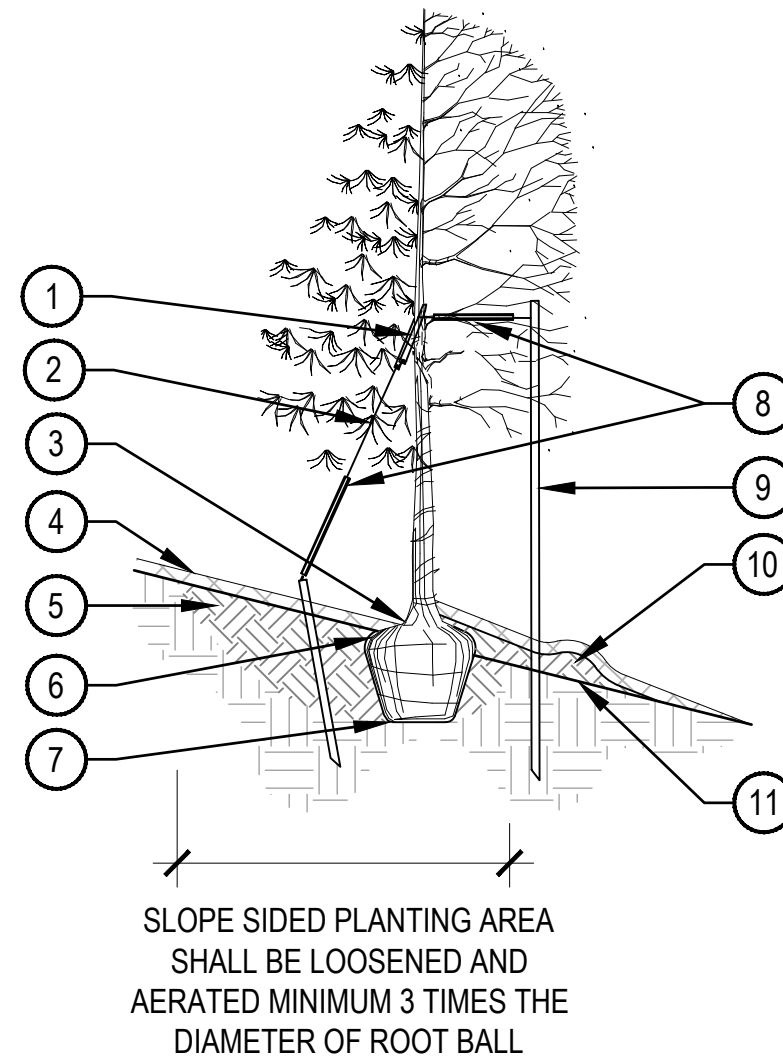
- EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND LESS THAN THE DISTANCE FROM THE TOP MOST ROOT AND THE BOTTOM OF THE ROOT BALL. THE PLANTING AREA SHALL BE LOOSENEED AND AERATED AT LEAST THREE TO FIVE TIMES THE DIAMETER OF THE ROOT BALL. REFERENCE TREE PLANTING DETAIL FOR BACKFILL NOTES.
- TREES SHALL BE PLANTED WITH THE TOP MOST ROOT IN THE ROOT BALL 3" TO 5" HIGHER THAN THE FINISHED LANDSCAPE GRADE. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED.
- FORM SOIL INTO A 3" TO 5" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 3" TO 4" DEPTH OF SPECIFIED MULCH INSIDE WATERING RING.

PRUNING NOTES:

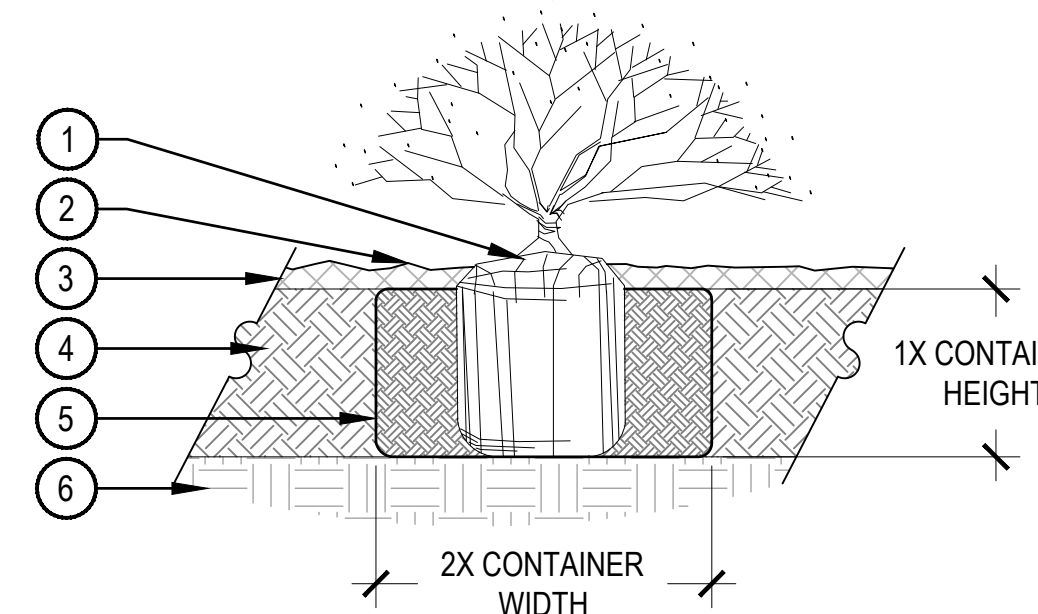
- ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
- DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

- STAKE TREES PER DIAGRAM. AFTER A MINIMUM OF (3) THREE YEARS CONFIRM TREE IS ESTABLISHED. CHECK FOR ROOTBALL STABILITY. APPLY HAND PRESSURE TO TRUNK OF TREE, WHEN ROOTBALL DOES NOT MOVE, REMOVE STAKING.
 - 2" CALIPER SIZE AND UNDER DECIDUOUS AND ASPEN TREES - MINIMUM 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).
 - EVERGREEN TREES - 3 STAKES PER DIAGRAM.
 - 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.
- WIRE OR CABLE SHALL BE MINIMUM 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.
- ADJUST STAKING, STRAPS AND GUY WIRES ANNUALLY.
- USE GUY ASSEMBLIES FOR EVERGREENS AND TREES OVER 3" CALIPER. ALL WIRE TO BE MINIMUM 12 GAUGE GALVANIZED.



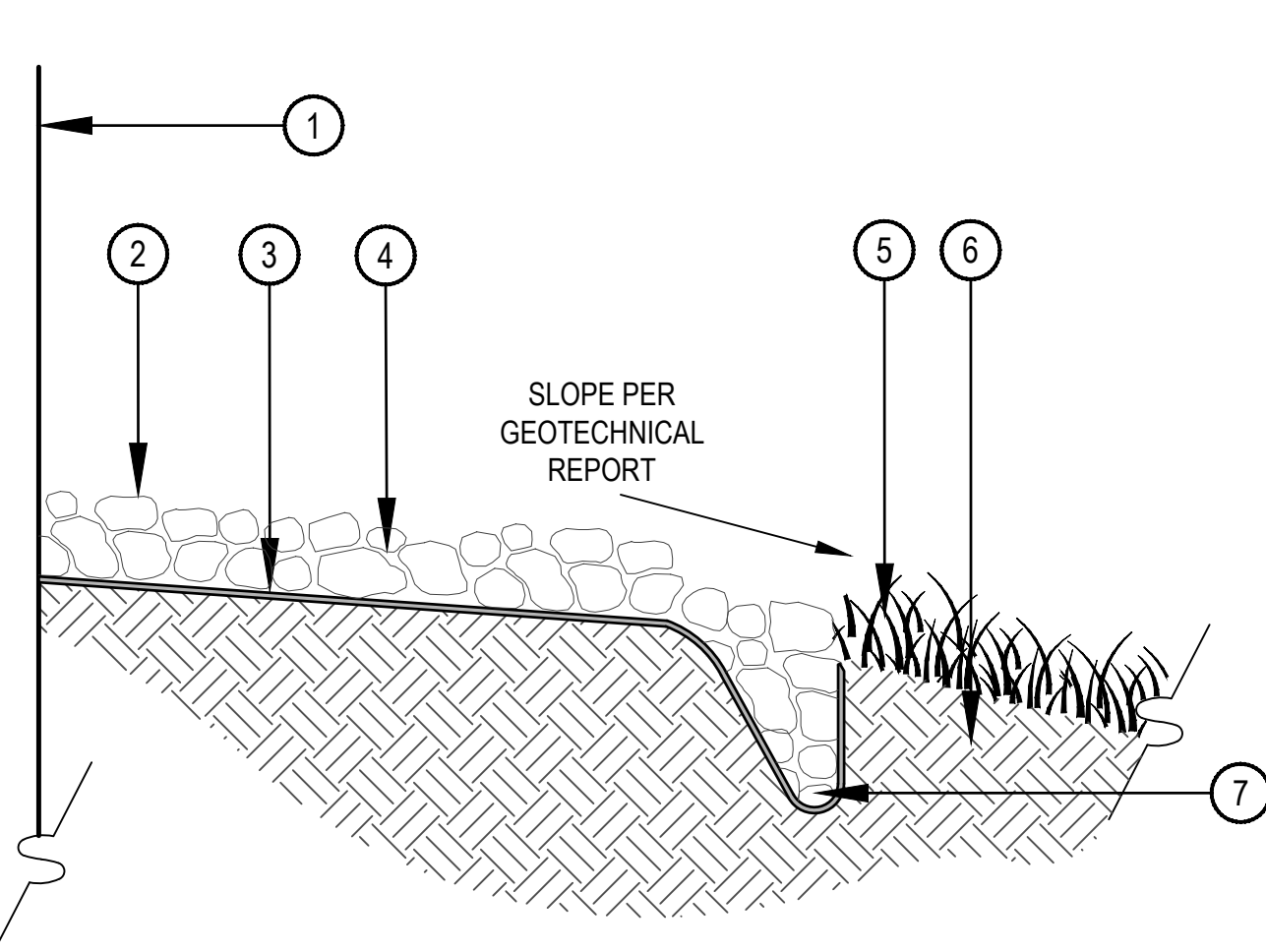
- GROMMETED NYLON STRAP
- GALVANIZED WIRE
- TOP MOST ROOT IN ROOTBALL: 1'-2" ABOVE EXISTING GRADE, UPHILL SIDE
- 2-4" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND AWAY FROM THE TRUNK, REFER TO MATERIAL SCHEDULE, SHEET L-XXX, FINISHED GRADE REFERENCES TOP OF MULCH
- BACKFILL WITH PLANT MIX, PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST, EXCAVATED SOIL, PLUS MYCORRHIZAL INOCULANT PER SPECIFICATIONS, WATER THOROUGHLY WHEN BACKFILLING
- REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOTBALL AND TRUNK
- PLACE ROOTBALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT, IF SOIL HAS BEEN IMPORTED, PROVIDE MODERATE FOOT PACKING OF SOIL DIRECTLY UNDER LOCATION OF ROOTBALL
- 24" X 3/4" P.V.C. MARKERS (TYPICAL) OVER WIRES
- TREATED WOOD POST, OR METAL T STAKE WITH CAP, WITH GROMMETED NYLON STRAPS, USE 2 GUY WIRES
- UNAMENDED TOPSOIL ADDED TO EXISTING GRADE ON DOWN HILL SIDE, REFER TO SPECIFICATIONS
- EXISTING GRADE



- NOTE:
- BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
 - CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
 - ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISHED GRADE OF THE MULCH LAYER.
 - DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
 - PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING, DO NOT PRUNE MORE THAN 20% OF LIMBS.

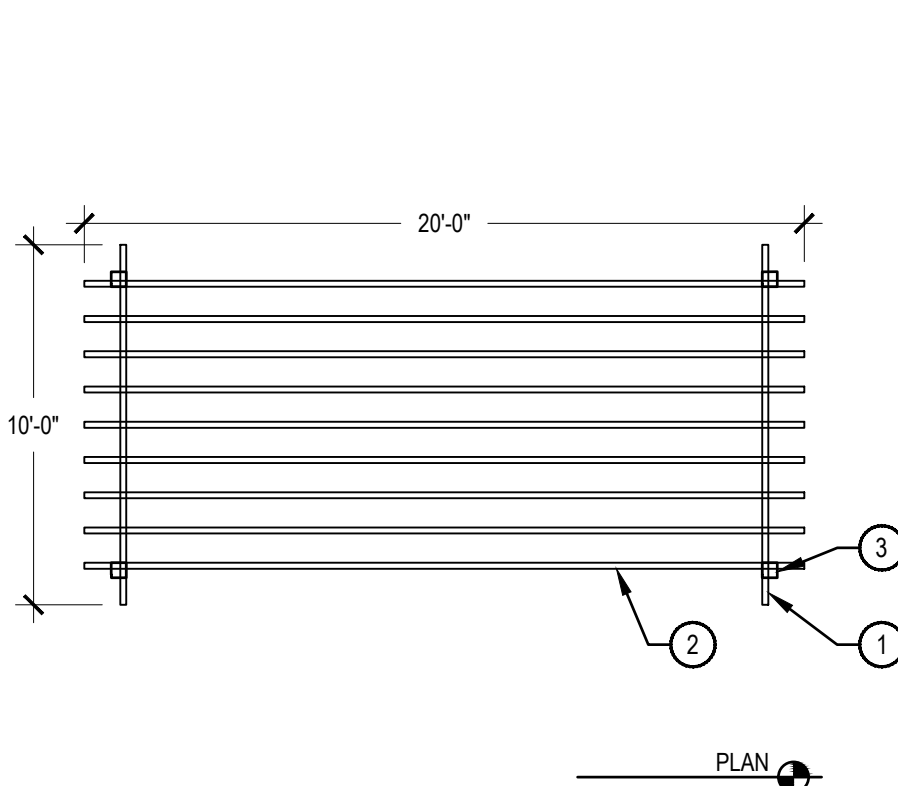
TREE PLANTING ON SLOPE

SCALE: 1/4" = 1'-0"



- NOTES:
- COBBLE DRIP LINE TO BE INCLUDED AROUND PERIMETER OF ALL BUILDINGS WHERE ROOF LINE EXTENDS AND SHEDS WATER / SNOW.

- ADJACENT BUILDING
- COBBLE; REFER TO MATERIAL SCHEDULE
- WEED BARRIER FABRIC; 24" MINIMUM LAP JOINT
- FINISH GRADE
- ADJACENT NATIVE GRASS OR LANDSCAPE BED, REFER TO LANDSCAPE PLANS FOR ADJACENT TREATMENT TYPE
- UNDISTURBED SUBGRADE
- SPADE CUT EDGE OF DRIP LINE

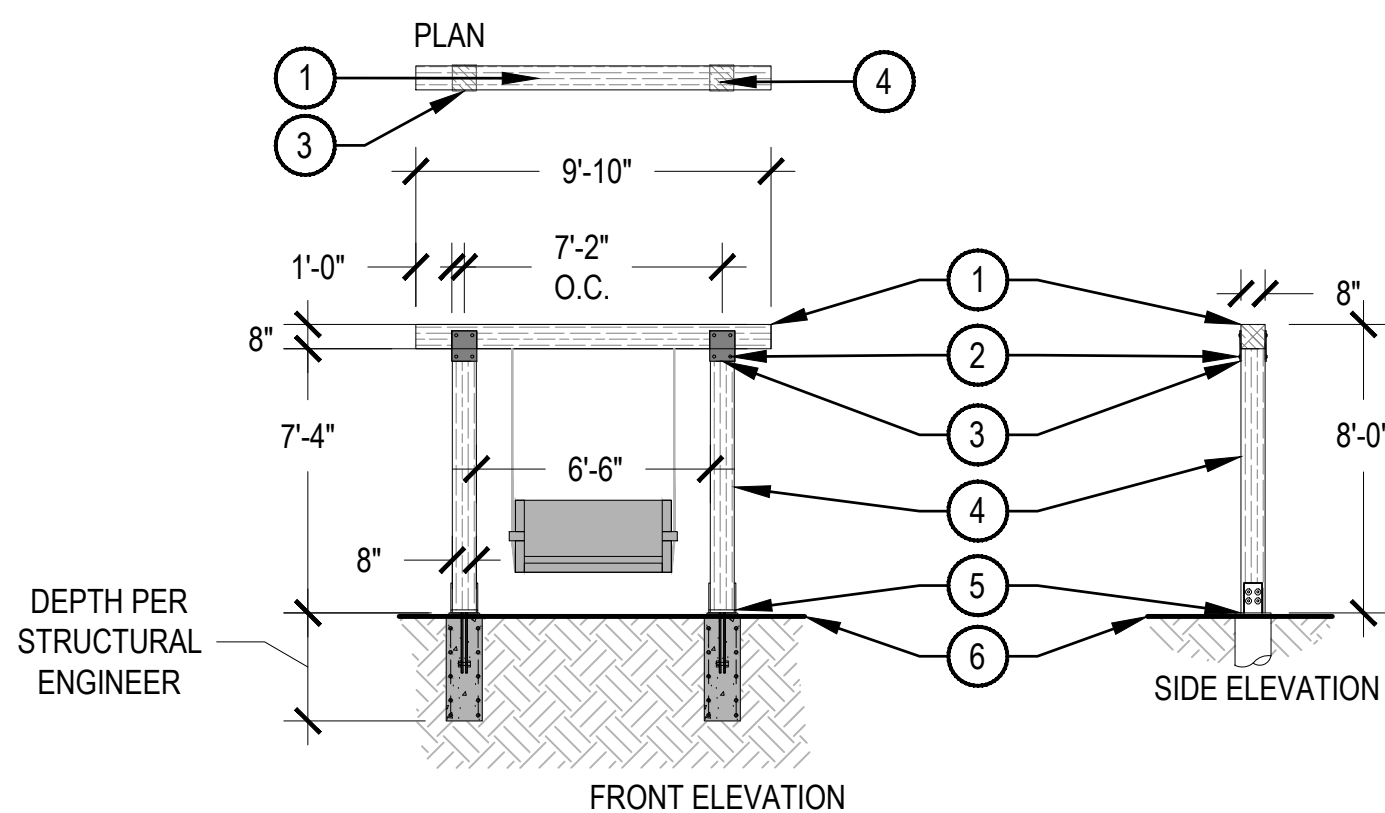


- NOTES:
- DETAIL IS FOR DESIGN INTENT ONLY. CONTRACTOR TO SUBMIT STAMPED SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION.

- 2X4 CEDAR BOARD
- 2X6 CEDAR BOARD
- 6X6 CEDAR POST
- 12" T BLADE POST SUPPORT AND MOUNTING HARDWARE
- CONCRETE FOOTER, BY STRUCTURAL
- ADJACENT HARDSCAPE, RE: CIVIL PLANS
- COMPACTED SUBGRADE
- UNDISTURBED GRADE
- 2" CONCRETE COVER OVER FOOTER

SHRUB PLANTING

SCALE: 1 1/2" = 1'-0"



- NOTES:
- CONTRACTOR TO PROVIDE STRUCTURAL ENGINEER STAMPED SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 - ALL METAL STRUCTURES TO BE POWDER COATED FLAT BRONZE MATTE FINISH.
 - SWING TO MEET ALL BUILDING CODES, WITHSTAND LOCAL WIND SPEEDS, AND SNOW LOADS.
 - THIS DETAIL HAS NOT BEEN ENGINEERED. IT IS PROVIDED FOR REFERENCE PURPOSES ONLY. IF REQUIRED FOR PERMITTING, THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING OR PREPARING ENGINEERED DETAILS STAMPED BY A LOCALLY LICENSED ENGINEER.

- TREATED WOOD BEAM - 8" X 8" X 16' LENGTH, WOOD FINISH STAIN TO MATCH ARCHITECTURE
- 7/8" X 20" GALVANIZED FULLY THREADED STUD AND 7/8" GALVANIZED PLAIN STEEL HEAVY HEX NUT WITH 7/8" TYPE 1 PLAIN STEEL STRUCTURAL FLAT WASHER TO SECURE PLATE TO BEAM AND POST CONNECTION
- STEEL BRACKETS TO SECURE WOOD BEAM TO WOOD POSTS
- 8" X 8" WOOD POSTS BOLTED TO BEAM ABOVE AND BOLTED TO BASE PLANT CONNECTOR AND SET ON 12" CONCRETE CAISSON, WOOD FINISH STAIN TO MATCH ARCHITECTURE
- STEEL BASE PLATE CONNECTOR AND CONCRETE FOOTING PER APPROVED ENGINEER STAMPED SHOP DRAWINGS TO BE REVIEWED BY LANDSCAPE ARCHITECT
- TOP OF ADJACENT GRADE, SEE PLANS FOR SURFACE TYPE

COBBLE DRIP LINE

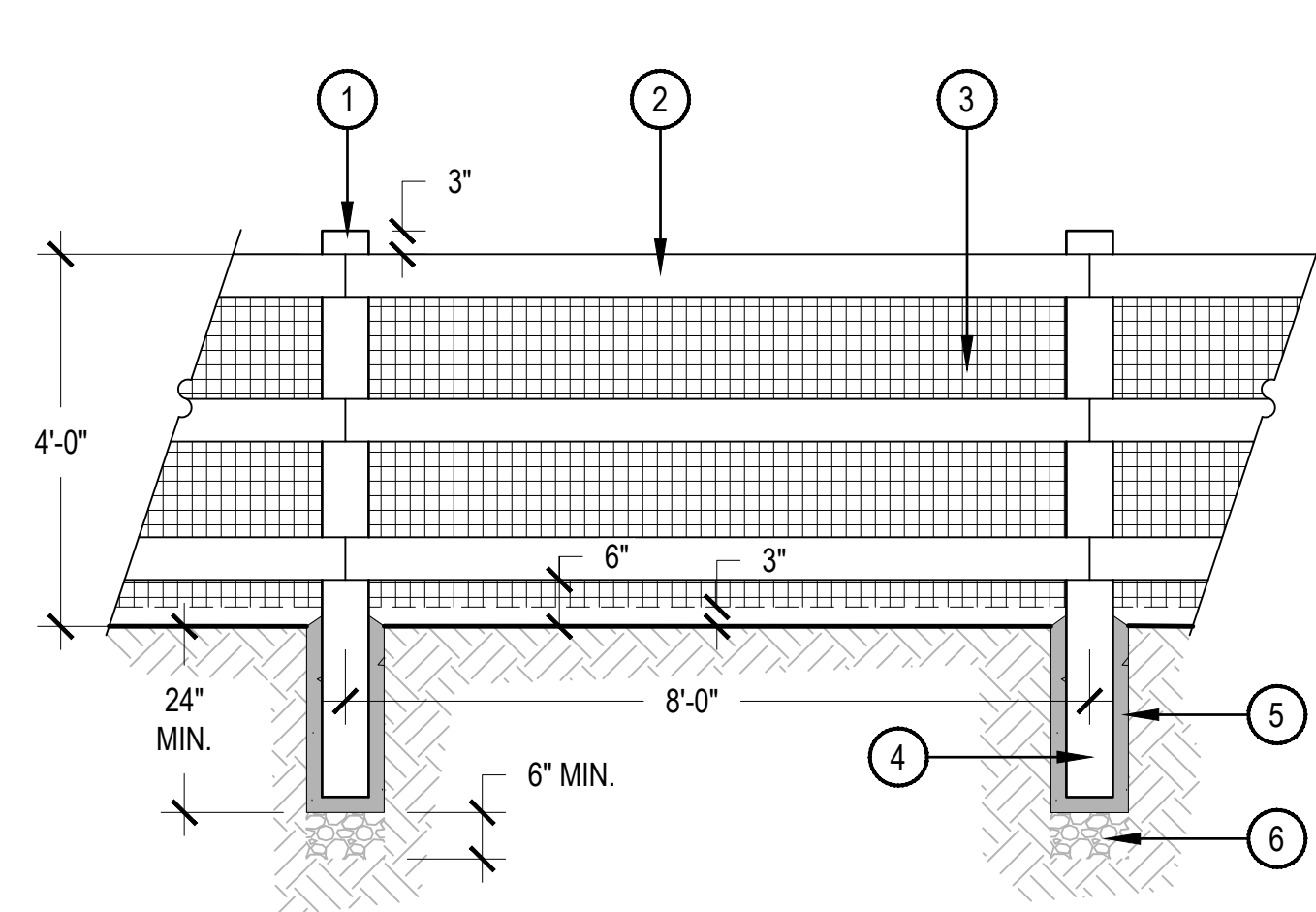
N.T.S.

TRELLIS

SCALE: 3/16" = 1'-0"

PORCH SWING

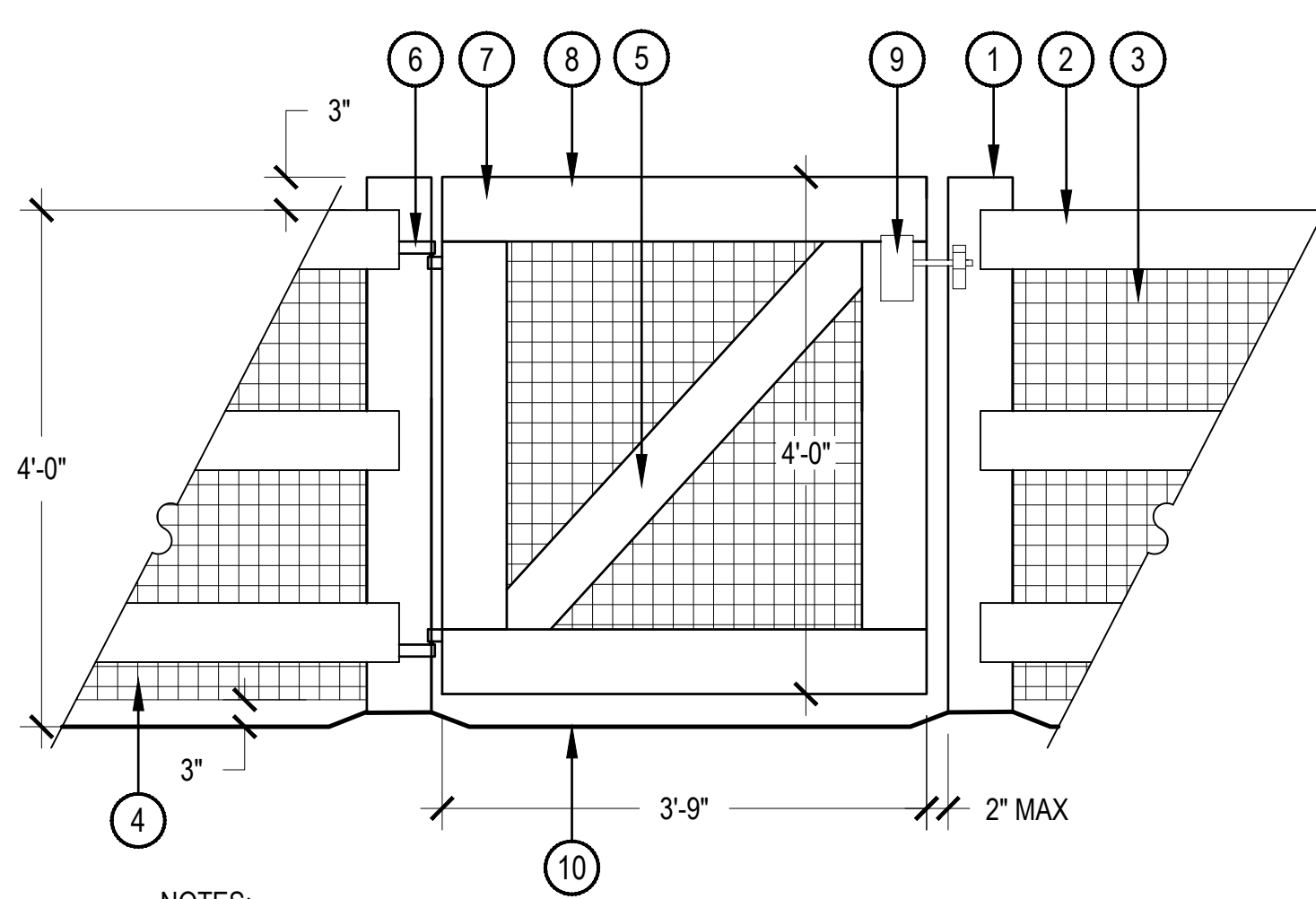
SCALE: 3/16" = 1'-0"



- NOTES:
- DRAWING IS CONCEPTUAL. INTENTION OF DRAWING IS TO CONVEY MATERIALS, FINISHES, AND PROPORTIONS. SHOP DRAWINGS ARE REQUIRED BY CONTRACTOR TO BE PROVIDED TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
 - SEE MATERIAL SCHEDULE FOR WOOD STAIN FINISH SPECIFICATION.

1 DOG PARK FENCE

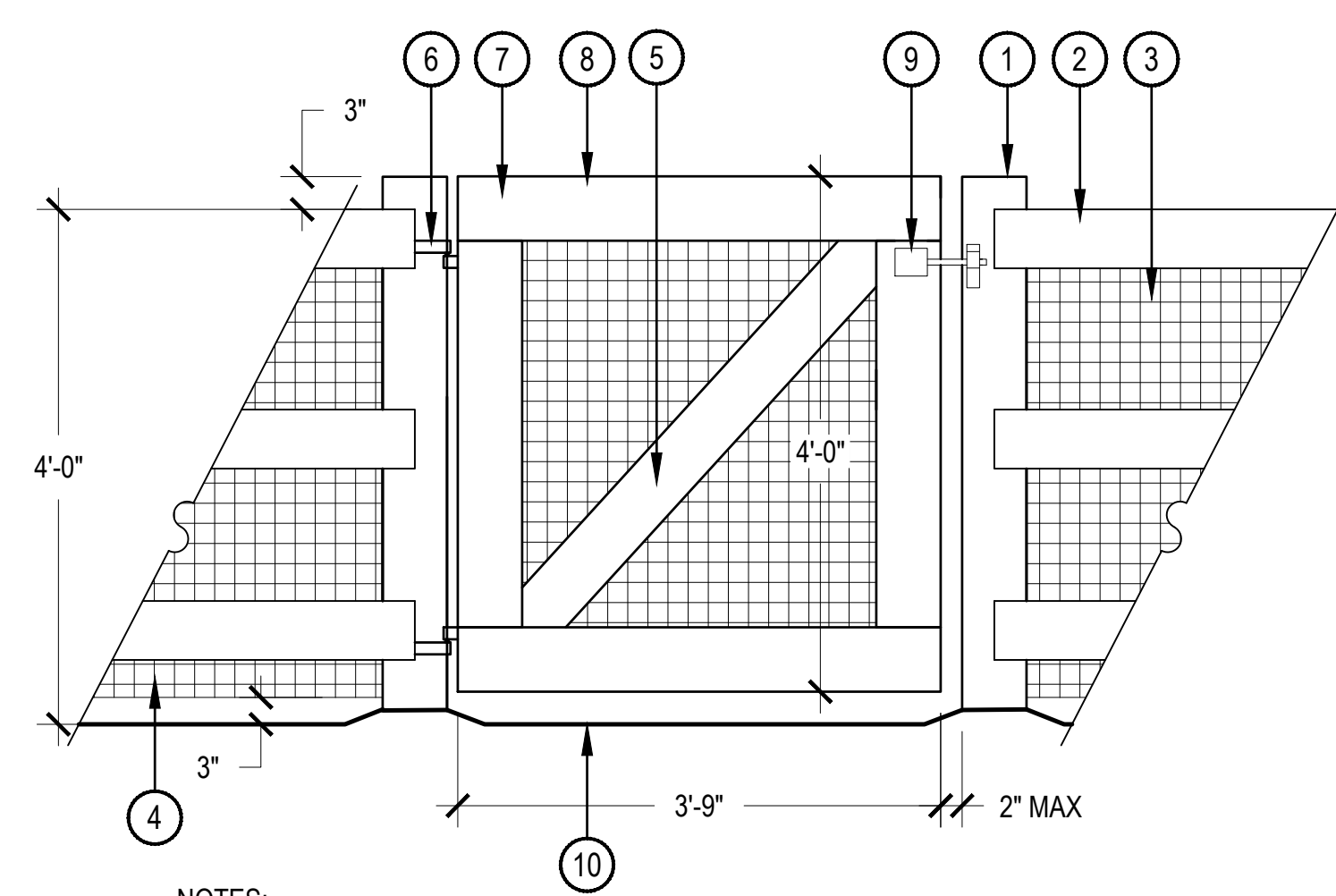
SCALE: 1/2" = 1'-0"



- NOTES:
- DRAWING IS CONCEPTUAL. INTENTION OF DRAWING IS TO CONVEY MATERIALS, FINISHES, AND PROPORTIONS. SHOP DRAWINGS ARE REQUIRED BY CONTRACTOR TO BE PROVIDED TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
 - SEE MATERIAL SCHEDULE FOR WOOD STAIN FINISH SPECIFICATION.

2 MAIN ENTRY DOG PARK GATE

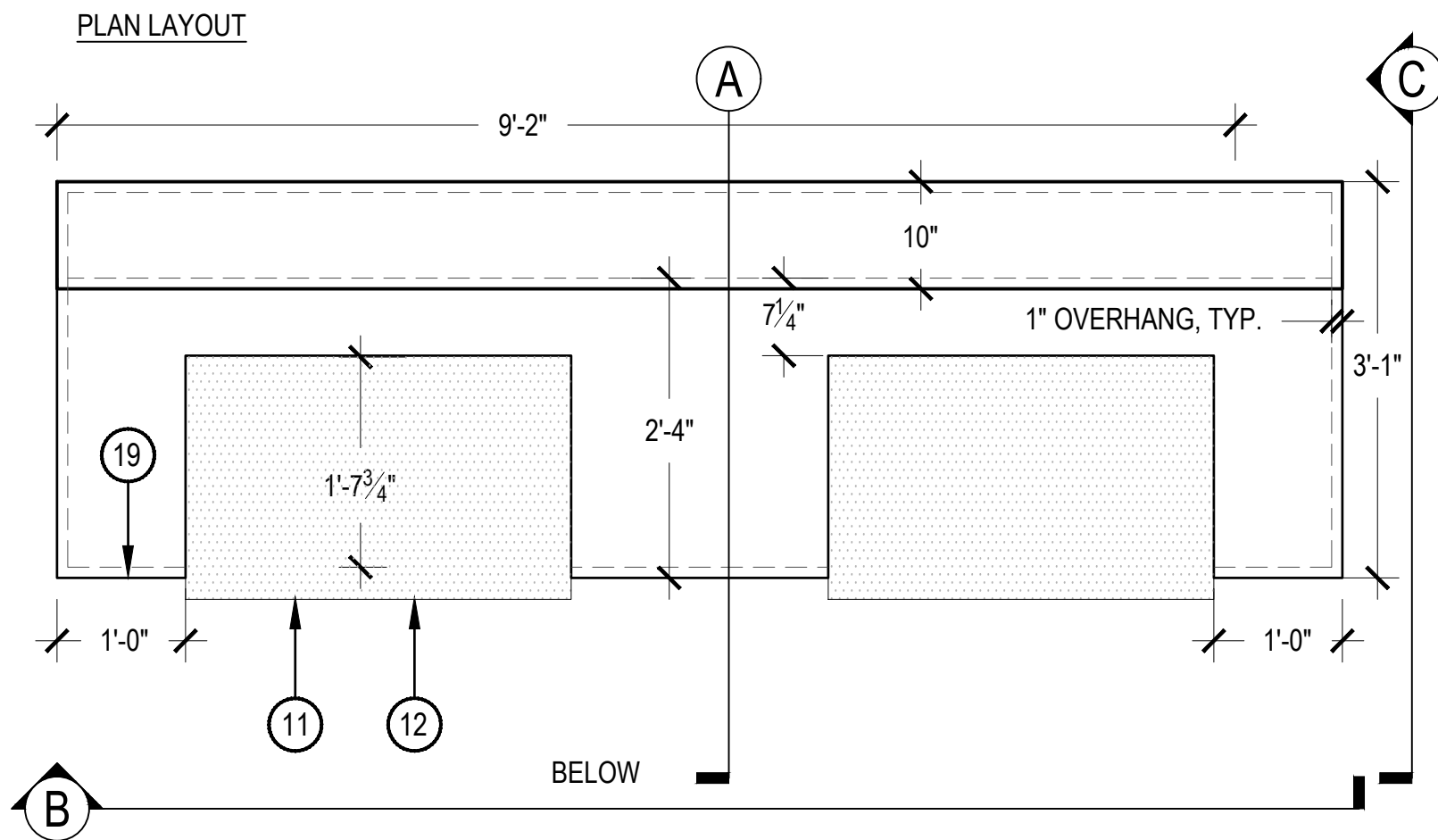
SCALE: 3/4" = 1'-0"



- NOTES:
- DRAWING IS CONCEPTUAL. INTENTION OF DRAWING IS TO CONVEY MATERIALS, FINISHES, AND PROPORTIONS. SHOP DRAWINGS ARE REQUIRED BY CONTRACTOR TO BE PROVIDED TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
 - SEE MATERIAL SCHEDULE FOR WOOD STAIN FINISH SPECIFICATION.

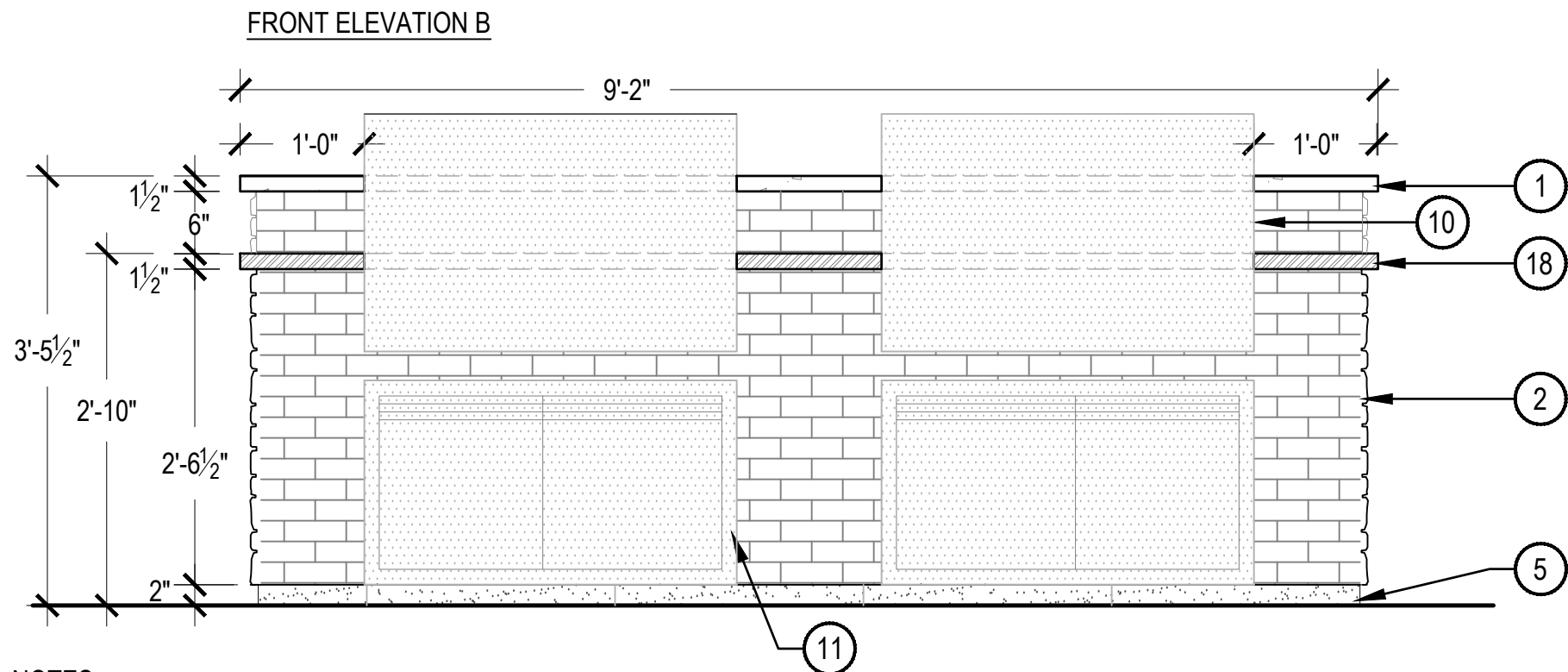
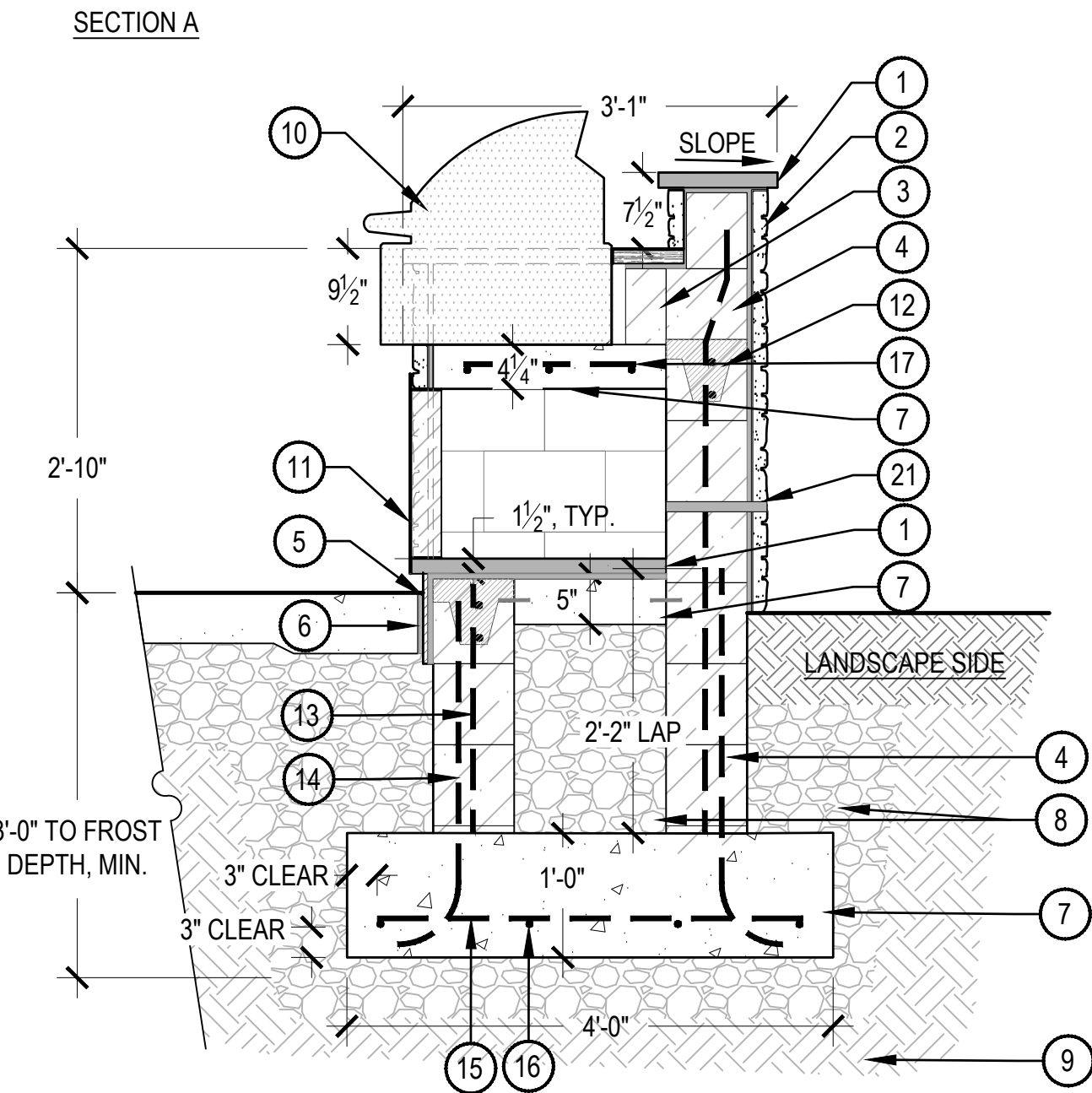
3 INTERIOR DOG PARK GATE

SCALE: 3/4" = 1'-0"

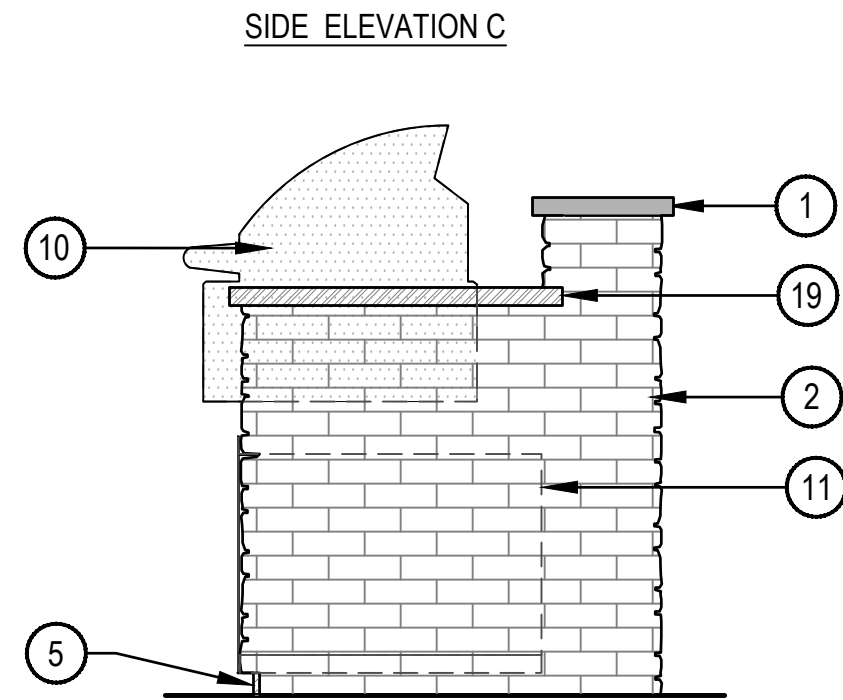


- 1-1/2" GRANITE CAP WITH SMOOTH FINISH AND RADIAL EDGE, TOP TO SLOPE AWAY FROM COUNTER TOP, EVENLY DISTRIBUTE HORIZONTAL CAPSTONE JOINTS APPROX. 24" O.C.
- STONE VENEER TO MATCH ARCHITECTURE. CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALL
- SAWCUT CMU BLOCK TO FIT CUSTOM SIZE ON SITE
- 8"W X 8"H X 16"L STANDARD CMU BLOCK, FULLY GROUTED, WEEP 4" - 8" ABOVE FINISHED GRADE, 24" O.C.
- STONE VENEER KICKBOARD TO MATCH ARCHITECTURE
- EXPANSION JOINT
- CAST IN PLACE CONCRETE FOUNDATION, SHOP DRAWINGS BY LICENSED STRUCTURAL ENGINEER REQUIRED
- COMPACTED AGGREGATE SUBGRADE
- COMPACTED OR UNDISTURBED SUBGRADE
- GRILL - REFER TO AMENITY SCHEDULE, SHEETLP-004

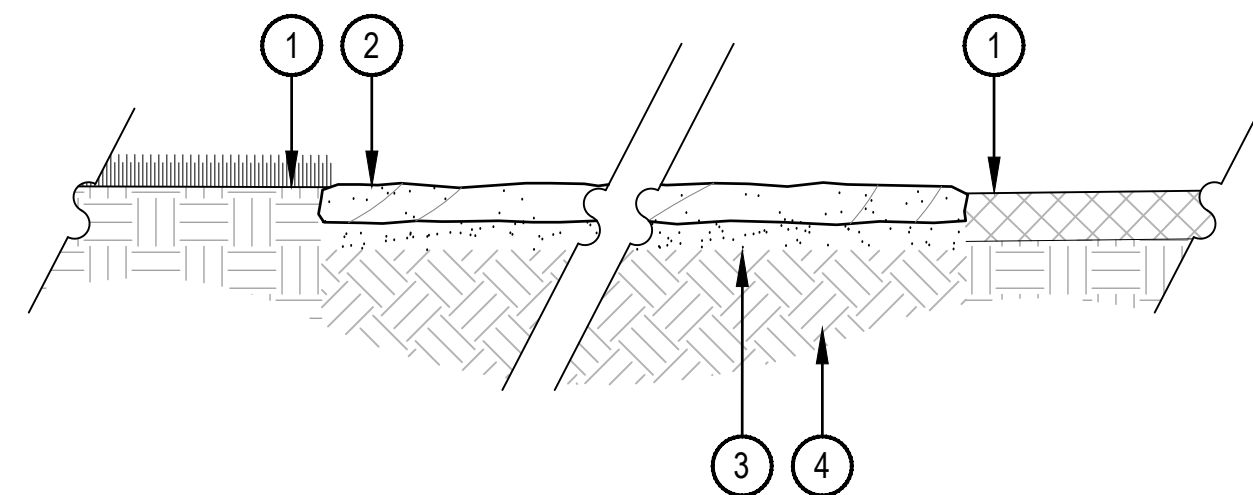
- GRILL ACCESS DOORS - REFER TO AMENITY SCHEDULE, SHEET L-1.03
- 8" BOND BEAM WITH (2) #4 REBAR
- #5 REBAR AT 48" ON CENTER VERTICAL
- #5 DOWEL AT 48" ON CENTER WITH 6" HOOK
- #4 REBAR AT 24" ON CENTER HORIZONTAL
- (4) #4 REBAR CONTINUOUS
- #4 REBAR AT 12" ON CENTER HORIZONTAL, BOTH WAYS
- AUTOMATIC GAS SHUT-OFF VALVE TIMER LOCATION
- GRANITE COUNTERTOP AND BACK SPLASH, SEE MATERIAL SCHEDULE I, SHEET LP-005
- 6"W X 8"H X 16"L STANDARD CMU BLOCK, FULLY GROUTED
- INSTALL WEEP HOLE OFF BACK SIDE OF OUTDOOR GRILL COUNTER



- NOTES:
- CONTRACTOR TO SUBMIT COUNTERTOP, STONE VENEER, VENTILATION COVER PLATE, AND GFCI COVER SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.
 - ALL FOOTINGS AND WALLS TO BE STRUCTURALLY ENGINEERED. FOOTING DETAIL IS ILLUSTRATIVE ONLY.
 - MASONRY CONTRACTOR TO PROVIDE SLEEVE LOCATIONS FOR GAS AND ELECTRIC, PER COORDINATION WITH ELECTRICAL AND PLUMBING CONTRACTORS - ELECTRIC AND GAS NOT SHOWN.
 - ELECTRICAL CONTRACTOR RESPONSIBLE FOR ACCURATE LOCATION OF ELECTRICAL CONDUIT, AND ELECTRICAL INSTALLATION OF GRILL, SMOKER, GFCI'S PER MANUFACTURER SPECIFICATIONS, IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL CODES.
 - PLUMBING CONTRACTOR RESPONSIBLE FOR INSTALLING APPROPRIATE GAS LINES, STEP-DOWN REGULATOR, AUTOMATIC GAS SHUTOFF VALVE AND TIMER, CONNECTING AND TESTING LINES, IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL CODES.
 - MASONRY CONTRACTOR SHALL INSTALL APPLIANCES AND ACCESSORIES PER MANUFACTURERS SPECIFICATIONS - ALL APPLIANCES AND ACCESSORIES SHALL BE PROVIDED ON-SITE PRIOR TO COUNTERTOP INSTALLATION.
 - GRILL TO BE FITTED WITH AUTOMATIC GAS SHUT-OFF AND TIMER VALVE. THE CONTROLS SHOULD BE OPERABLE WITH 5 LBF MAXIMUM FORCE AND OPERABLE WITH ONE HAND WITHOUT TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
 - VENTILATION FOR GRILLS SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. VENTILATION COVER PLATE AND LOCATION FOR GRILL (NOT SHOWN) SHALL BE PROVIDED TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.



- SET EDGE OF STONE FLUSH WITH TOP OF SOD, SET EDGE OF STONE 1/2" ABOVE GRADE IN BED AREAS
- STEPPING STONES, REFER TO MATERIAL SCHEDULE
- 2" DEEP SETTING SAND
- SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

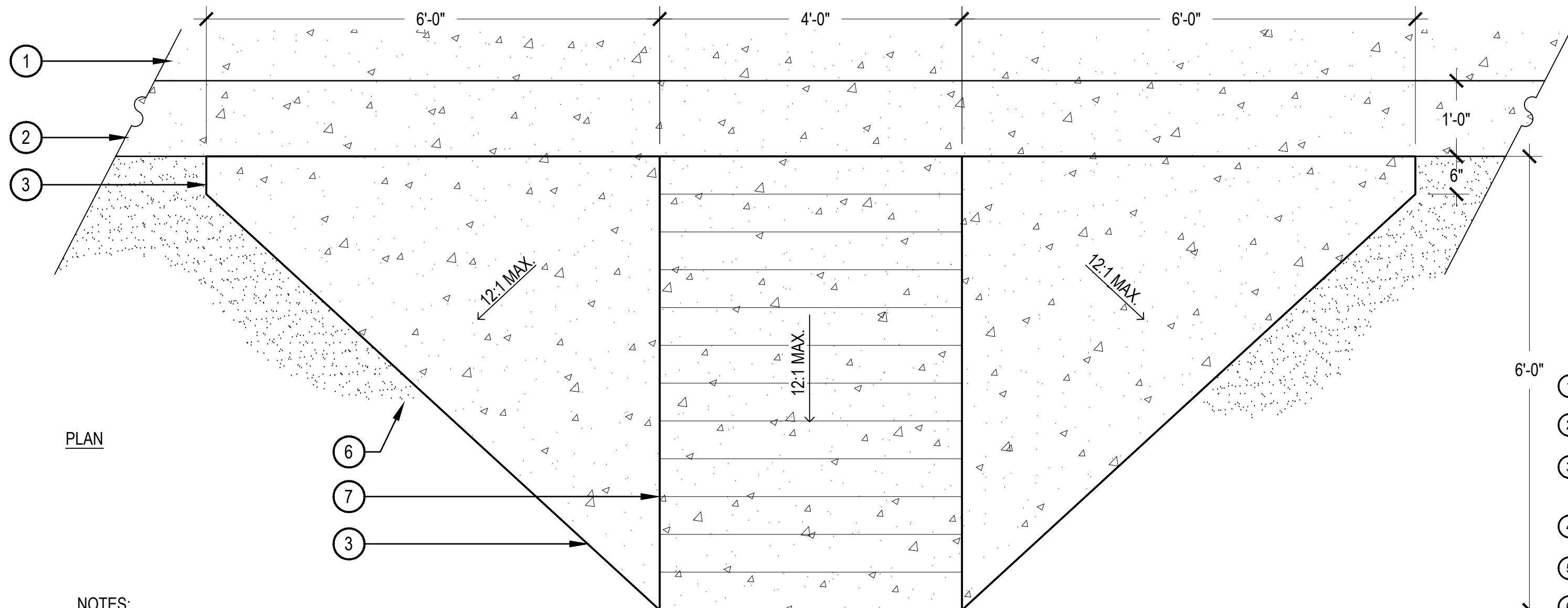


5 SANDSTONE STEPPER

SCALE: 1" = 1'-0"

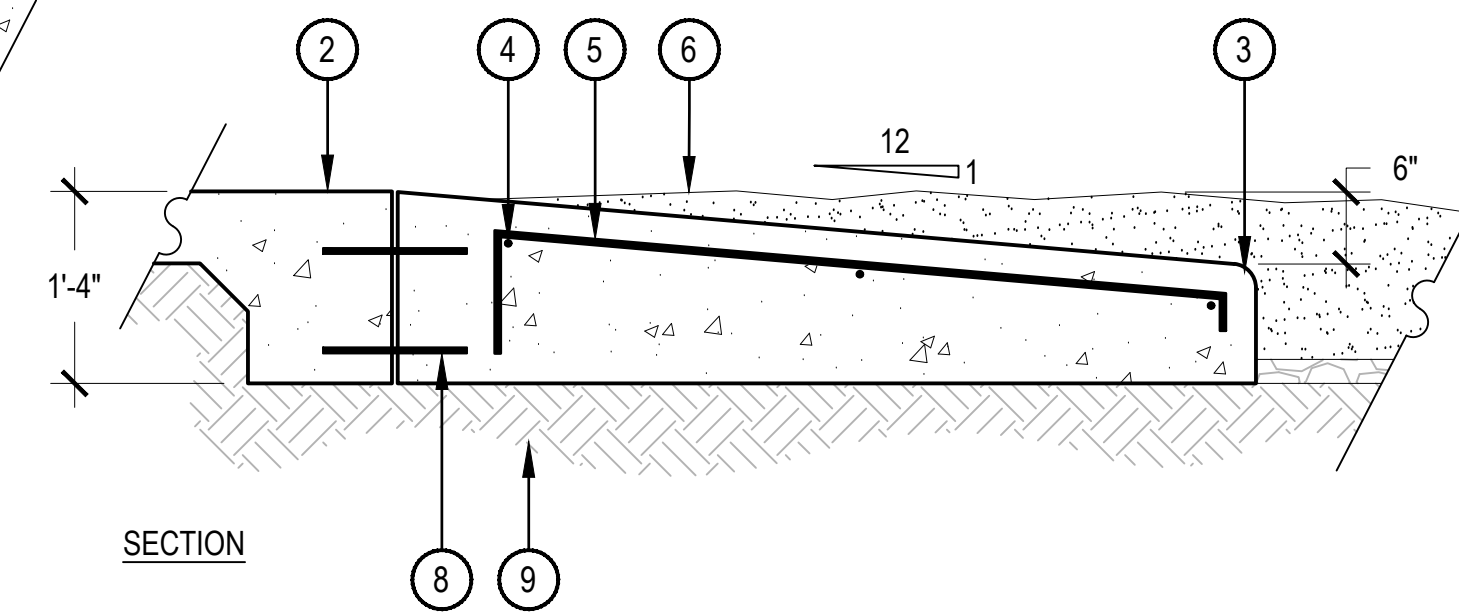
4 OUTDOOR GRILL COUNTER

SCALE: 3/4" = 1'-0"

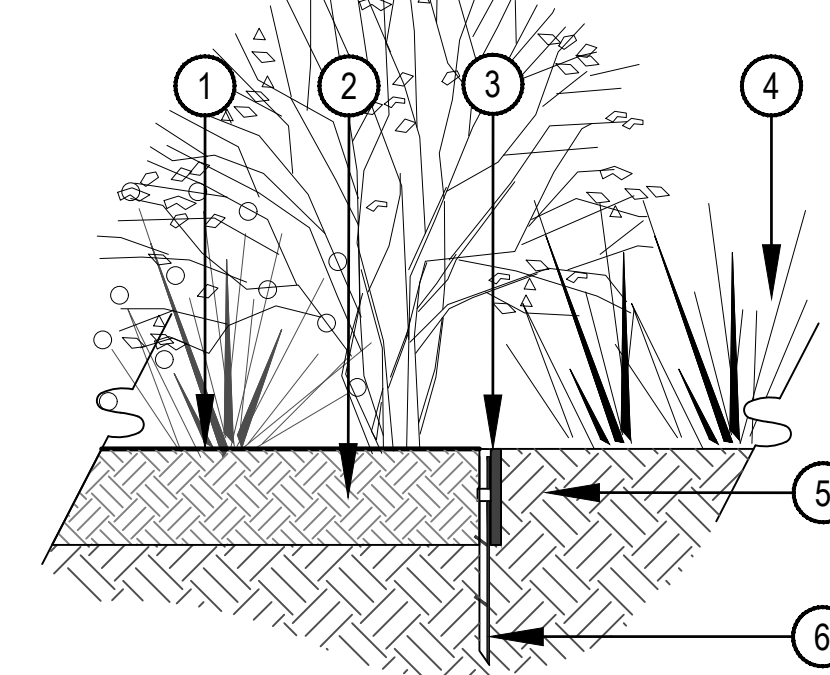


NOTES:
1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.

1 PLAYGROUND RAMP



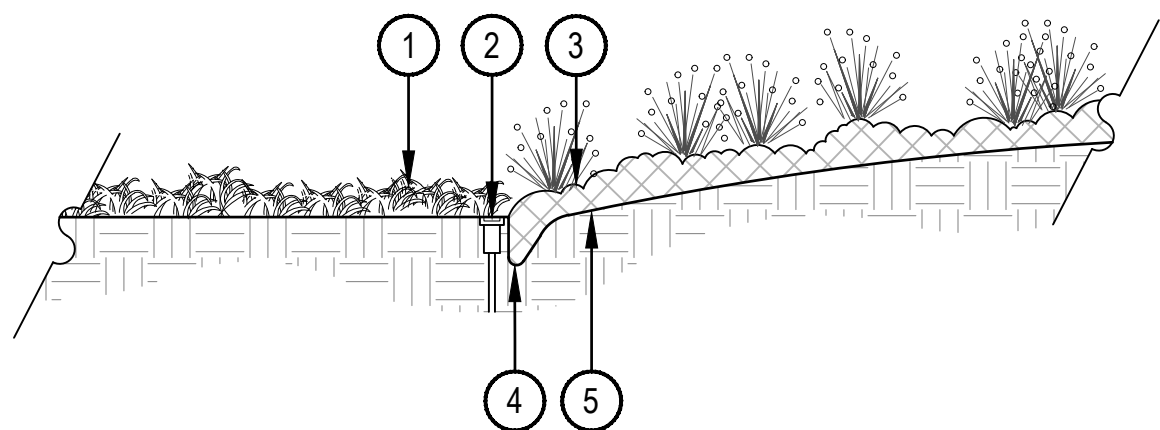
- 1 CONCRETE WALK
- 2 MONOLITHIC CONCRETE CURB
- 3 2" RADIUS ON ALL EXPOSED EDGES
- 4 (3) #4 REBAR
- 5 #4 REBAR 18" ON CENTER
- 6 PLAY SAFETY SURFACE
- 7 TOOLED SCORE JOINTS, 6" APART
- 8 (2) #4 DOWELS 18" ON CENTER
- 9 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY



- 1 FINISH GRADE
- 2 ADJACENT LANDSCAPE, SEE LANDSCAPE PLANS FOR TYPE
- 3 BENDA BOARD EDGER, REFER TO MATERIAL SCHEDULE SHEET LP-005
- 4 NATIVE SEED OR CRUSHER FINES, REFER TO LANDSCAPE PLANS
- 5 SUBGRADE
- 6 EDGER STAKE, INSTALL PER MANUFACTURER SPECIFICATIONS

2 BENDA BOARD EDGER

N.T.S.



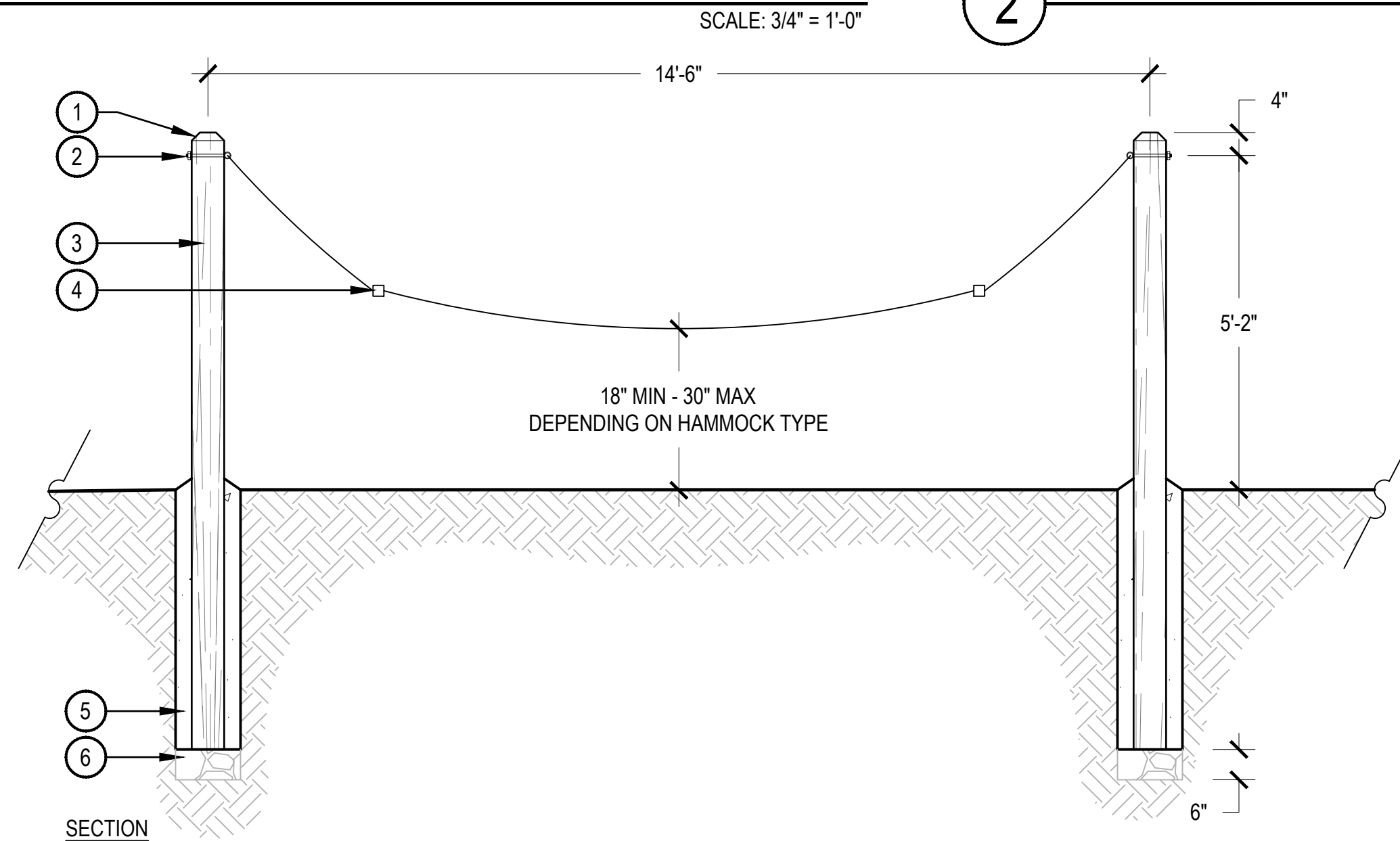
- 1 TURFGRASS OR DYLAND SEED
- 2 IRRIGATION HEADS SHOULD BE LOCATED ADJACENT TO MULCH BEDS, OFFSET HEAD INTO GRASS AREA TO ENSURE STABLE SUPPORT
- 3 PLANTING BED
- 4 VERTICAL SPADE CUT EDGE FILLED WITH SPECIFIED MULCH, TAPER EDGE OF BED SO MULCH IS DEEPER AGAINST SPADED EDGE
- 5 SPECIFIED DEPTH OF MULCH, TYPICALLY WOOD MULCH 3'-4" DEEP

NOTES:
1. ALL LUMBER SHALL BE ROUGH SAWN CEDAR, AND SHALL BE SOLID, STRAIGHT, FREE FROM KNOTS, SPLITS, SHAKES, AND DISCOLORATION.
2. WOOD STAIN TO MATCH ARCHITECTURE.
3. THIS DETAIL HAS NOT BEEN ENGINEERED. IT IS PROVIDED FOR REFERENCE PURPOSES ONLY. IF REQUIRED FOR PERMITTING, THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING OR PREPARING ENGINEERED DETAILS STAMPED BY A LOCALLY LICENSED ENGINEER.
4. ALL VERTICAL DIMENSIONS AS THEY RELATE TO FFE'S SHALL BE VERIFIED BY CONTRACTOR IN THE FIELD TO ENSURE PROPER HEIGHTS ARE ACHIEVED.

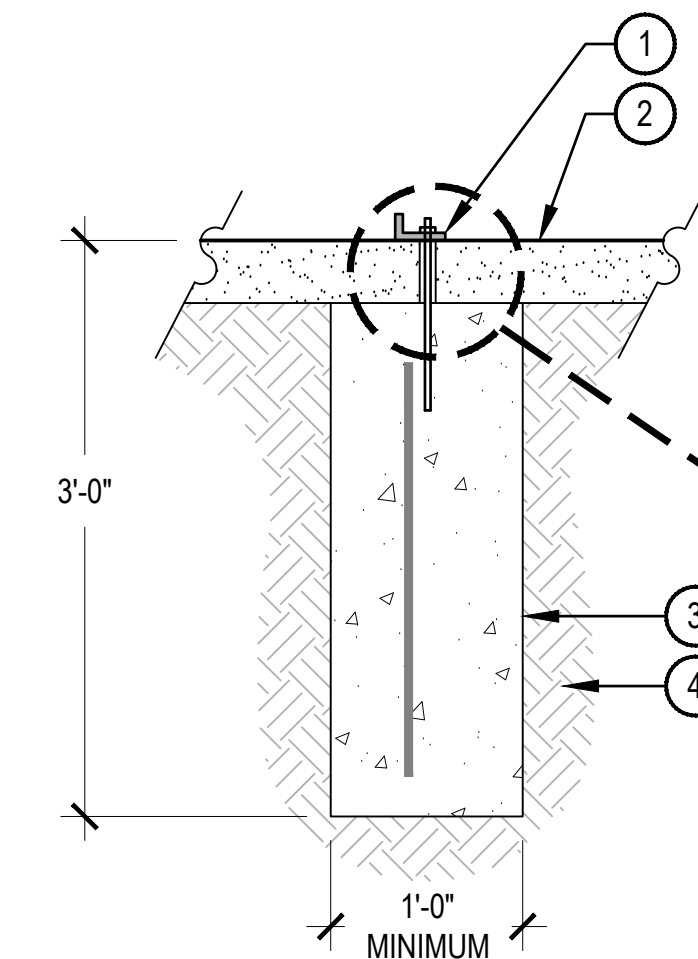
3 SPADE CUT EDGE

SCALE: 1/2" = 1'-0"

4 HAMMOCK



- 1 1.5" CHAMFER
- 2 8.5" STAINLESS STEEL EYEBOLT AND WASHERS
- 3 6" X 6" X 8' STAINED ROUGH SAWN, PRESSURE TREATED CEDAR POST
- 4 HAMMOCK, REFER TO AMENITY SCHEDULE
- 5 CONCRETE FOOTING PER STRUCTURAL ENGINEER
- 6 3/4" ANGULAR ROCK, 6" DEPTH



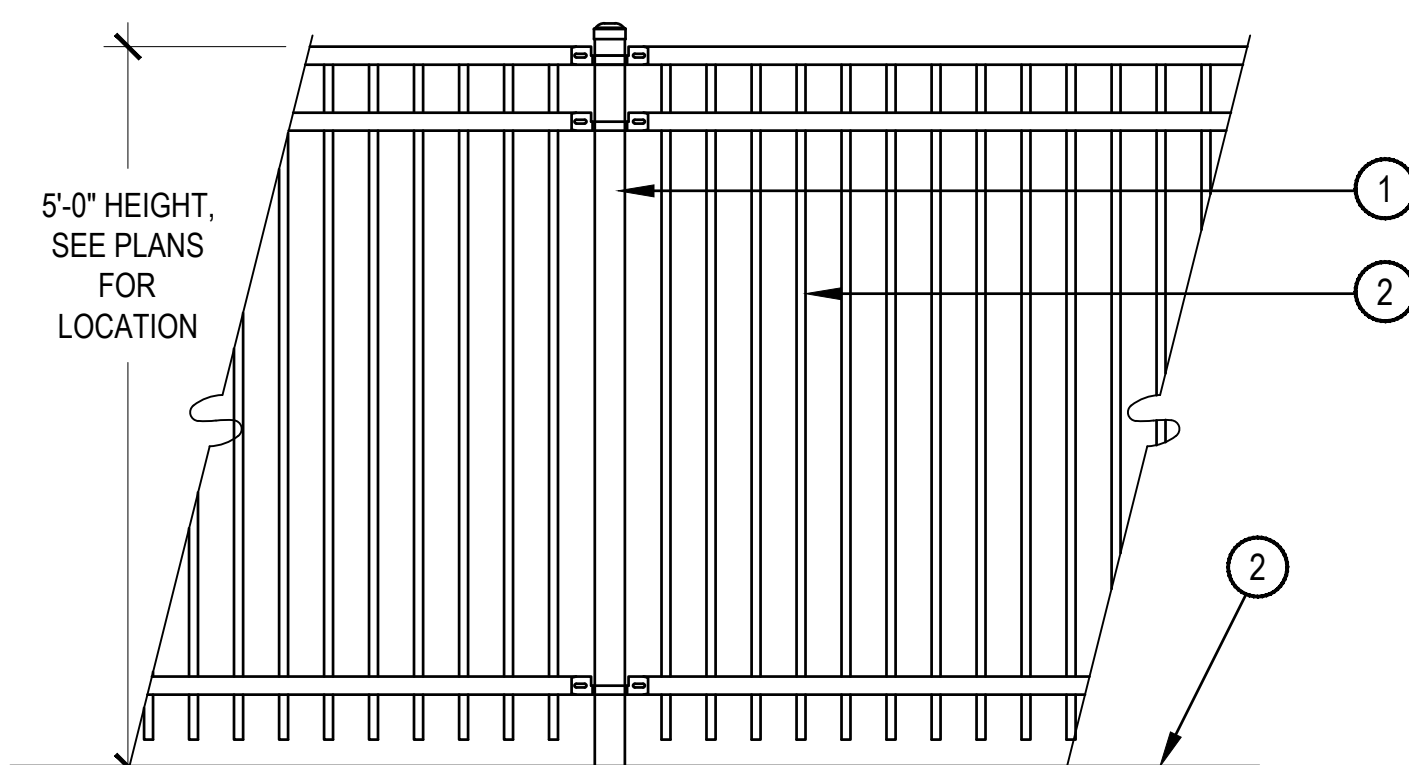
BENCHES, TRASH RECEPTACLES, AND TABLES

NOTES:
1. AFTER SIGNIFICANT SETTLING TIME, ALL-THREAD ROD(S) TO BE CUT FLUSH.

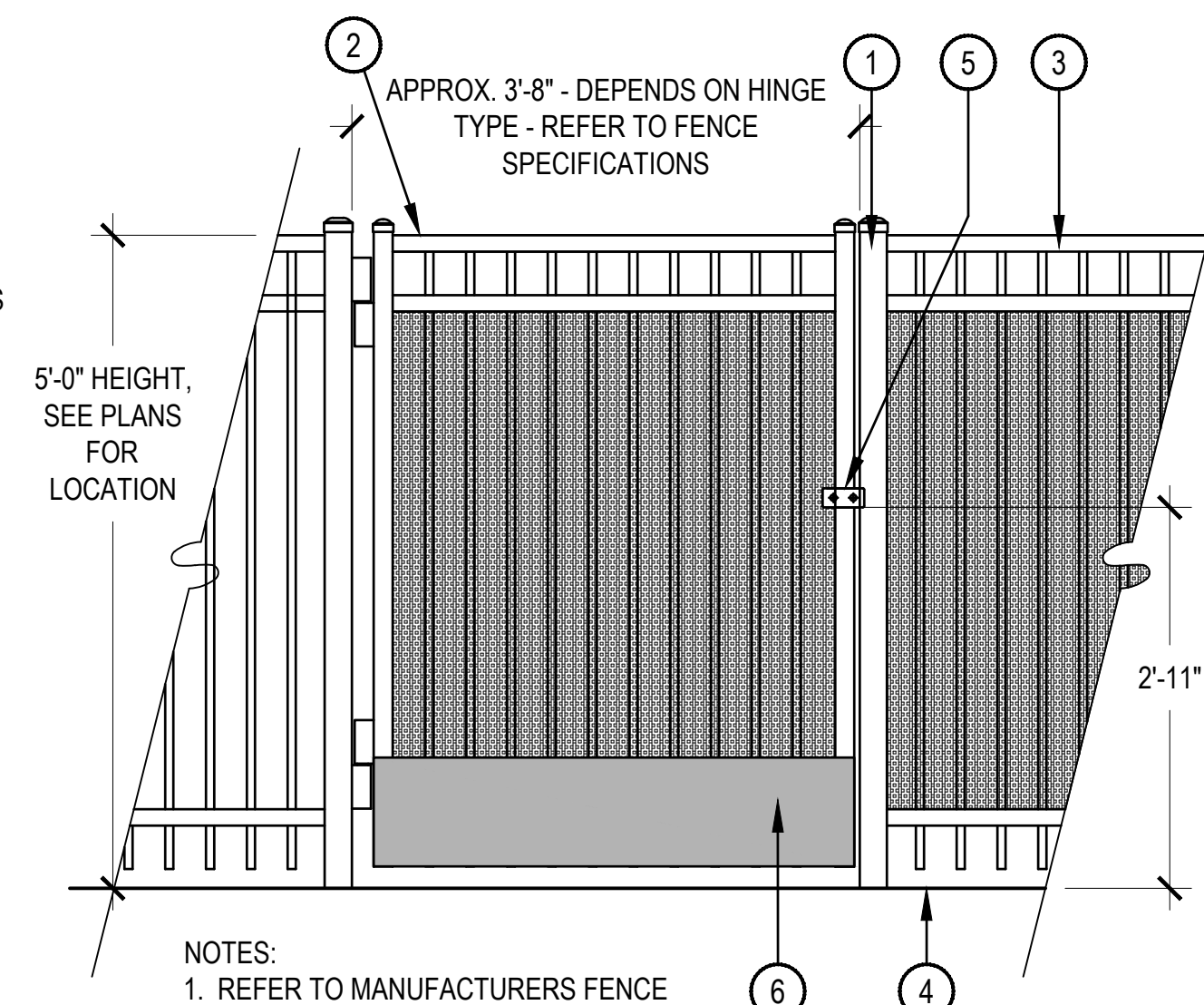
5 SURFACE MOUNT IN LANDSCAPE

SCALE: 1" = 1'-0"

6 METAL FENCE



- 1 FENCE POST - SET IN CONCRETE FOOTER, REFER TO FENCE MANUFACTURER FOR FOOTER INFORMATION
- 2 FINISH GRADE
- 3 METAL FENCE, REFER TO MATERIAL SCHEDULE, SEE PLANS FOR LOCATION AND HEIGHT



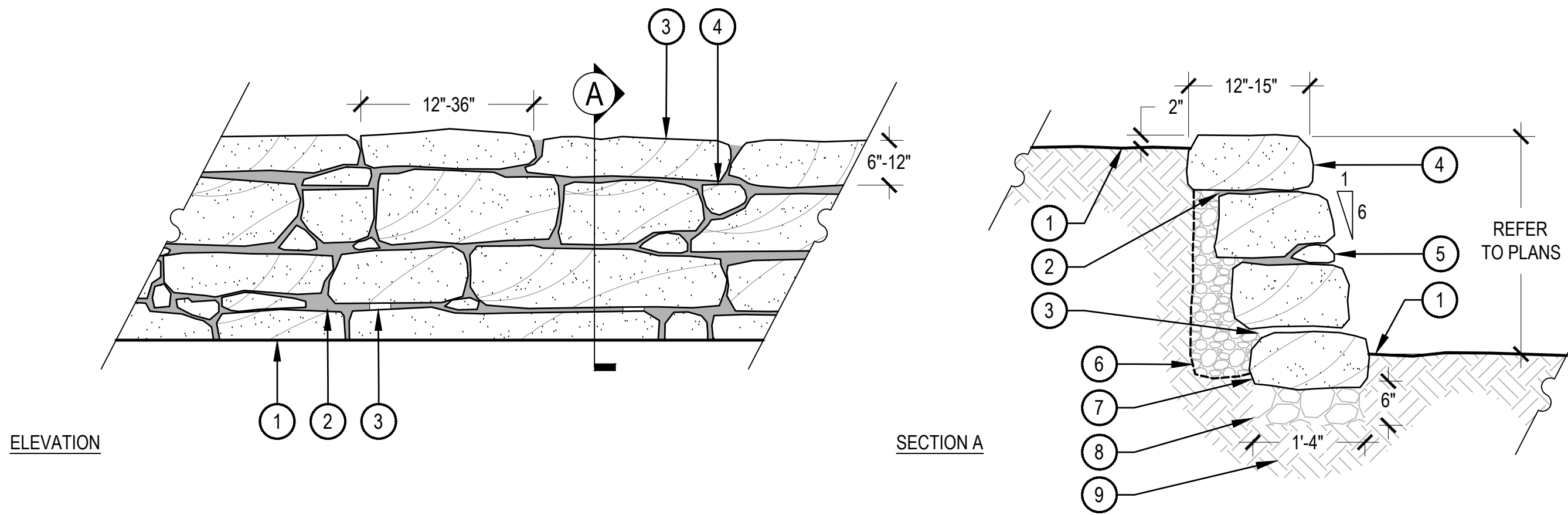
NOTES:
1. REFER TO MANUFACTURERS FENCE SPECIFICATIONS FOR INFORMATION ON FOOTER DEPTH.

7 METAL FENCE GATE

- 1 GATE POST TYP.
- 2 METAL FENCE GATE, REFER TO MATERIAL SCHEDULE; ALL GATES SHALL BE SELF CLOSING WITH GATE LOCK TO BE APPROVED BY OWNER. PROVIDE PANIC HARDWARE ON PUSH SIDE OF GATE FOR EGRESS, SPRING HINGES, ACCESS CONTROL LEVER HANDLE ON PULL SIDE
- 3 METAL FENCE, SEE MATERIAL SCHEDULE
- 4 FINISH GRADE
- 5 GATE TO BE ACCESS CONTROLLED, CONTRACTOR TO PROVIDE WELDED SAFETY PANEL TO GATES TO ENSURE ACCESS CONTROL OF GATE
- 6 WELD SMOOTH 10" ALUMINUM KICK PLATE, METAL AND POWDER COAT TO MATCH FENCE AND GATE

SCALE: 1/2" = 1'-0"

SCALE: 3/4" = 1'-0"

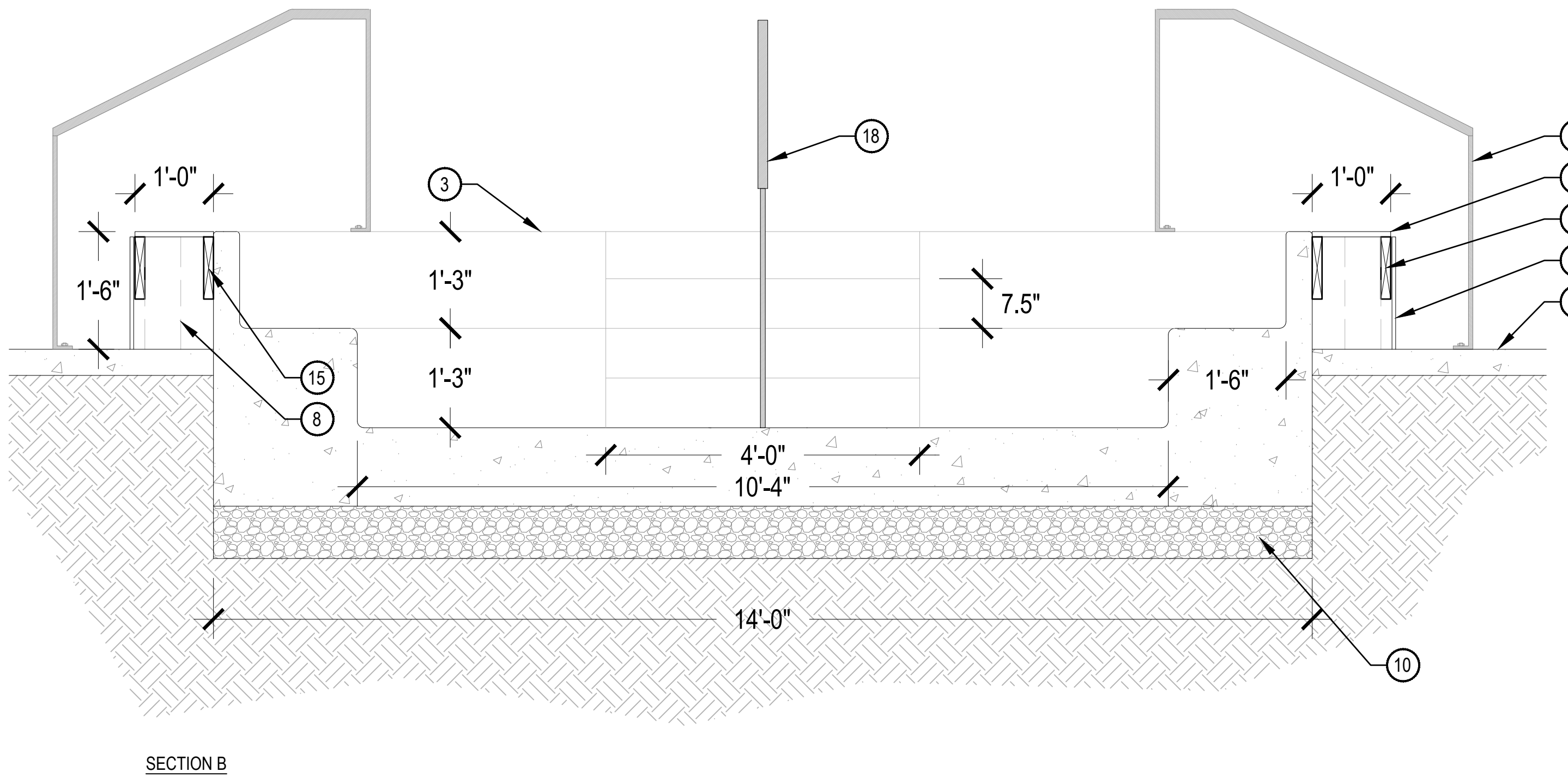
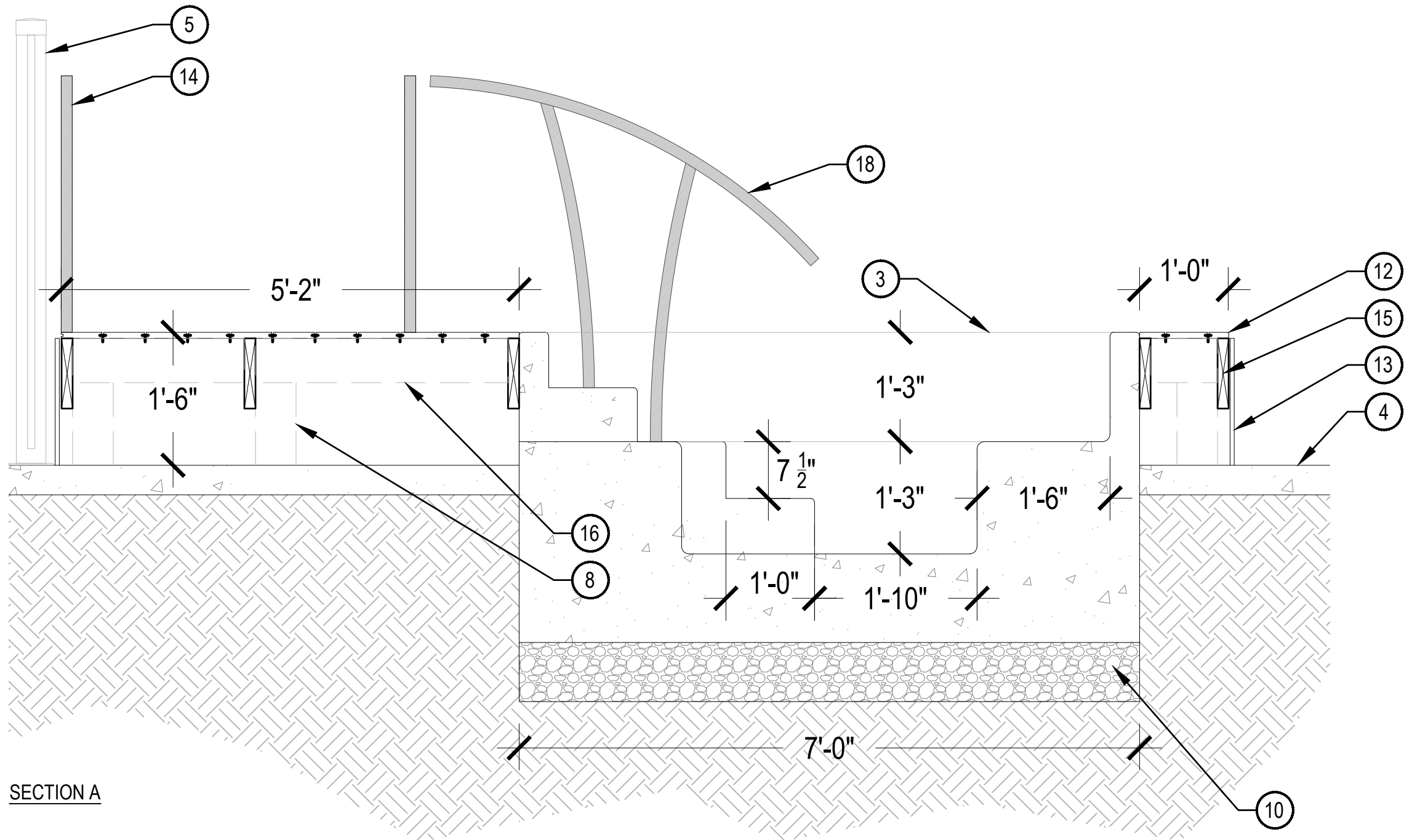


- 1 FINISH GRADE
- 2 MORTAR STONE IN PLACE, RAKE MORTAR BACK 1"
- 3 PROVIDE UNMORTARED GAPS BETWEEN STONE AS WEEP HOLES, 3'-0" ON CENTER MAXIMUM, 3" MINIMUM TO 6" MAXIMUM ABOVE FINISH GRADE
- 4 SILOAM STONE STACKED BOULDER WALL, REFER TO MATERIAL SCHEDULE ITEM N, SHEET LP-005
- 5 USE SMALLER STONES AS NEEDED TO LEVEL LARGER BOULDERS
- 6 BACKFILL WALL WITH 1" RIVER ROCK WRAPPED IN FILTER FABRIC
- 7 BURY BOTTOM 2/3 OF BOULDER BELOW FINISH GRADE
- 8 COMPACTED AGGREGATE BASE
- 9 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

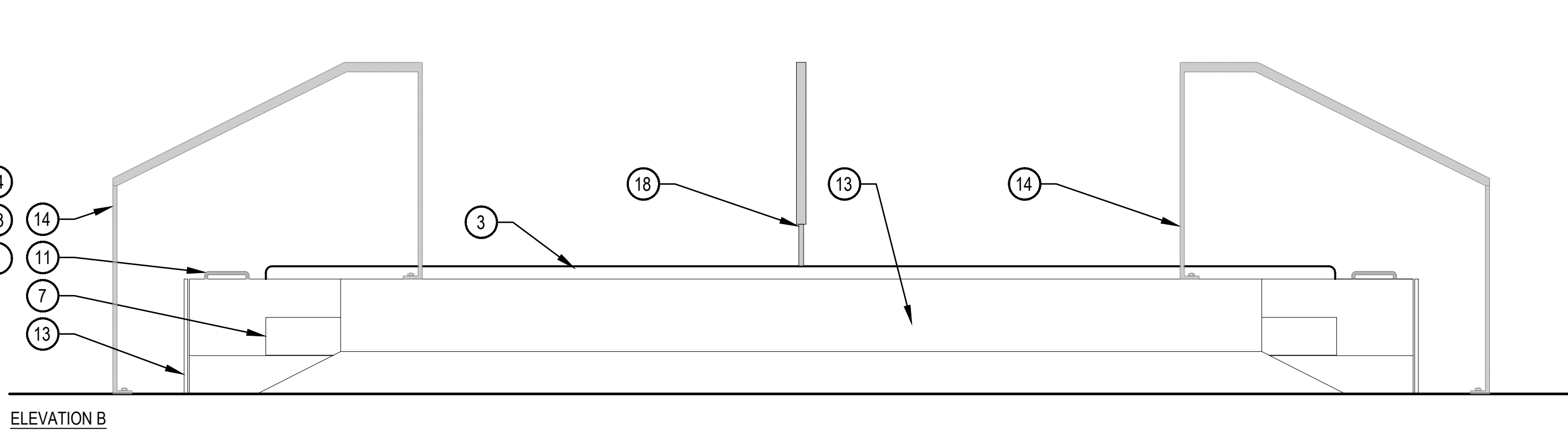
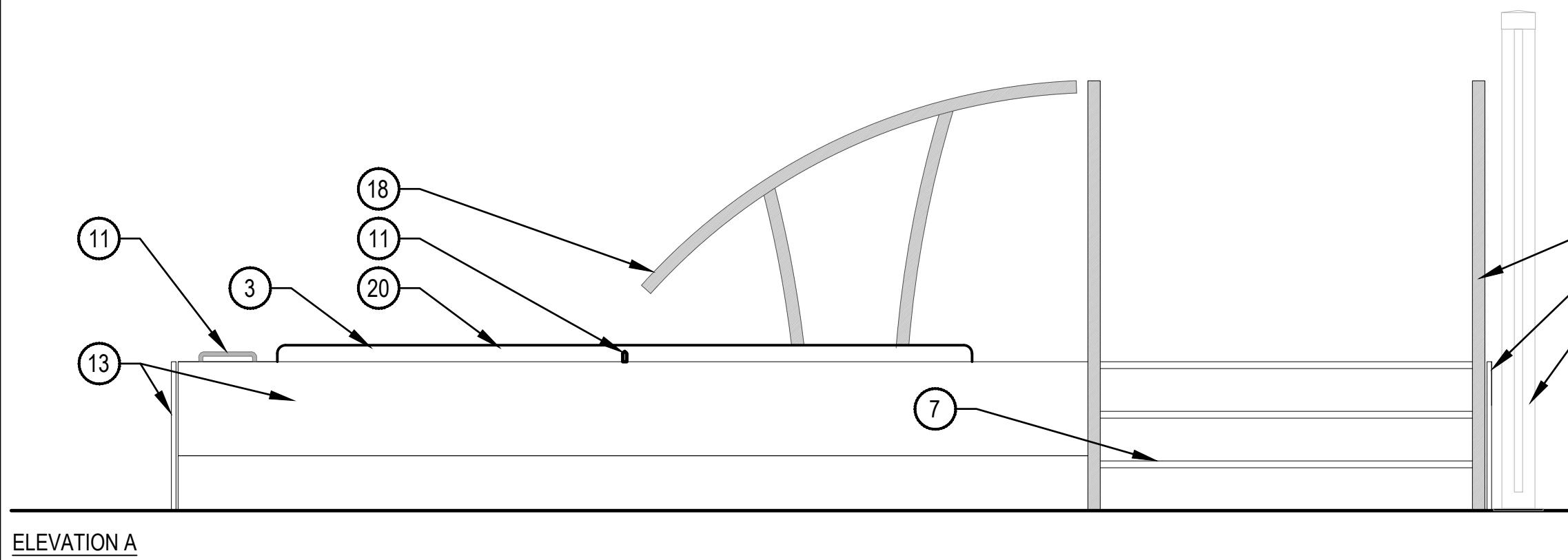
- NOTES:
- NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE, THIS DETAIL HAS NOT BEEN ENGINEERED.
 - CONTRACTOR TO PROVIDE A 10 FOOT LINEAR MOCK-UP FOR APPROVAL PRIOR TO INSTALLATION.

1 BOULDER SEAT WALL

SCALE: 3/4" = 1'-0"



- 1 ADJACENT LANDSCAPE, REFER TO PLANS
- 2 ADJACENT BUILDING, REFER TO ARCHITECTURE
- 3 CONCRETE FORM SPA, BY POOL CONTRACTOR
- 4 ADJACENT PATIO, REFER TO PLANS
- 5 METAL FENCE REFER TO DETAIL 6, SHEET LP-503
- 6 METAL FENCE GATE REFER TO DETAIL 7, SHEET LP-503
- 7 STAIR TREAD STRINGER
- 8 6X6 PRESSURE TREATED WOOD POST, DECK STRUCTURAL DESIGN BY OTHERS
- 9 PRIVACY SCREEN FENCE AND GATE
- 10 COMPACTED SUBGRADE AND DRAINAGE MATERIAL BY OTHERS
- 11 TRANSFER WALL GRAB BAR, GRAB BARS EXTEND TO WIDTH OF TRANSFER PLATFORM AND PERPENDICULAR TO SPA. TRANSFER WALL MAX HEIGHT 19" FROM TOP OF ADJACENT WALKING SURFACE, 5'X5' CLEAR SPACE DIRECTLY OUTSIDE OF TRANSFER WALL AND GRAB RAILS, MINIMUM DEPTH OF COPING OR DECK TO BE 12", MAXIMUM TO BE 16"
- 12 TREX SELECT DECKING, WOODLAND BROWN, 1" GROOVED EDGE BOARD. REFER TO MATERIAL SCHEDULE
- 13 12" TREX FASCIA BOARDS, WOODLAND BROWN
- 14 FREESTANDING HANDRAIL TO MEET ADA AND CODE REQUIREMENTS. FINAL DESIGN BY OTHERS.
- 15 2X10 PRESSURE TREATED WOOD BEAM
- 16 2X6 PRESSURE TREATED WOOD BEAM
- 17 POST ANCHOR, STRUCTURAL DESIGN BY OTHERS
- 18 SPA HANDRAIL, STAINLESS STEEL, TO BE PROVIDED BY SPA CONTRACTOR AND MEET ALL APPLICABLE COUNTY AND STATE CODE REQUIREMENTS



- NOTES:
- FINAL HOT TUB AND DECK DESIGN TO BE COMPLETED BY OTHERS.
 - FABRICATOR TO PROVIDE SHOP DRAWINGS WITH APPROPRIATE STAMPS FROM A LICENSED STRUCTURAL ENGINEER.
 - CONTRACTOR TO ENSURE ALL SURFACES ARE SMOOTH TO TOUCH.
 - ALL DECK BOARD FASTENERS TO BE HIDDEN. ALL OTHER FASTENERS SHALL BE GALVANIZED AND COUNTERSUNK FLUSH WITH SURFACE.

1 HOT TUB SECTIONS AND ELEVATIONS

SCALE: 3/4" = 1'-0"