



## Open Space Requirement Sequencing

Area	Useable Open Space SF	Cumulative Open Space SF	SF/300 (Useable Open Space Req.)	Cumulative Allowable Units by Open Space	Units Count (Per Bldg.)	Estimated Completion Date	3/4BR Apt							Total Spaces
							Building	Clubhouse	Studio	1BR	2BR	Unit	Townhome	
Clubhouse	4,122	4,122	14	14	-	6/1/2026								
Southeast Park	7,399	11,521	25	38	-	6/1/2026								
Playground	6,522	18,043	22	60	-	6/1/2026								
Building 9	-	-	-	60	48	48 7/1/2026								
Townhome Bldg 15	-	-	-	60	4	52 7/1/2026								
Lot 2 Perimeter Walking Loop	35,498	53,541	118	178	-	7/1/2026								
Open Lawn Amphitheatre	3,415	56,956	11	190	-	7/1/2026								
The Spine Extension	8,488	65,444	28	218	-	7/1/2026								
Maintenance Building	-	-	-	218	-	8/1/2026								
Building 8	-	-	-	218	45	97 9/1/2026								
Dog Park	8,315	73,759	28	246	-	10/1/2026								
Secluded Seating Area	6,471	80,230	22	267	-	10/1/2026								
Building 7	-	-	-	267	42	139 10/15/2026								
Gulch Overlook Trail	4,132	84,362	14	281	-	11/1/2026								
Townhome Bldg 13/Bldg 6	-	-	-	281	56	195 12/21/2026								
Townhome Bldg 13/Bldg 10	-	-	-	44	239	1/15/2027								
Evergreen Planting Area	4,915	89,277	16	298	-	4/1/2027								
Building 11/Townhome Bldg 12	-	-	-	44	283	4/1/2027								
Total	89,277	89,277	298	298	283	283								

\* Landscape Areas depicted on Landscape Plans Sheet LP-100

## IMPROVEMENTS TO BE DEVELOPED BY PHASE:

## PHASE 1B AND PHASE 2

PHASE 1B AND PHASE 2 ARE PROPOSED TO OCCUR CONCURRENTLY AND INCLUDE SITE IMPROVEMENTS WITHIN THE REMAINING PORTION OF LOT 2 AND LOT 3 AS SHOWN IN THE PROJECTED TIMELINE, THIS SHEET.

PHASE 1B AND PHASE 2 ALL ITEMS OUTLINED ON THE DEVELOPMENT PLAN MAP & CIVIL ENGINEERING PLANS INCLUDING BUT NOT LIMITED TO:

## OFFSITE ITEMS:

NO OFFSITE ITEMS ARE INCLUDED IN THE PHASE 1B AND PHASE 2 DEVELOPMENT.

## BUILDINGS, SITE WORK, ROADS &amp; PARKING:

BUILDING 6-15, A CLUBHOUSE, AND A MAINTENANCE BUILDING WILL BE CONSTRUCTED IN PHASE 1B AND 2.

CONTINUED CONSTRUCTION OF MT. EVE ROAD, MT. THOMAS ROAD, WINTER RIDGE ROAD, MIDDLE MOUNTAIN ROAD, AND WINTER RIDGE SPUR AS DEPICTED ON THE DEVELOPMENT PLAN MAP AND PHASING PLAN MAP.

PARKING SPACES INCLUDE 427 SURFACE SPACES, 78 CARPORT SPACES, AND 36 GARAGE SPACES.

OPEN SPACE: TRACT OS-1 AND OS-2 HAVE BEEN BUILT AND LANDSCAPED IN THEIR ENTIRETY AS PART OF PHASE 1A. TRACT OS-1 HAS BEEN DEDICATED TO THE TOWN OF EAGLE AND IS MAINTAINED BY THE TOWN OF EAGLE AS DEFINED IN THE DEVELOPMENT AGREEMENT. TRACT OS-2 WILL BE MAINTAINED BY THE OWNER.

LIGHTING: LIGHTING TO BE INSTALLED AS SHOWN ON THE PHASE 1B AND 2 LIGHTING PLAN.

UTILITIES: ELECTRICAL, FIBER OPTIC, WATER MAIN LINES AND SEWER MAIN LINES ARE ALL BEING SIZED TO ACCOMMODATE PHASE 1B AND PHASE 2 AS WELL AS PHASE 1A AND PHASE 1B.

DRAINAGE AND RETENTION: ALL DRAINAGE SHOWN ON THE DEVELOPMENT PLAN MAP HAS BEEN BUILT PHASE 1A INCLUDING THE RETENTION PONDS IN TRACT OS-2 AND THE HOCKETT GULCH DRAINAGE CHANNEL. CULVERTS HAVE BEEN INSTALLED UNDER MT. POWELL ROAD AT THE NORTHERN END OF THE HOCKETT GULCH DRAINAGE CHANNEL. A LOW FLOW WATER CROSSING CULVERT WILL BE BUILT IN PHASE 1B AND PHASE 2 AT THE SOUTHERN END OF THE HOCKETT GULCH DRAINAGE CHANNEL TO ACCOMMODATE A PEDESTRIAN CROSSING.

## NOTES:

- FIRE ACCESS ROADS AND HYDRANTS REQUIRED TO BE INSTALLED AND INSPECTED PRIOR TO ANY FRAMING
- LANDSCAPING IS REQUIRED TO BE COMPLETED IN BUILDING AREAS IF BUILDINGS ARE READY FOR TCO IN JULY-OCTOBER, OTHERWISE, LANDSCAPING WILL BE INSTALLED BY THE NEXT SUMMER
- TEMPORARY FENCING WILL BE MOVED DURING CONSTRUCTION TO ENSURE ACCESS, SAFETY AND APPROPRIATE PARKING AS BUILDINGS RECEIVE THEIR TCO
- AMENITIES AND OPEN SPACE WILL BE AVAILABLE IN KEEPING WITH CODE REQUIREMENTS AS BUILDINGS OPEN
- DATES SUBJECT TO CHANGE BASED ON WEATHER, CONTRACTOR AND MATERIAL AVAILABILITY

Project Manager	23-1012		No.	Issue / Revision	Date
	1	2			
DREW VERRATTI	1	2	1	MDP SUBMITTAL	3/17/2024
DREW VERRATTI	2	3	2	2ND MDP SUBMITTAL	7/17/2024
MICHAEL BRENNAN	3	4	3	3RD MDP SUBMITTAL	11/06/2024
MARK LUNA	△	△	4	4TH MDP SUBMITTAL	01/14/2025

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Sheet Number:

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