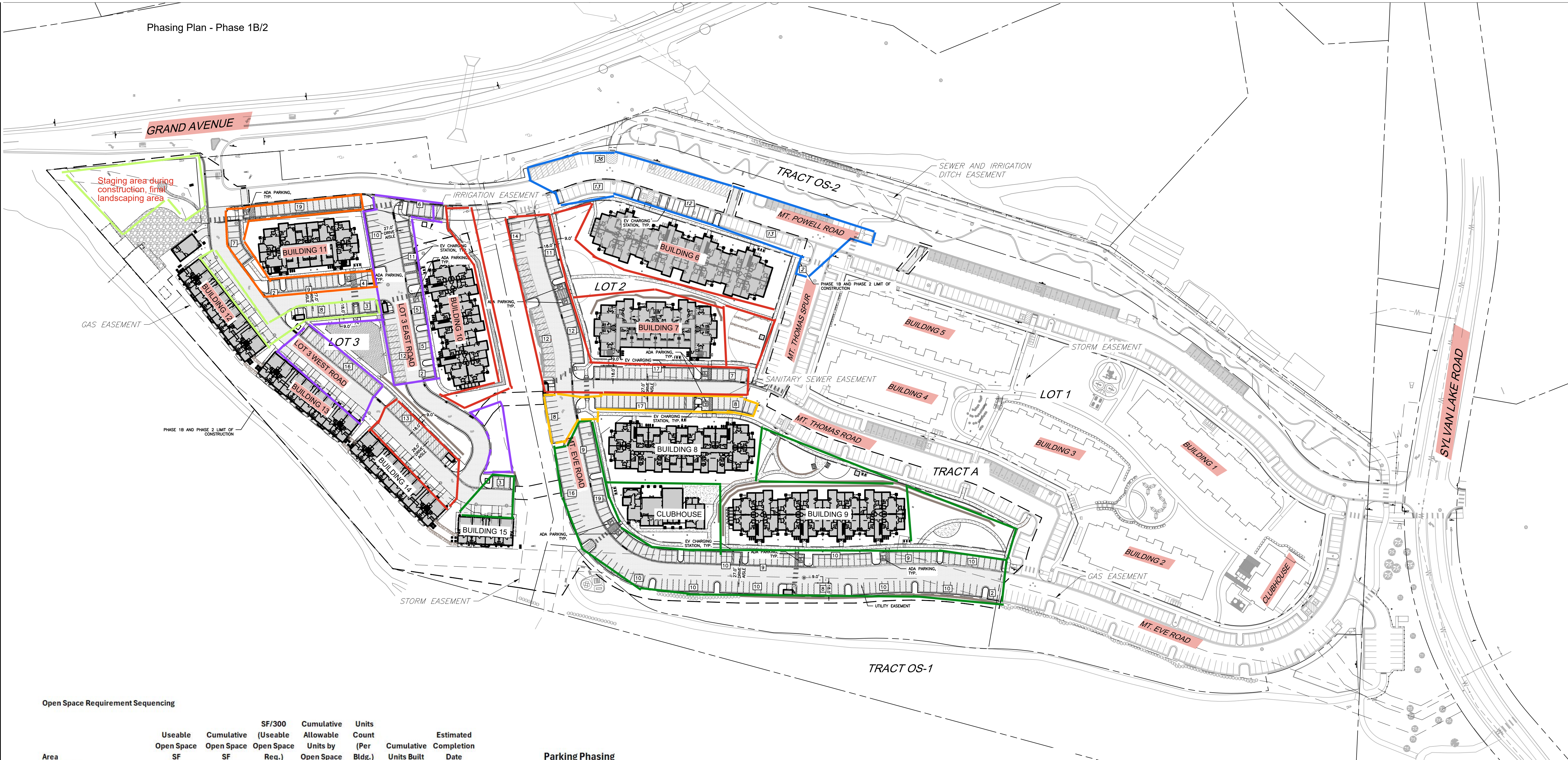


PLOT DATE: Tuesday, February 4, 2025 3:10 PM LAST SAVED BY: DVERRATTI
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Phasing Plan - Phase 1B/2



Open Space Requirement Sequencing

Area	Useable Open Space SF	Cumulative Open Space SF	SF/300 (Useable Open Space Req.)	Cumulative Allowable Units by Open Space	Units Count (Per Bldg.)	Cumulative Units Built	Estimated Completion Date
Clubhouse	4,122	4,122	14	14	-	-	6/1/2026
Southeast Park	7,399	11,521	25	38	-	-	6/1/2026
Playground	6,522	18,043	22	60	-	-	6/1/2026
Building 9	-	-	-	60	48	48	7/1/2026
Townhome Bldg 15	-	-	-	60	4	52	7/1/2026
Lot 2 Perimeter Walking Loop	35,498	53,541	118	178	-	-	7/1/2026
Open Lawn Amphitheatre	3,415	56,956	11	190	-	-	7/1/2026
The Spine Extension	8,488	65,444	28	218	-	-	7/1/2026
Maintenance Building	-	-	-	218	-	-	8/1/2026
Building 8	-	-	-	218	45	97	9/1/2026
Dog Park	8,315	73,759	28	246	-	-	10/1/2026
Secluded Seating Area	6,471	80,230	22	267	-	-	10/1/2026
Building 7	-	-	-	267	42	139	10/1/2026
Gulch Overlook Trail	4,132	84,362	14	281	-	-	11/1/2026
Townhome Bldg 14/Bldg 6	-	-	-	281	56	195	12/21/2026
Townhome Bldg 13/Bldg 10	-	-	-	281	44	239	1/15/2027
Evergreen Planting Area	4,915	89,277	16	298	-	-	4/1/2027
Bldg11/Townhome Bldg 12	-	-	-	298	44	283	4/1/2027
Total	89,277	89,277	298	298	283	283	

* Landscape Areas depicted on Landscape Plans Sheet LP-100

IMPROVEMENTS TO BE DEVELOPED BY PHASE:

PHASE 1B AND PHASE 2

PHASE 1B AND PHASE 2 ARE PROPOSED TO OCCUR CONCURRENTLY AND INCLUDE SITE IMPROVEMENTS WITHIN THE REMAINING PORTION OF LOT 2 AND LOT 3 AS SHOWN IN THE PROJECTED TIMELINE, THIS SHEET.

PHASE 1B AND PHASE 2 ALL ITEMS OUTLINED ON THE DEVELOPMENT PLAN MAP & CIVIL ENGINEERING PLANS INCLUDING BUT NOT LIMITED TO:

OFFSITE ITEMS:

NO OFFSITE ITEMS ARE INCLUDED IN THE PHASE 1B AND PHASE 2 DEVELOPMENT.

BUILDINGS, SITE WORK, ROADS & PARKING:

BUILDING 6-15, A CLUBHOUSE, AND A MAINTENANCE BUILDING WILL BE CONSTRUCTED IN PHASE 1B AND 2.

CONTINUED CONSTRUCTION OF MT. EVE ROAD, MT. THOMAS ROAD, WINTER RIDGE ROAD, MIDDLE MOUNTAIN ROAD, AND WINTER RIDGE SPUR AS DEPICTED ON THE DEVELOPMENT PLAN MAP AND PHASING PLAN MAP.

PARKING SPACES INCLUDE 427 SURFACE SPACES, 78 CARPORT SPACES, AND 36 GARAGE SPACES.

OPEN SPACE: TRACT OS-1 AND OS-2 HAVE BEEN BUILT AND LANDSCAPED IN THEIR ENTIRETY AS PART OF PHASE 1A. TRACT OS-1 HAS BEEN DEDICATED TO THE TOWN OF EAGLE AND IS MAINTAINED BY THE TOWN OF EAGLE AS DEFINED IN THE DEVELOPMENT AGREEMENT. TRACT OS-2 WILL BE MAINTAINED BY THE OWNER.

LIGHTING: LIGHTING TO BE INSTALLED AS SHOWN ON THE PHASE 1B AND 2 LIGHTING PLAN.

UTILITIES: ELECTRICAL, FIBER OPTIC, WATER MAIN LINES AND SEWER MAIN LINES ARE ALL BEING SIZED TO ACCOMMODATE PHASE 1B AND PHASE 2 AS WELL AS PHASE 1A AND PHASE 1B.

DRAINAGE AND RETENTION: ALL DRAINAGE SHOWN ON THE DEVELOPMENT PLAN MAP HAS BEEN BUILT IN PHASE 1A INCLUDING THE RETENTION PONDS IN TRACT OS-2 AND THE HOCKETT GULCH DRAINAGE CHANNEL. A BOX CULVERT HAS BEEN INSTALLED UNDER MT. POWELL ROAD AT THE NORTHERN END OF THE HOCKETT GULCH DRAINAGE CHANNEL. A LOW FLOW WATER CROSSING CULVERT WILL BE BUILT IN PHASE 1B AND PHASE 2 AT THE SOUTHERN END OF THE HOCKETT GULCH DRAINAGE CHANNEL TO ACCOMMODATE A PEDESTRIAN CROSSING.

Parking Phasing

Phase 1A Dedicated Parking to 1B

Spaces 76

Clubhouse & MF Bldg #9 (152 Add'l Spaces)

Spaces Required 90

Spaces Provided 228

Clubhouse, MF Bldg #9, TH #15 (15 Add'l Spaces)

Spaces Required 102

Spaces Provided 243

Clubhouse, MF Bldg #9, #8, TH #15 (33 Add'l Spaces)

Spaces Required 182

Spaces Provided 276

Clubhouse, MF Bldg #9, #8, #7, #6, TH #15 (73 Add'l Spaces)

Spaces Required 344

Spaces Provided 349

Clubhouse, MF Bldg #9, #8, #7, #6, TH #15, #14 (33 Add'l Spaces)

Spaces Required 368

Spaces Provided 382

Clubhouse, MF Bldg #9, #8, #7, #6, TH #15, #14, #13 (36 Add'l Spaces)

Spaces Required 392

Spaces Provided 418

Clubhouse, MF Bldg #10, #9, #8, #7, #6, TH #15, #14, #13 (51 Add'l Spaces)

Spaces Required 456

Spaces Provided 469

Clubhouse, MF Bldg #10, #9, #8, #7, #6, TH #15, #14, #13, #12 (31 Add'l Spaces)

Spaces Required 480

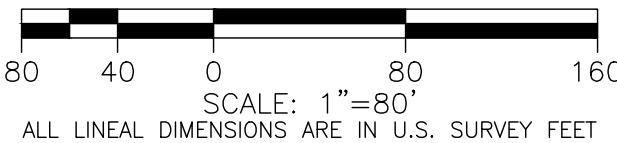
Spaces Provided 500

Clubhouse, MF Bldg #11, #10, #9, #8, #7, #6, TH #15, #14, #13, #12 (41 Add'l Spaces)

Spaces Required 537

Spaces Provided 541

Building	Clubhouse	Studio	1BR	2BR	3/4BR Apt Unit	Townhome	Total Spaces
Clubhouse	3	1.5	1.5	2	2.5	3	
Clubhouse	1	0	0	0	0	0	3
Building 9	0	0	18	30	0	0	87
Building 8	0	21	6	12	6	0	79.5
Building 7	0	18	6	18	0	0	72
Building 6	0	0	12	36	0	0	90
Building 10	0	0	15	21	0	0	64.5
Building 11	0	18	12	6	0	0	57
TH Building 15	0	0	0	0	0	4	12
TH Building 14	0	0	0	0	0	8	24
TH Building 13	0	0	0	0	0	8	24
TH Building 12	0	0	0	0	0	8	24
Total	1	57	69	123	6	28	537



RESERVE AT HOCKETT GULCH

PHASES 1B & 2
CIVIL CONSTRUCTION PLANS

PARKING PLAN

No.	Issue / Revision	Date	Name
1	MDP SUBMITTAL	3/21/2024	M/M
2	2ND MDP SUBMITTAL	7/17/2024	M/M
3	3RD MDP SUBMITTAL	11/06/2024	M/M
4	4TH MDP SUBMITTAL	01/14/2025	M/M

Job Number	Project Manager	Design By	Drawn By	Principal In Charge
23.1012	DREW VERRATTI	DREW VERRATTI	MICHAEL BRENNAN	MARK LUNA

Sheet Number:

