



TOWN OF EAGLE REFERRAL RESPONSE SUMMARY REPORT

ISSUED: August 13, 2025

Project Name: Vail Valley Design Center Development Plan and Lot Consolidation (DR25-04 & LLA25-02)

Owner/Applicant: 1215 Chambers LLC

Applicant: Alison Perry, Vail Land Co

Prepared by: Alyssa Rivas, Planner – Community Development Department

The Eagle Community Development Department is issuing the following Referral Response Summary Report. If you have any questions or concerns regarding any comment, contact me or the individual agency to clarify the statement and reach an understanding. It is in the applicant's best interest to contact each internal and external referral agency directly in order to streamline the development review process.

COMMENTS SECTION

Planning Department – Alyssa Rivas: alyssa.rivas@baselinecorp.com

Summary and Potential Conflicts with Adopted Plans and Codes

The proposed development substantially conforms to the lot and dimensional standards for the CG zone district and meets or exceeds several requirements. However, many site layout and structure design standards; including those for the Chambers Avenue Area do not appear to be met. Additionally, there are potential concerns regarding the lack of housing proposed with the development.

General Notes

1. The Site Data Table on Sheet C1.1 contains conflicting information compared to the tables on the following sheets (see attached redlines). Please revise for consistency across all sheets.
2. Include a legend on the Landscape Plan sheet for colored elements such as grass, turf, and snow storage areas.

Section 4.02.050. – Inclusionary Housing Requirements for Affordable and Local Employee Residency (LERP)

1. Although housing is not proposed as part of the development, the Town of Eagle Comprehensive Plan and the Eagle Area Community Plan highlight the goals and visions for affordable housing and workforce housing options. The Town of Eagle Economic Development & Housing Specialist and the Eagle County Community Development Department encourage the implementation of housing options either on-site or off-site as part of the current proposed design, or as a potential future phase (see attached agency comments for detailed



responses). Provide a response addressing this concern. Please note that potential housing may be subject to the Inclusionary Housing Requirements for Affordable and Local Employee Residency (LERP) standards in Section 4.02.050.

Section 4.05.030. – Commercial General (CG)

1. The development proposes the maximum allowed lot coverage for the CG zone district (80%). While currently in compliance, please note that any changes which cause the impervious area to exceed this percentage may require a variance. **This comment is informational.**
2. Although all proposed buildings appear to be under the maximum allowed height of 35 feet, some of the architectural elevation sheets imply that the buildings have an overall height of 22'-11 ¼" (as measured from the main level). Note that building height shall be measured according to the definition in Section 4.20.020: *Building height means the distance measured vertically from the existing grade or finished grade (whichever is more restrictive) at any given point outside the building to the top of a flat roof, mansard roof, or sloping roof.* Revise the labels on all applicable exterior elevation sheets. "Height from main level" dimensions may be left on the elevations as a reference point, but should not be considered an absolute. It appears that the overall height of several buildings is in the range of approximately 34 feet.

Chapter 4.09. – Use Standards

1. Consider staff and agency comments that have been provided regarding the need for housing, and consider if any appropriate types of residential uses are permitted by Chapter 4.09. Per the Accessory Use Table in Section 4.09.030, *Employee Dwelling Units* are subject to the Minor Review criteria (this application type) set forth in Chapter 4.17, as well as the standards in Section 4.09.100 L. Revise the narrative and any other documentation as necessary to explain how the incorporation of residential or accessory uses into the development will comply with applicable sections.
2. The Project Narrative states that "buildings will be used for automobile-oriented warehouse-distribution, showroom, artisan and contractor commercial uses, possibly with some outdoor storage." It also states that "indoor only access self-service storage" may be considered at a future time.
 - a. Note that Self-Storage/Mini-Storage uses require Conditional Use approval in the CG zone and are subject to the standards in Section 4.09.070 B.1. and the review procedures outlined in Chapter 4.17. Since it is undetermined at this time if/what types of storage uses will be proposed, and because the Self-Service Storage use falls under the Commercial Uses category, revise page 8 of the narrative to state that both types of storage will be in compliance with relevant sections: *"Where the Design Center hosts any industrial, wholesale, or storage businesses (either indoor self-storage/mini-storage or outdoor storage); or has any accessory uses, it will comply with the requirements found in Section 4.09.070: Standards for Commercial Uses; Section 4.09.080: Standards for Industrial, Wholesale and Storage Uses; and Chapter 4.09.100: Accessory Uses and Structures."*

Section 4.10.030. – Design Standards Applicable to all Sites and Structures

1. *Access and connectivity:* For multi-building projects, pedestrian and bicycle connectivity shall be provided between the project and existing or planned off-site amenities such as regional trails, bus stops, retail destinations, and open space. Does the foot path on the north side of the property connect to existing trails or open space? Provide more information to clarify how this requirement is being met.
2. *Building and facilities placement:* Trash enclosures shall be positioned for easy access by service providers, screened from public view, and containers or enclosures shall be wildlife resistant. Are these the items shown



adjacent to Buildings 4-5 and Building 7 on Sheet C1.1? If so, they are shown in different locations on the following sheets. Please add labels for clarity and include additional information on enclosure screening to confirm that Section 4.11.060 screening standards are being met.

3. *Permitted façade materials:* Patinaed or color-treated metal may be used on accent wall surfaces. The woodgrain aluminum plank cladding appears to comply with this requirement. However, the remaining portions of the building walls are comprised primarily of metal siding and corrugated panels. Section 4.10.030.B contains permitted facade materials. Additional materials with similar durability may be approved by the Director.
4. *Sidewalks and furnishings:* Sidewalks shall be constructed as determined by the Public Works Director or by a comprehensive sidewalk plan. Clarify if a sidewalk plan was provided, and if it complies with the standards in Section 4.10.030.F. It must also link an existing pedestrian system per Chambers Avenue area requirements in Section 4.10.050.C.2.

Section 4.10.050. – Mixed-Use and Commercial Structure and Site Design Standards

1. *Mechanical:* All mechanical equipment, either ground-mounted or located on a rooftop (including electrical and other utility boxes and facilities), shall be screened from public view and shall comply with the screening standards in Section 4.11.060. **This comment is informational.**
2. *Mechanical:* Underground utility connection is required unless otherwise provided by the Building Official. Where the connection meets the building, risers, utility meters, panel boxes, or similar, are encouraged to be covered with the same or compatible material as the siding material unless expressly prohibited by utility company regulations. **This comment is informational – if staff has a misunderstanding, please clarify.**
3. *Parking location:* Parking areas shall be screened from view from I-70 with opaque landscape screening. Provided landscaping meets the minimum 15-foot buffer width but does not meet the minimum tree count requirements. As such, the provided landscaping does not appear to provide sufficient screening. Tree species, groupings and height at maturity shall be sufficient to screen outdoor uses on the property from views from vehicles traveling in either direction on I-70. If staff has a misunderstanding, please clarify.
4. *Roof design:* The minimum roof pitch for commercial buildings is 3:12.

Section 4.10.050.C.2 – Chambers Avenue Area Standards

5. *General site layout and landscaping:* Sidewalks linking an existing pedestrian system of the block to the building shall be required. The sidewalk/foot path on the north and south sides of the property are acknowledged, however internal sidewalks do not connect and therefore do not meet this requirement.
6. *General site layout and landscaping:* Lots that abut the 1-70 corridor shall have a minimum 15-foot landscaped buffer paralleling the property line shared with the interstate right-of-way. **This requirement is being met.**
 - a. One tree is required to be planted for every 25 linear feet of property line within the buffer area – **this requirement does not appear to be met.**
 - b. A minimum of one-third of all required trees shall be evergreen, and shall be placed 20 feet on center minimum and 30 feet on center maximum, in groups of three or five. Shrub massing shall be used in conjunction with tree plantings. Selected shrubs shall have a minimum mature height of eight feet and should be a minimum of 5 gallons – **this requirement does not appear to be met.**
7. *General site layout and landscaping:* Structure space that is designed to be publicly accessible, such as offices or showrooms, shall be oriented to a street front, and where possible to a corner to establish the building lines of each street. Please clarify which building(s) are intended for these uses as it does not appear that they are oriented to the street front.



8. *Site layout for outdoor uses:* Areas for outdoor storage, truck parking, trash collection, loading, or other such uses shall not be visible from public or private rights-of-way or from the I-70 Corridor. Note earlier staff comments regarding clarification of potential future storage uses and the location of trash receptacles. No areas for outdoor storage, trash collection, loading, or other such uses shall be located within 20 feet of any public or street, public sidewalk, or formal internal pedestrian way, such as a marked or signed walkway. Clarify if these requirements are being met.
9. *Site layout for outdoor uses:* Loading docks, truck parking, outdoor storage, utility meters, HVAC equipment, trash dumpsters and trash compactors shall be incorporated into the overall design of the building and the landscaping so that their visual impacts are screened from view from adjacent properties and public streets, and the screening materials shall be consistent with the principal materials of the building and landscaping. Revise the Project Narrative statement to account for these requirements.

Section 4.11.030. - General requirements for all landscaping

1. *Minimum plant specifications:* Shrubs should be incorporated into the required landscape area (both for Chambers Avenue Area along I-70 and adjacent to any other streets) and should be a minimum of five gallons.

Section 4.11.040. - Location specific standards

1. *I-70 corridor buffer:* Required landscaped areas shall be planted at the rate of one tree per 25 square feet for all streets in the required landscaped area. This applies to the Chambers Avenue Area along I-70 and in the areas adjacent to any other streets. As noted, the standard does not appear to be met in either location.

Section 4.11.050. - Parking lot landscaping

1. *Landscaped islands or rain gardens required:* Landscape islands or rain gardens shall be used to separate rows of more than ten parking spaces. This standard appears to be primarily met, except for in certain locations near Buildings 1, 4, and 6. If staff has a misunderstanding, please clarify.

Section 4.11.070. – Fencing

1. Dog run fencing and any other fencing requires a building permit if over 6-feet in height. All fencing is subject to the standards in Section 4.11.070, including maximum height limitations. **This comment is informational.**

Section 4.12.040. – Required off-street vehicle parking

1. Provided off-street vehicle parking counts appear to meet or exceed the requirements based on the provided use breakdowns for Warehouse, Office, and Retail individually. However, further clarification is required on the amount of building space devoted to each use - i.e., is each building only going to have one use contained within? How was required and provided parking calculated without a breakdown of uses in each building?

Per this code section, when there are multiple structures on a lot or multiple uses in a structure, parking shall be calculated separately for each different use area in a building or on a site, including all accessory uses. Additionally, parking spaces required on a per-employee basis shall be based on the maximum number of employees on duty and residing on the premises at any one time (if applicable). As discussed, there may be an option to keep a running parking allocation plan that ensures no combination of uses exceeds the provided parking; which is to be determined as tenants are acquired. This can be discussed further pending clarification of the questions above.



Section 4.12.050. – Bicycle parking

1. Provided bicycle parking counts appear to meet or exceed the requirements based on the provided use breakdowns for Warehouse, Office, and Retail individually. However, further clarification is needed based on the same reasoning for off-street parking above. Bicycle parking shall comply with all standards in this section.

Section 4.12.070. - Vehicle parking access, location, and design

1. *Stall size:* Include dimensions of off-street parking spaces, which shall cover an area not less than 9 feet wide and 19 feet long (except for designated compact spaces, which will be no less than 8 feet wide and 16 feet long). No more than 20% of the total spaces required shall be compact. Include the numerical breakdown of standard and compact parking spaces in the tables. Acknowledged that provided parallel parking spaces meet the minimum length requirements.

Section 4.12.090. - Loading spaces

1. Label any loading spaces and provide the dimensions to demonstrate conformance with Section 4.12.090.

Section 4.13.020. – Outdoor Lighting Demonstration of compliance

1. Include a Photometric Schedule on the provided Lighting Plan which includes calculations for site illumination resulting from the lighting measured in lumens and foot-candles; including minimum, maximum, and average lumens and foot-candles and uniformity ratios. Acknowledged that numerical grid of lighting levels in foot-candles has been provided.

Section 4.15.010 – Subdivision Design and Improvement Standards

1. Access easements are required for shared access points.
2. See additional attached comments from Reviewing Surveyor, Public Works Department, and DWR.

Chapter 4.14 – Sustainability, Resilience, and Hazards

1. Per Colorado Geological Survey (CGS), geologic hazards appear to be addressed in the report included with the application. See detailed comments from CGS attached – note that and the project can likely satisfy the Town’s LUDC requirements for geologic hazard mitigation and public safety through measures and verifications which will be required as conditions of approval.

Chapter 4.16 – Signs

1. All signs will need to be approved through a separate sign application outside of those required for circulation, utilities, and emergency services. **This comment is informational.**

Chapter 4.17 - Administration and Procedures

1. Development Plan Review Criteria (Section 4.17.080.C): Primarily in conformance. Requires plan revisions/clarification to comply with LUDC requirements. Appears to comply with previous approvals, Comprehensive Plan goals and policies, and other adopted area and corridor plans.
2. Subdivision (Lot Line Adjustment/Lot Consolidation) Review Criteria (Section 4.17.100.B): Primarily in conformance. Requires plat revisions and responses to Reviewing Surveyor, Public Works Department, and other applicable agencies in order to verify that required public improvements have been installed and approved; and that all parcels meet the minimum standards required by the LUDC. Lot line adjustment does not



appear to create adverse impacts and does not result in density that exceeds the allowed density of the original subdivision.

Public Comment

No public comments have been received as of the date of this letter.

Attachments

1. Planning Redlines – Architectural Plan Set

Agency Comments (Attachments)

1. CDOT (No Comments)
2. Colorado Geological Survey
3. Division of Water Resources (Stormwater & Detention)
4. Division of Water Resources (Utilities)
5. Eagle County Community Development
6. Reviewing Surveyor
7. Town of Eagle Economic Development & Housing
8. Town of Eagle Public Works

Next Steps

For formal resubmittals, the Project Team shall address all of the Town Staff and external referral agency comments then submit a revised Site Plan and other documents as referenced in the above comments. Please note that if new information is provided, Town Staff may provide additional comments and requests.

If you have any questions concerning comments on your project or the development review process, please feel free to contact me at alyssa.rivas@baselinecorp.com.

1215 CHAMBERS AVE

OWNER
 MATTHEW BARRY
 ASPECT DEVELOPMENT
 MORNINGSTAR MOUNTAIN PROPERTY, LLC

ARCHITECT
 KRAAI DESIGN ARCHITECTURE
 2394 PATTERSON RD, SUITE 201
 T: 970.712.5045
 www.kraaidesign.com



SHEET INDEX

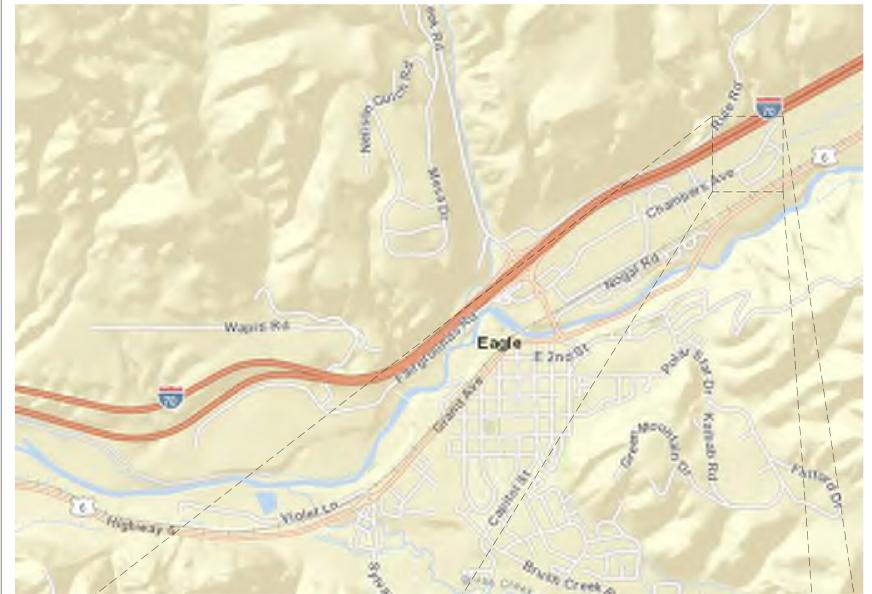
SHEET INDEX	
Sheet Number	SHEET NAME
COVER	
T1.1	COVER SHEET
ARCHITECTURAL	
C1.1	SITE PLAN
C1.2	LANDSCAPE PLAN
C1.3	SITE PLAN - FIRE RISER ROOMS
C1.4	CAMPUS PLAN
C1.5	GREEN INITIATIVE PLAN
A1.1	FLOOR PLAN - BUILDING #1
A2.1	EXTERIOR ELEVATIONS - BUILDING #1
A2.2	3D PERSPECTIVES - BUILDING #1
A1.2	FLOOR PLAN - BUILDING #2
A2.3	EXTERIOR ELEVATIONS - BUILDING #2
A2.4	3D PERSPECTIVES - BUILDING #2
A1.3	FLOOR PLAN - BUILDING #3
A2.5	EXTERIOR ELEVATIONS - BUILDING #3
A2.6	3D PERSPECTIVES - BUILDING #3
A1.4	MAIN LEVEL FLOOR PLAN - BUILDING #4
A1.5	LOWER LEVEL FLOOR PLAN - BUILDING #4
A2.7	EXTERIOR ELEVATIONS - BUILDING #4
A2.8	3D PERSPECTIVES - BUILDING #4
A1.6	MAIN LEVEL FLOOR PLAN - BUILDING #5
A1.7	LOWER LEVEL FLOOR PLAN - BUILDING #5
A2.9	EXTERIOR ELEVATIONS - BUILDING #5
A2.10	3D PERSPECTIVES - BUILDING #5
A1.8	FLOOR PLAN - BUILDING #6
A2.11	EXTERIOR ELEVATIONS - BUILDING #6
A2.12	3D PERSPECTIVES - BUILDING #6
A1.9	FLOOR PLAN - BUILDING #7
A2.13	EXTERIOR ELEVATIONS - BUILDING #7
A2.14	3D PERSPECTIVES - BUILDING #7
A2.15	RENDERINGS
ELECTRICAL	
ED-1	LIGHTING COVER SHEET
ES1-1	LIGHTING - SITE PLAN
IES-1	LIGHTING - IES SITE PLAN

CONSULTANTS

CIVIL	LANDSCAPE
ALPINE ENGINEERING INC. 34510 US-6 UNIT A-9 EDWARDS, CO 81632 T: 970.926.3373	KRAAI DESIGN ARCHITECTURE 2394 PATTERSON RD, SUITE 201 GRAND JUNCTION, CO 81501 T: 970.712.5045
PEMB	STRUCTURAL
RIGID GLOBAL BUILDINGS 18933 ALDINE WESTFIELD RD. HOUSTON, TX 77073 T: 888.467.4443	JIRSA-HEDRICK STRUCTURAL ENGINEERS PO BOX 4989 EAGLE, CO 81631 T: 303.839.1963
MEP	GOVERNMENT
BIGHORN ENGINEERING 386 INDIAN RD GRAND JUNCTION, CO 81501 T: 970.241.8709	TOWN OF EAGLE 200 BROADWAY, PO BOX 609 EAGLE, CO 81631 T: 970.688.2175



VICINITY MAP



1215 CHAMBERS - BLDG #1
 1215 CHAMBERS AVE, EAGLE, CO 81631

REVISION(S):		
#	DATE	COMMENTS

P&Z SET
PROJECT NO: 2410
SHEET NAME: COVER SHEET
DATE: 4/4/2025
SHEET NO: T1.1
SCALE:

NOT FOR CONSTRUCTION

IMPERVIOUS SURFACE COVERAGE	
BUILDING FOOTPRINT AREA	
- BUILDING 1:	15,050 SF
- BUILDING 2:	13,365 SF
- BUILDING 3:	7,755 SF
- BUILDING 4:	14,525 SF
- BUILDING 5:	(29,050 SF TOTAL)
- BUILDING 6:	17,230 SF
- BUILDING 7:	(34,460 SF TOTAL)
- BUILDING 8:	14,025 SF
- BUILDING 9:	13,725 SF
TOTAL BUILDING COVERAGE: 179,975 SF	
TOTAL CONCRETE/ASPHALT AREA: 126,611 SF	
TOTAL IMPERVIOUS SURFACE AREA: 222,286 SF	
TOTAL LANDSCAPED AREA: 55,577 SF	
TOTAL LOT(S) AREA: 277,863 SF	
(LOT 1125 + LOT 1215)	
55,577 / 277,863 = 20% LANDSCAPED	
222,286 / 277,863 = 80% IMPERVIOUS SURFACE	
OFF STREET PARKING REQUIREMENTS	
GENERAL RETAIL > 10,000 SF: 1 PER 400 SF FOR FIRST 2,000 SF, 1 PER 300 SF FROM 2,000 - 50,000 SF	
OFFICE, ACCESSORY: 1 PER 400 SF	
INDOOR STORAGE OR WAREHOUSING AREA: 1 PER 1,000 SF OR 1 PER EMPLOYEE	
DISTRIBUTION 70% WAREHOUSE, 15% OFFICE, 15% RETAIL	
WAREHOUSE PARKING: 127,430(0.70) = 89,201 SF 89,201 / 1,000 = 89 PARKING SPACES REQUIRED	
OFFICE PARKING: 127,430(0.15) = 19,114.5 SF 19,114.5 / 400 = 48 PARKING SPACES REQUIRED	
RETAIL PARKING: 127,430(0.15) = 19,114.5 SF 2,000 / 400 = 5 PARKING SPACES 17,114.5 / 300 = 57 PARKING SPACES	
201 TOTAL PARKING SPACES REQUIRED	
224 TOTAL PARKING SPACES PROVIDED	
BICYCLE PARKING REQUIREMENTS	
GENERAL RETAIL: MIN. 2 + 1 PER 5,000 SF MIN. 2 + 1 PER 12,000 SF	
OFFICE, ACCESSORY: MIN. 2 + 1 PER 20,000 SF MIN. 2 + 1 PER 10,000 SF	
INDOOR STORAGE OR WAREHOUSING AREA: MIN. 2 MIN. 2 + 1 PER 15,000 SF INTERNAL GFA	
DISTRIBUTION 70% WAREHOUSE, 15% OFFICE, 15% RETAIL	
WAREHOUSE BICYCLE PARKING: 127,430(0.70) = 89,201 SF 89,201 / 15,000 = 6 2 + 6 = 8 LONG TERM BICYCLE SPACES REQUIRED 2 SHORT TERM BICYCLE SPACES REQUIRED	
OFFICE BICYCLE PARKING: 127,430(0.15) = 19,114.5 SF 19,114.5 / 20,000 = 1 - 19,114.5 / 10,000 = 2 2 + 1 = 3 SHORT TERM BICYCLE SPACES REQUIRED 2 + 2 = 4 LONG TERM BICYCLE SPACES REQUIRED	
RETAIL BICYCLE PARKING: 127,430(0.15) = 19,114.5 SF 19,114.5 / 5,000 = 4 - 19,114.5 / 12,000 = 2 2 + 4 = 6 SHORT TERM BICYCLE SPACES 2 + 2 = 4 LONG TERM BICYCLE SPACES	
11 TOTAL SHORT TERM BICYCLE SPACES REQUIRED	
16 TOTAL LONG TERM BICYCLE SPACES REQUIRED	
14 TOTAL SHORT TERM BICYCLE SPACES PROVIDED	
16 TOTAL LONG TERM BICYCLE SPACES PROVIDED	

These calculations are inconsistent with what has been provided on following sheets. Revise or clarify.

Include dimensions of parking spaces. No more than 20% of the total spaces required shall be compact. Include the numerical breakdown of standard and compact spaces in the tables.

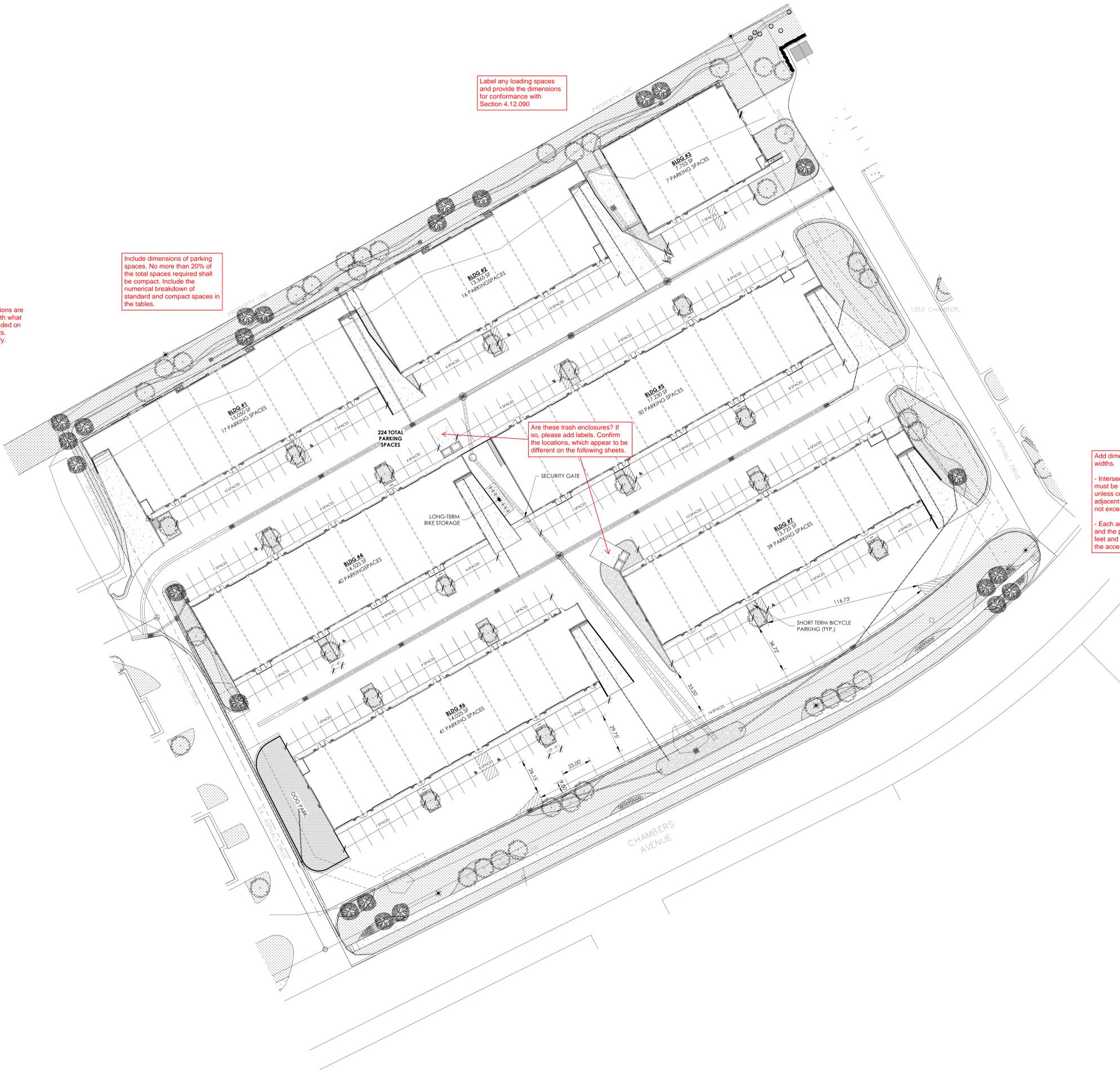
Label any loading spaces and provide the dimensions for conformance with Section 4.12.090

Are these trash enclosures? If so, please add labels. Confirm the locations, which appear to be different on the following sheets.

Add dimensions for access/driveway/aisle widths.

- Intersection of access with public street must be at least 15 feet from a side lot line unless considered a common access with adjacent property, in which case width may not exceed 35 feet.

- Each access way between a public street and the parking area shall be between 15 feet and 35 feet wide at the intersection of the access way with the public street.



1 SITE PLAN
C1.1 1" = 30'-0"

REVISION(S):		
#	DATE	COMMENTS

100% DD
PROJECT NO: 2410
SHEET NAME: SITE PLAN
DATE: 5/9/2025
SHEET NO: C1.1
SCALE: As indicated

LANDSCAPE AND IRRIGATION NOTES

- Contractor shall verify all conditions prior to commencing work and shall be responsible for becoming aware of all underground utilities, pipes, structures, and irrigation lines. The contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines prior to any excavation. Landscape contractor shall take sole responsibility for any cost incurred due to damage of said utilities.
- STAKE TREE LOCATIONS:** for review and approval with 3" high wood lath stakes and marked with tree types for the owners review and approval. Contractor to place shrubs, perennials and groundcovers as called out on the plan and the L.A. will provide final review, and / or adjustments.
- Planting **BACKFILL MIX** for all trees and shall consist of 80% native topsoil and 20% well rotted compost. Fertilize and saturate root ball with water at time of planting (see details). Apply "Myke Transplanting Tree and Shrub Mix" (*Mycorrhiza Fungi*) or Fertlome root stimulator 4-10-3.
- MULCH:** Tree and shrub planting beds are to receive 3" of shredded cedar bark mulch (stained wood shavings are not acceptable). Perennial areas to receive 2-3" of "Soil Prep" mulch. Brown 1" minus rock cobble for all other mulch areas.
- SOIL PREP:** perennial, annual and ground cover areas are to receive 6" of screened, well rotted compost to be integrated into the top-soil with a rototiller.
- TREE SUPPORT STAKES:** Deciduous trees to be staked and guyed with three 6" green metal T-posts per tree and guyed with # 12 gauge wire with green nylon tree straps. Aspen in groups can share stakes providing that each tree is receiving support from at least 3 stakes. Conifer trees to be staked with three 3" metal T-posts with above wire and straps.
- WARARANTEE:** The Contractor shall warrant that all plant materials supplied under this contract will be healthy and in flourishing condition of active growth at the date of final acceptance. Replace without cost to owner any plant not meeting this condition.
- IRRIGATION SYSTEM:** is to be a design-build system by the Landscape Contractor using NON-POTABLE WATER. Provide drip emitters for all new trees and shrubs. Provide temporary, above ground spray heads, zoned separately for all seeded revegetated grass areas. Provide owner with a as-built plan / plans to final review and acceptance. Guarantee system for one year from final acceptance. Keep pipes and spray heads away from the building.
- TOPSOIL:** Landscape Contractor to supply and place 1/2" max. screened topsoil to finished grade with the following depths. Native Grass areas: 1-2" deep. Over-excavate and remove any existing soils / construction debris to achieve necessary screened top-soil depths.
- METAL EDGING:** 1/8" thick by 4" wide with a rolled-top is to be placed where sod lawn meets planting beds and as designated on the plan.
- IRRIGATION SLEEVING:** Install 2" 4" PVC sleeves to access all planting areas.

- SYNTHETIC TURF GRASS FOR DOG PARKS**
- GRASS SEED MIX MOUNTAIN MIX**
- GRAVEL MULCH 1" TO 3" DIA. BROWN AND TAN GRAVEL TO MATCH STONE ON BUILDING. PROVIDE SAMPLE TO OWNERS REP FOR APPROVAL. LOCATE ADJACENT TO ALL BUILDINGS. PLACE ON TOP OF MIRIFY FILTER FABRIC WITH ROLLED TOP STEEL EDGING**
- LANDSCAPE BOULDERS NATIVE GRANITE TO MATCH EXISTING ON SITE**
- SNOW STORAGE AREA**

Grass Seed Mix 'Mountain Mix' ALL DISTURBED AREAS

Common Name	Variety
10% Mountain Bromegrass	Bromar
30% Orchardgrass	Palute
10% Canada Bluegrass	Reubens
10% Sheep Fescue	Meklenberger
20% Tall Fescue	Fawn
10% Winter Wheat	
10% Timothy	Climax

Planting Rate
60 pounds of pure live seed per acre. Substitutions must be approved by owner.

IMPERVIOUS SURFACE COVERAGE

BUILDING FOOTPRINT AREA

- BUILDING 1:	15,050 SF
- BUILDING 2:	13,365 SF
- BUILDING 3:	7,755 SF
- BUILDING 4:	14,525 SF
- BUILDING 5:	17,230 SF
- BUILDING 6:	14,025 SF
- BUILDING 7:	13,725 SF
TOTAL BUILDING COVERAGE:	95,675 SF
TOTAL CONCRETE/ASPHALT AREA:	126,261 SF
TOTAL IMPERVIOUS SURFACE AREA:	221,936 SF
TOTAL LANDSCAPED AREA:	55,927 SF
TOTAL LOT(S) AREA:	277,863 SF
(LOT 1125 + LOT 1215)	

55,927 / 277,863 = 20% LANDSCAPED
221,936 / 277,863 = 80% IMPERVIOUS SURFACE

OFF STREET PARKING REQUIREMENTS

GENERAL RETAIL > 10,000 SF: 1 PER 400 SF FOR FIRST 2,000 SF, 1 PER 300 SF FROM 2,000 - 50,000 SF

OFFICE, ACCESSORY: 1 PER 400 SF

INDOOR STORAGE OR WAREHOUSING AREA: 1 PER 1,000 SF OR 1 PER EMPLOYEE

DISTRIBUTION 70% WAREHOUSE, 15% OFFICE, 15% RETAIL

WAREHOUSE PARKING:
127,430(0.70) = 89,201 SF
89,201 / 1,000 = 90 PARKING SPACES REQUIRED

OFFICE PARKING:
127,430(0.15) = 19,114.5 SF
19,114.5 / 400 = 48 PARKING SPACES REQUIRED

RETAIL PARKING:
127,430(0.15) = 19,114.5 SF
2,000 / 400 = 5 PARKING SPACES
17,114.5 / 300 = 58 PARKING SPACES

201 TOTAL PARKING SPACES REQUIRED
201 TOTAL PARKING SPACES PROVIDED

BICYCLE PARKING REQUIREMENTS

GENERAL RETAIL:
SHORT TERM: MIN. 2 + 1 PER 5,000 SF
LONG TERM: MIN. 2 + 1 PER 12,000 SF

OFFICE, ACCESSORY:
SHORT TERM: MIN. 2 + 1 PER 20,000 SF
LONG TERM: MIN. 2 + 1 PER 10,000 SF

INDOOR STORAGE OR WAREHOUSING AREA:
SHORT TERM: MIN. 2
LONG TERM: MIN. 2 + 1 PER 15,000 SF INTERNAL GFA

DISTRIBUTION 70% WAREHOUSE, 15% OFFICE, 15% RETAIL

WAREHOUSE BICYCLE PARKING:
127,430(0.70) = 89,201 SF
89,201 / 15,000 = 6
2 + 6 = 8 LONG TERM BICYCLE SPACES REQUIRED
2 SHORT TERM BICYCLE SPACES REQUIRED

OFFICE BICYCLE PARKING:
127,430(0.15) = 19,114.5 SF
19,114.5 / 20,000 = 1
19,114.5 / 10,000 = 2
2 + 1 = 3 SHORT TERM BICYCLE SPACES REQUIRED
2 + 2 = 4 LONG TERM BICYCLE SPACES REQUIRED

RETAIL BICYCLE PARKING:
127,430(0.15) = 19,114.5 SF
19,114.5 / 5,000 = 4
19,114.5 / 12,000 = 2
2 + 4 = 6 SHORT TERM BICYCLE SPACES
2 + 2 = 4 LONG TERM BICYCLE SPACES

11 TOTAL SHORT TERM BICYCLE SPACES REQUIRED
14 TOTAL LONG TERM BICYCLE SPACES PROVIDED

38 TOTAL SHORT TERM BICYCLE SPACES PROVIDED
16 TOTAL LONG TERM BICYCLE SPACES PROVIDED



It does not appear that the 1 tree per 25 feet standard is being met by the Chambers Avenue Area standards, nor the Chapter 4.11 Landscaping standards. Plat contains a different property line dimension than 600'. Please clarify

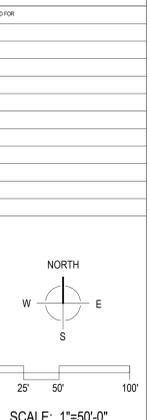
1/3 of these trees in the 1-70 landscape buffer area must be evergreen. Shrubs should also be incorporated and should be a minimum of 5 gallons.

Provide a legend for colored elements such as grass, turf grass, snow storage areas

PLANT MATERIAL SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
52	8	Populus tremuloides	Aspen	3" Caliper
8	2	Malus 'Spring Snow' (considered sterile - no fruit)	Spring Snow Flowering Crabapple	3" caliper
8	8	Acer Glabrum	Rocky Mountain Maple	Clump form 3" Caliper
7	7	Prunus virginiana melancarpa	Canada Red Chokecherry	Clump form 3" Caliper
CONTAINER GRASSES				
41	41	Helictotrichon sempervirens	Blue Evena Grass	# 1 Cont.
81	81	Calamagrostis acutiflora 'K.F.'	Feather Reed Grass	# 1 Cont.

1215 CHAMBERS AVE.
STORAGE FACILITY
EAGLE, CO 81631



LANDSCAPE PLAN

DATE: 3/27/2025

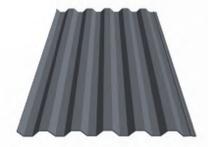
SHEET

C1.2

SYMBOL LEGEND - EXTERIOR ELEVATION		WALL FINISH SCHEDULE		ROOF FINISH SCHEDULE		TRIM FINISH SCHEDULE		EXTERIOR ELEVATION NOTES		GENERAL EXTERIOR ELEVATION NOTES	
FINISH # GRID LINE DOOR TAG STOREFRONT TAG	CENTERLINE CANOPY TAG KEYNOTE SYMBOL SECTION SYMBOL ELEVATION	W-1 METAL SIDING - R-PANEL MANUFACTURER: METAL SALES COLOR: ASH GREY W-2 METAL SIDING - IC72 PANEL MANUFACTURER: METAL SALES COLOR: CHARCOAL W-3 METAL SIDING - 2.5" CORRUGATED MANUFACTURER: METAL SALES COLOR: GALVALUME W-4 METAL SIDING - ALUMINUM WOOD GRAIN PLANKS MANUFACTURER: LONGBOARD COLOR: WESTERN CEDAR	R-1 STANDING SEAM METAL ROOF MANUFACTURER: METAL SALES COLOR: CHARCOAL	T-1 TRIM, GUTTERS, FLASHING, ETC. COLOR: CHARCOAL	1. GUTTER - RE PEMB 2. DOWNSPOUT - RE PEMB 3. BOLLARD	A. REFER TO MEP FOR HVAC, LIGHTING, POWER SIZE AND LOCATIONS B. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL BEAMS, WALLS, COLUMNS SIZE AND LOCATIONS C. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO COMMENCING CONSTRUCTION. D. ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER. E. PROVIDE TREATED SOLID WOOD (AT NON-COMBUSTIBLE CONSTRUCTION) AND STEEL STUD (AT NON-COMBUSTIBLE CONSTRUCTION) BLOCKING FOR ALL WALL EQUIPMENT, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR ADDITIONAL INFORMATION. F. CONTRACTOR SHALL CALL OUT AT THE INTERFACE OF INTERIOR FINISHES WITH ADJACENT MATERIALS THROUGH JOINT MAY NOT BE VISIBLE. G. PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT. H. PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS. MINIMUM OF 1/8" PER FOOT. SLOPE FLOOR ALL AROUND FROM ADJACENT WALLS TO FLOOR DRAINS. DO NOT DEPRESS ONLY THE AREA IMMEDIATELY AROUND THE DRAIN. I. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF PIPING, VENTS, DUCTS, CURBS, FANS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE. J. INSTALL ALL MATERIALS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.		A. REFER TO MEP FOR HVAC, LIGHTING, POWER SIZE AND LOCATIONS B. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL BEAMS, WALLS, COLUMNS SIZE AND LOCATIONS C. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO COMMENCING CONSTRUCTION. D. ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER. E. PROVIDE TREATED SOLID WOOD (AT NON-COMBUSTIBLE CONSTRUCTION) AND STEEL STUD (AT NON-COMBUSTIBLE CONSTRUCTION) BLOCKING FOR ALL WALL EQUIPMENT, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR ADDITIONAL INFORMATION. F. CONTRACTOR SHALL CALL OUT AT THE INTERFACE OF INTERIOR FINISHES WITH ADJACENT MATERIALS THROUGH JOINT MAY NOT BE VISIBLE. G. PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT. H. PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS. MINIMUM OF 1/8" PER FOOT. SLOPE FLOOR ALL AROUND FROM ADJACENT WALLS TO FLOOR DRAINS. DO NOT DEPRESS ONLY THE AREA IMMEDIATELY AROUND THE DRAIN. I. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF PIPING, VENTS, DUCTS, CURBS, FANS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE. J. INSTALL ALL MATERIALS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.			



METAL SALES R-PANEL ASH GREY W1



METAL SALES IC72 PANEL CHARCOAL W2



METAL SALES 2.5" CORRUGATED WALL PANEL GALVALUME FINISH W3



LONGBOARD T&G ALUMINUM PLANK CLADDING WESTERN CEDAR WOODGRAIN W4

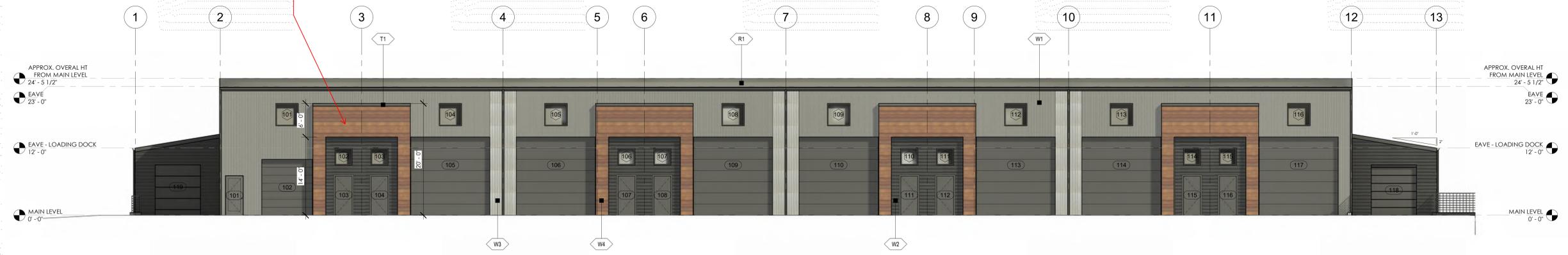


TRIM, GUTTER & DOWNSPOUTS, ETC. CHARCOAL T1

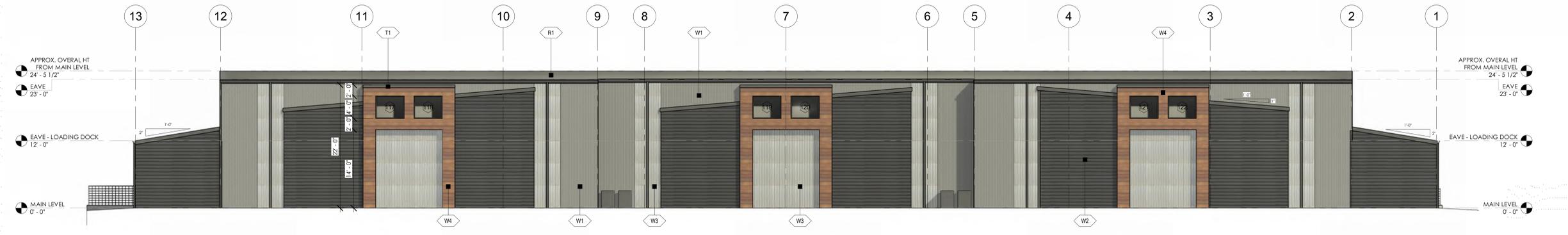


METAL SALES STANDING SEAM METAL ROOFING CHARCOAL R1

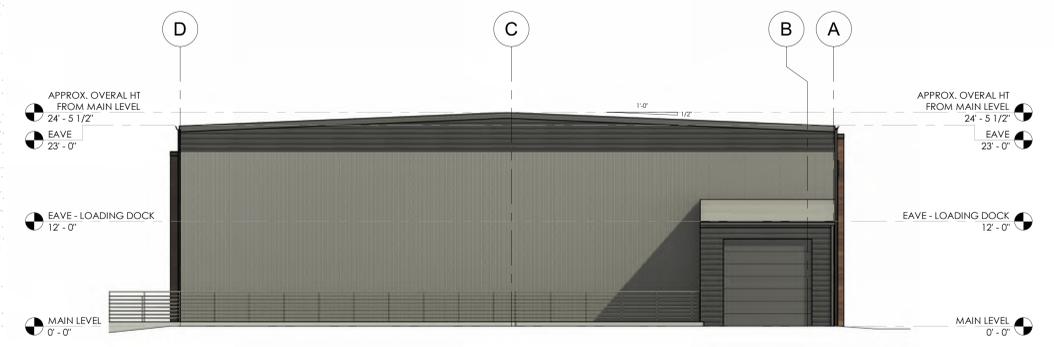
The woodgrain portions of the building appear to be considered the accent walls, which are permitted to be comprised of patinaed or color-treated metal. However, all other primary portions of the building wall are also comprised of metal siding and corrugated panels, which does not comply with this standard. See Sec. 4.10.030.B for permitted facade materials.



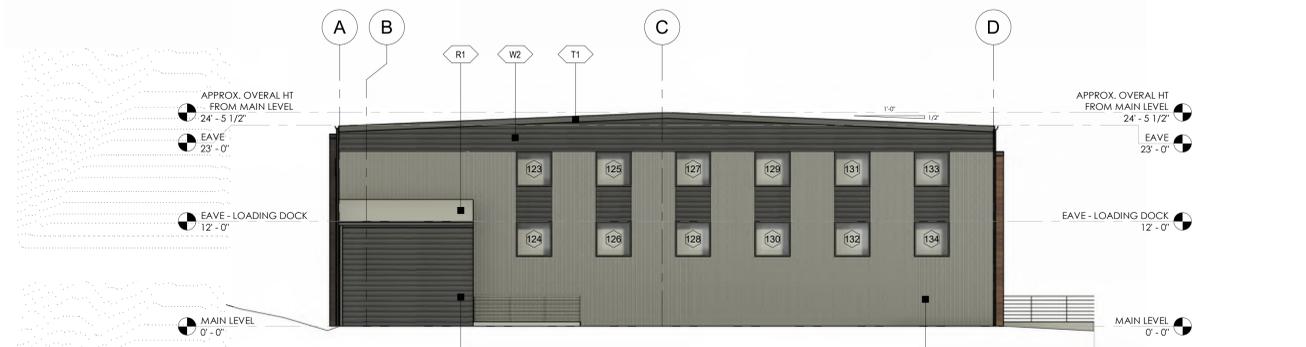
1 SOUTH ELEVATION
A2.1 1/8" = 1'-0"



2 NORTH ELEVATION
A2.1 1/8" = 1'-0"



3 EAST ELEVATION
A2.1 1/8" = 1'-0"



4 WEST ELEVATION
A2.1 1/8" = 1'-0"

REVISION(S):		
#	DATE	COMMENTS

P&Z SET
PROJECT NO: 2410
SHEET NAME: EXTERIOR ELEVATIONS BUILDING #1
DATE: 4/4/2025
SHEET NO:

SYMBOL LEGEND - EXTERIOR ELEVATION		WALL FINISH SCHEDULE		ROOF FINISH SCHEDULE		TRIM FINISH SCHEDULE		EXTERIOR ELEVATION NOTES		GENERAL EXTERIOR ELEVATION NOTES	
W-1 A 101A (S1)	C # ## 1 A1.1 100' 0	W-1 METAL SIDING - R-PANEL MANUFACTURER: METAL SALES COLOR: ASH GREY W-2 METAL SIDING - IC72 PANEL MANUFACTURER: METAL SALES COLOR: CHARCOAL W-3 METAL SIDING - 2" F CORRUGATED MANUFACTURER: METAL SALES COLOR: GALVALUME W-4 METAL SIDING - ALUMINUM "WOOD GRAIN" PLANKS MANUFACTURER: LONGBOARD COLOR: WESTERN CEDAR	R-1 STANDING SEAM METAL ROOF MANUFACTURER: METAL SALES COLOR: CHARCOAL	T-1 TRIM, GUTTERS, FLASHING, ETC. COLOR: CHARCOAL	1. GUTTER - RE PEMB 2. DOWNSPOUT - RE PEMB 3. BOLLARD	A. REFER TO MEP FOR HVAC, LIGHTING, POWER SIZE AND LOCATIONS B. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL BEAMS, WALLS, COLUMNS SIZE AND LOCATIONS C. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO COMMENCING CONSTRUCTION. D. ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER. E. PROVIDE TREATED SOLID WOOD (AT COMBUSTIBLE CONSTRUCTION) AND STEEL STUD (AT NON-COMBUSTIBLE CONSTRUCTION) BLOCKING FOR ALL WALL EQUIPMENT, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR ADDITIONAL INFORMATION. F. CONTRACTOR SHALL CALL OUT AT THE INTERFACE OF INTERIOR FINISHES WITH ADJACENT MATERIALS THROUGH JOINTS WHICH MAY NOT BE VISIBLE. G. PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT. H. PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS. MINIMUM OF 1/8" PER FOOT. SLOPE FLOOR ALL AROUND FROM ADJACENT WALLS TO FLOOR DRAINS. DO NOT DEPRESS ONLY THE AREA IMMEDIATELY AROUND THE DRAIN. I. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF PIPING, VENTS, DUCTS, CURBS, FANS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE. J. INSTALL ALL MATERIALS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.	A. REFER TO MEP FOR HVAC, LIGHTING, POWER SIZE AND LOCATIONS B. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL BEAMS, WALLS, COLUMNS SIZE AND LOCATIONS C. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO COMMENCING CONSTRUCTION. D. ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER. E. PROVIDE TREATED SOLID WOOD (AT COMBUSTIBLE CONSTRUCTION) AND STEEL STUD (AT NON-COMBUSTIBLE CONSTRUCTION) BLOCKING FOR ALL WALL EQUIPMENT, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR ADDITIONAL INFORMATION. F. CONTRACTOR SHALL CALL OUT AT THE INTERFACE OF INTERIOR FINISHES WITH ADJACENT MATERIALS THROUGH JOINTS WHICH MAY NOT BE VISIBLE. G. PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT. H. PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS. MINIMUM OF 1/8" PER FOOT. SLOPE FLOOR ALL AROUND FROM ADJACENT WALLS TO FLOOR DRAINS. DO NOT DEPRESS ONLY THE AREA IMMEDIATELY AROUND THE DRAIN. I. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF PIPING, VENTS, DUCTS, CURBS, FANS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE. J. INSTALL ALL MATERIALS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.				



METAL SALES R-PANEL ASH GREY W1



METAL SALES IC72 PANEL CHARCOAL W2



METAL SALES 2.5" CORRUGATED WALL PANEL GALVALUME FINISH W3



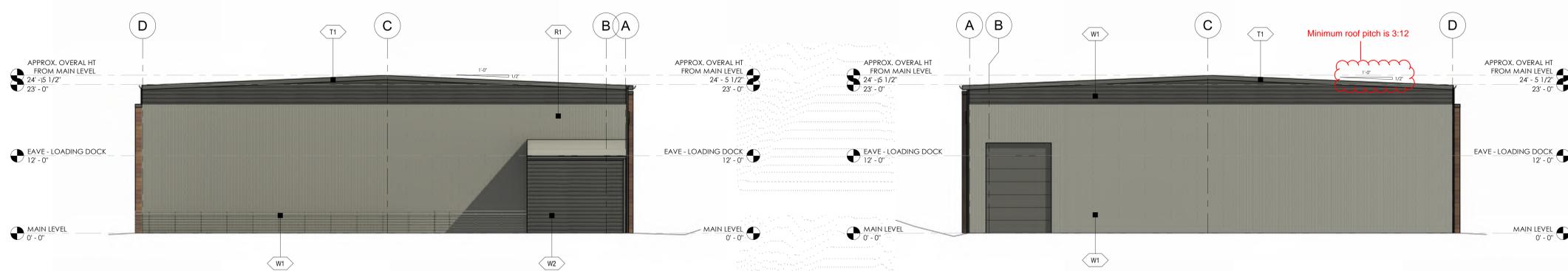
LONGBOARD T&G ALUMINUM PLANK CLADDING WESTERN CEDAR WOODGRAIN W4



TRIM, GUTTER & DOWNSPOUTS, ETC. CHARCOAL T1



METAL SALES STANDING SEAM METAL ROOFING CHARCOAL R1



REVISION(S):		
#	DATE	COMMENTS

P&Z SET
PROJECT NO: 2410
SHEET NAME: EXTERIOR ELEVATIONS BUILDING #2
DATE: 4/4/2025
SHEET NO: A2.3
SCALE: As indicated

SYMBOL LEGEND - EXTERIOR ELEVATION	
	FINISH TYPE
	- CENTERLINE
	- CANOPY TAG
	- KEYNOTE SYMBOL
	- SECTION SYMBOL
	- STOREFRONT TAG
	- ELEVATION
	- LEVEL SYMBOL
	- SLOPE TAG
	- CALLOUT SYMBOL

WALL FINISH SCHEDULE	
W-1	METAL SIDING - R-PANEL MANUFACTURER: METAL SALES COLOR: ASH GREY
W-2	METAL SIDING - IC72 PANEL MANUFACTURER: METAL SALES COLOR: CHARCOAL
W-3	METAL SIDING - 2.5" CORRUGATED MANUFACTURER: METAL SALES COLOR: GALVALUME
W-4	METAL SIDING - ALUMINUM "WOOD GRAIN" PLANKS MANUFACTURER: LONGBOARD COLOR: WESTERN CEDAR

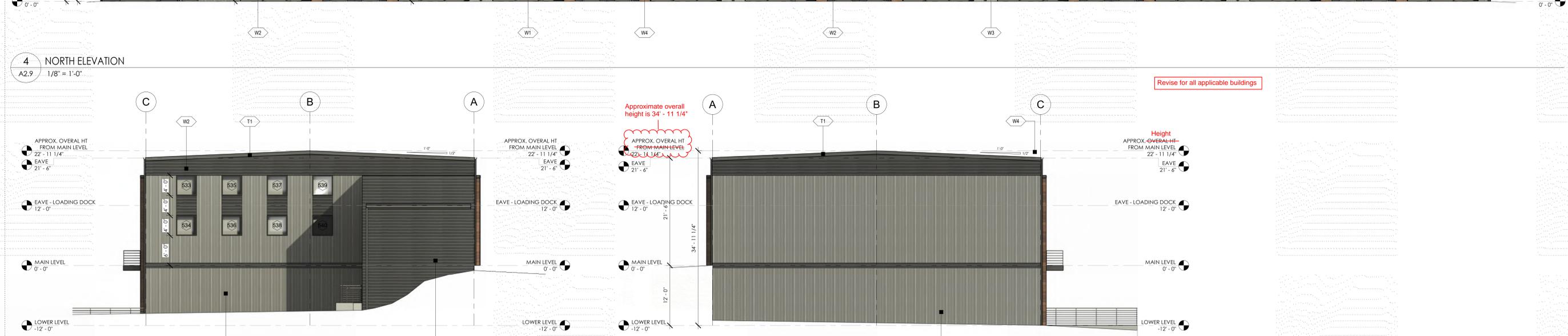
ROOF FINISH SCHEDULE	
R-1	STANDING SEAM METAL ROOF MANUFACTURER: METAL SALES COLOR: CHARCOAL

TRIM FINISH SCHEDULE	
T-1	TRIM, GUTTERS, FLASHING, ETC. COLOR: CHARCOAL

EXTERIOR ELEVATION NOTES	
1.	GUTTER - RE-PEMB
2.	DOWNSPOUT - RE-PEMB
3.	BOLLARD

GENERAL EXTERIOR ELEVATION NOTES	
A.	REFER TO MEP FOR HVAC, LIGHTING, POWER SIZE AND LOCATIONS
B.	REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL BEAMS, WALLS, COLUMNS SIZE AND LOCATIONS
C.	DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO COMMENCING CONSTRUCTION.
D.	ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER.
E.	PROVIDE TREATED SOLID WOOD (AT COMBUSTIBLE CONSTRUCTION) AND STEEL STUD (AT NON-COMBUSTIBLE CONSTRUCTION) BLOCKING FOR ALL WALL EQUIPMENT, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
F.	CONTRACTOR SHALL CALL OUT AT THE INTERFACE OF INTERIOR FACES OF DOOR FRAMES WITH ADJACENT MATERIALS THOUGH JOINT MAY NOT BE VISIBLE.
G.	PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT.
H.	PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS. MINIMUM OF 1/8" PER FOOT. SLOPE FLOOR ALL AROUND FROM ADJACENT WALLS TO FLOOR DRAINS. DO NOT DEPRESS ONLY THE AREA IMMEDIATELY AROUND THE DRAIN.
I.	REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF PIPING, VENTS, DUCTS, CURBS, FANS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE.
J.	INSTALL ALL MATERIALS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

kda
KRAAI DESIGN
ARCHITECTURE
2394 PATTERSON ROAD, SUITE 201
GRAND JUNCTION, CO 81505
322 BELLEVUE AVE, SUITE 208
CRESTED BUTTE, CO 81224
T: 970.712.5045



1215 CHAMBERS - BLDG #5
1215 CHAMBERS AVE, EAGLE, CO 81631

REVISION(S):		
#	DATE	COMMENTS

P&Z SET

PROJECT NO:
2410

SHEET NAME:
EXTERIOR ELEVATIONS
BUILDING #5

DATE: 4/4/2025

SHEET NO:
A2.9

SCALE: As indicated

NOT FOR CONSTRUCTION



Include a Photometric Schedule table which includes calculations for site illumination resulting from the lighting measured in lumens and foot-candles including minimum, maximum, and average lumens and foot-candles. Include uniformity ratios

LIGHTING -IES SITE PLAN
 SCALE: 1" = 20'-0"
 NORTH

DO NOT REPRODUCE THESE DRAWINGS AND SPECIFICATIONS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE DESIGNER. THE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF THE SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN FEET AND INCHES. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. THE PROJECT FOR WHICH THEY ARE MADE IS ASSUMED TO BE ACCURATE. THESE DRAWINGS AND SPECIFICATIONS SHALL NOT BE USED BY ANYONE IN ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE DESIGNER.

388 Indian Road
 Grand Junction, CO 81501
 Phone: (970) 241-8709



Bighorn Consulting Engineers, Inc.
 Mechanical & Electrical Engineers

1215 CHAMBERS
 LIGHTING -IES SITE PLAN
 1215 CHAMBERS AVE.
 EAGLE, CO

DATE: 03/11/2025
 JOB NO: 24-171
 DRAWN BY: SL
 CHECKED BY: —
 SCALE: AS SHOWN

DATE: 03/11/2025
 JOB NO: 24-171
 DRAWN BY: SL
 CHECKED BY: —
 SCALE: AS SHOWN
 SHEET NUMBER
IES-1
 March 11, 2025 - 5:51:06pm

Alyssa Rivas

From: Killian - CDOT, Brian <brian.killian@state.co.us>
Sent: Tuesday, June 17, 2025 3:49 PM
To: Alyssa Rivas
Cc: Kandis Aggen - CDOT
Subject: Re: 1215 Chambers Ave Minor Development Plan and Lot Line Adjustment - Referral Request

Follow Up Flag: Follow up
Flag Status: Flagged

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Alyssa,

CDOT has no comment.

Thanks,

Brian Killian
Region 3 Access Program Manager
Traffic & Safety



P 970-683-6284 | C 970-210-1101 | F 970-683-6290
222 S. 6th St, Room 100 Grand Junction, CO 81501
brian.killian@state.co.us | www.codot.gov | www.cotrip.org

On Fri, Jun 13, 2025 at 9:07 AM Alyssa Rivas <alyssa.rivas@baselinecorp.com> wrote:

TOWN OF EAGLE COMMUNITY DEVELOPMENT DEPARTMENT

ELECTRONIC REFERRAL

Hi,

This notice is to advise you that a development application was submitted to the Town of Eagle for the following project:

Project Name: Vail Valley Design Center Development Plan and Lot Consolidation

Application Types: Minor Development Plan & Lot Line Adjustment

File Number: DR25-04 & LLA25-02

Project Request: A Minor Development Plan and Lot Line Adjustment (Consolidation) application to construct seven commercial buildings totaling 127,430 square feet with a mix of retail, showroom, office, and warehouse/storage uses.

Project Location: 1125 & 1215 Chambers Avenue

Applicant: 1215 Chambers, LLC

Staff Contact: Alyssa Rivas (Contractor)

Return Requested: August 8, 2025 (Close of Business)

The plans and associated documents are viewable on the [Town of Eagle Active Land Use Website](#). If you need any additional information, please let us know.

The Town of Eagle Community Development Department requests your review and response via email by August 8, 2025, or we will assume you have no comments or objections. If you have any questions about these applications, please do not hesitate to contact me. **Please do not use the “Reply ALL” option when responding via email.** Thank you for your time and effort in reviewing these applications.

Thank you,



ALYSSA RIVAS | PRINCIPAL PLANNER

303.202.5010 x224 | Cell: 719.332.3928

112 N. Rubey Drive, #210, Golden, CO 80403

www.baselinecorp.com | [Social Media](#)

COLORADO GEOLOGICAL SURVEY

1801 Moly Road
Golden, Colorado 80401



Matthew L. Morgan
State Geologist

August 8, 2025

Alyssa Rivas
Principal Planner
112 N. Rubey Drive, #210
Golden, CO 80403

Location:
NW ¼ NE ¼, Section 33
T4S, R84W of the 6th PM
39.6599°, -106.8221°

Subject: Vail Valley Design Center – Development Plan and Lot Consolidation
1215 Chambers Road, Eagle County, CO
Eagle County No DR25-04 & LLA25-02; CGS No. EA-25-0014

Dear Alyssa,

As requested (Town of Eagle email, June 13, 2025), the Colorado Geological Survey has reviewed the referral.

Documents provided include:

- Geologic Hazards Review (Kumar & Associates, Inc., Project No.: 21-7-927.02, November 18, 2024)
- Subsoil Study (Kumar & Associates, Inc., Project No.: 21-7-927.01, February 19, 2025),
- Drainage Report (Alpine Engineering, Inc., Project No.: [Not listed], April 2025)
- Civil Plan Set (Alpine Engineering, Inc. Project No.: [Not listed], February 2025)
- Second Amended Final Plat (Kipp Land Surveying, LLC Job No.: 211013-AFP2 TROTT-KEMP
Date of Survey: February 26, 2021, Plat Date: February 24, 2025)
- Project Narrative (Vail Land Company, April 8, 2025)

Geologic Interpretation, Geologic Hazards and Constraints, and proposed Mitigation

The site is a valley-floor parcel underlain by gypsum-rich Eagle Valley Evaporite bedrock and covered with surface deposits of sand, silt, and gravel.

From a geologic standpoint, the key hazards are:

1. Hydrocompaction/settlement of loose soils if they become wet.
2. Subsidence risk (sinkholes) due to dissolution of underlying gypsum.
3. Run-off from an off-site drainage basin (184 acres) entering the site via a 42-inch culvert.

The applicant's geotechnical and civil engineers have identified these hazards and suggested mitigation measures. With a few additional recommended steps (outlined below), the project can comply with the Town's Land Use and Development Code requirement to identify and reduce geologic hazards, ensuring public safety.

Hazards and Risks

1. Hydrocompaction / Settlement
 - Near-surface soils may settle when wetted under load.
 - The geotechnical engineer recommends spread footings on native soils or 3 ft of compacted structural fill, along with strict drainage control.
2. Evaporite Dissolution / Subsidence
 - While no cavities or sinkholes were found in borings, the risk is not zero.
 - Long-term infiltration from stormwater features or irrigation can increase this risk.
3. Concentrated Stormwater Flow
 - The culvert discharge could overwhelm on-site drainage if not fully controlled.
 - Civil plans route flows through underground pipes to a detention pond with pre-treatment.

Statements from Geotechnical Reports that Require Verification

Kumar & Associates makes several statements that should be confirmed or supplemented before final approval.

- Debris-flow hazard dismissal – Kumar states that debris-flow or hyperconcentrated flow from the north will not reach the site, and no mitigation is needed. Verification is necessary because this conclusion is based only on visual reconnaissance. Hydrologic and geomorphic assessments, historic event reviews, and culvert capacity data should confirm that the 42-inch culvert cannot carry debris flows or significant sediment volumes to the site.

- “Low” subsidence risk rating – Kumar concludes the evaporite subsidence risk is “low” despite noting shallow borings and the presence of regional sinkholes. Verification is necessary because the limited depth of exploration (max ~35 ft) does not eliminate the possibility of deeper voids. CGS recommends hazard mapping, aerial/LiDAR analysis, or additional targeted drilling to confirm and refine this conclusion.
- “No increase in hazard to other properties” – Kumar states that the proposed improvements will not create additional risks off-site. Verification is needed because the detention pond is shown as grass-lined, and if it is unlined, infiltration could cause evaporite dissolution on-site or off-site. Confirmation of the pond lining or an infiltration analysis is required.

Additional Actions Recommended Before Building Permit

To thoroughly address public safety goals in the Town’s code and CGS’s geologic hazard concerns, we recommend the following be included in final plans and permit conditions:

1. Detention Basin Infiltration Control
 - Either line or vault the basin to prevent seepage into the evaporite bedrock, or
 - Provide a geotechnical memo confirming minimal infiltration based on field data.
 - Verification rationale: Prevents potential subsidence and either supports or corrects Kumar’s “no increase in hazard” conclusion.
2. Culvert Outfall Protection
 - Show debris and sediment forebay sizing, energy dissipation, and maintenance access.
 - Verify capacity for a “clogged inlet” scenario.
 - Verification rationale: Tests Kumar’s assumption that debris-flow and hyperconcentrated flow hazards are negligible.
3. Hydrology Check
 - Perform sensitivity analysis with higher runoff coefficients (CN values) to account for vegetation loss, paving, or burn scar conditions.
 - Verification rationale: Confirms design resilience in less favorable watershed conditions.
4. Foundation Risk Disclosure
 - Disclose the residual risk of evaporite subsidence to the owner.
 - Require geotechnical observation during all footing excavations and fill placement.
 - Verification rationale: Supports Kumar’s statement that sinkholes cannot be ruled out.
5. No Irrigation Near Foundations
 - Direct roof drains into storm pipes, not landscaped areas.
 - Limit irrigation to within 10 ft of building walls; utilize drip-irrigated xeriscape.
 - Verification rationale: Aids in reducing hydrocompaction and subsidence risks.
6. Ongoing Maintenance Plan
 - Establish an inspection and cleanout schedule for the culvert forebay, separators, and detention pond—quarterly during the first two years, then annually afterward.
 - Verification rationale: Supports design capacity and hazard mitigation throughout the facility's lifespan.

Conclusion

The geologic hazards at this site—settlement from wetting, potential subsidence in evaporite bedrock, and concentrated off-site stormwater—are manageable with the mitigation outlined in the reports, along with the additional steps listed above. Some of Kumar & Associates’ conclusions depend on assumptions that need further data, analysis, or plan details for verification before final approval. By requiring these measures and verifications as conditions of approval, the project can satisfy the Town’s Land Use and Development Code requirements for geologic hazard mitigation and public safety.

Conditional Approval

CGS recommends conditionally approving this application, pending the completion and documentation of all verification items and additional actions listed above to the satisfaction of both the Town and CGS before issuing the building permit. These verifications are crucial to ensure that all potential geologic hazards are properly addressed and that proposed mitigation measures will function as intended throughout the project's lifespan.

Thank you for the opportunity to comment on this project. If you have questions or require further review, please e-mail me at jlovekin@mines.edu.

Sincerely, Jonathan R. Lovekin, P.G.
Senior Engineering Geologist



Alyssa Rivas

From: Wenli Dickinson <wenli.dickinson@state.co.us>
Sent: Friday, June 13, 2025 6:08 PM
To: Alyssa Rivas
Subject: Re: 1215 Chambers Ave Minor Development Plan and Lot Line Adjustment - Referral Request
Attachments: Administrative Statement Regarding the Management of Storm Water Detention Facilities.pdf
Follow Up Flag: Follow up
Flag Status: Flagged

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Hi Alyssa,

DWR has reviewed this referral. The application materials indicate that a stormwater detention structure will be constructed as a part of this project. The applicant should be aware that unless the structure can meet the requirements of a "storm water detention and infiltration facility" as defined in section 37-92-602(8), C.R.S., the structure may be subject to administration by this office. The applicant should review DWR's [Administrative Statement Regarding the Management of Storm Water Detention Facilities and Post-Wildland Fire Facilities in Colorado](#) to ensure that the notification, construction and operation of the proposed structure meets statutory and administrative requirements. The Applicant is encouraged to use the [Colorado Stormwater Detention and Infiltration Facility Notification Portal](#) to meet the notification requirements.

Please let me know if you have any questions.

Regards,

Wenli Dickinson, P.E.
Water Resource Engineer
Denver Office Team 456 Supervisor



[1313 Sherman St, Suite 821, Denver, CO 80203](#) | dwr.colorado.gov

Note: I am out of the office every other Friday.

On Fri, Jun 13, 2025 at 9:07 AM Alyssa Rivas <alyssa.rivas@baselinecorp.com> wrote:

TOWN OF EAGLE COMMUNITY DEVELOPMENT DEPARTMENT

ELECTRONIC REFERRAL

Hi,

This notice is to advise you that a development application was submitted to the Town of Eagle for the following project:

Project Name: Vail Valley Design Center Development Plan and Lot Consolidation

Application Types: Minor Development Plan & Lot Line Adjustment

File Number: DR25-04 & LLA25-02

Project Request: A Minor Development Plan and Lot Line Adjustment (Consolidation) application to construct seven commercial buildings totaling 127,430 square feet with a mix of retail, showroom, office, and warehouse/storage uses.

Project Location: 1125 & 1215 Chambers Avenue

Applicant: 1215 Chambers, LLC

Staff Contact: Alyssa Rivas (Contractor)

Return Requested: August 8, 2025 (Close of Business)

The plans and associated documents are viewable on the [Town of Eagle Active Land Use Website](#). If you need any additional information, please let us know.

The Town of Eagle Community Development Department requests your review and response via email by August 8, 2025, or we will assume you have no comments or objections. If you have any questions about these applications, please do not hesitate to contact me. **Please do not use the “Reply ALL” option when responding via email.** Thank you for your time and effort in reviewing these applications.

Thank you,



COLORADO

Division of Water Resources

Department of Natural Resources

1313 Sherman Street, Room 821
Denver, CO 80203

Administrative Statement Regarding the Management of Storm Water Detention Facilities and Post-Wildland Fire Facilities in Colorado

February 11, 2016

The Division of Water Resources (DWR) has previously administered storm water detention facilities based on DWR's "Administrative Approach for Storm Water Management" dated May 21, 2011. Since the passage of Colorado Senate Bill 15-212, that administrative approach has been superseded. This document describes SB 15-212, codified in section 37-92-602(8), Colorado Revised Statutes (C.R.S.), and how the law directs administrative requirements for storm water management. The document is for informational purposes only; please refer to section 37-92-602(8) for comprehensive language of the law.

Pursuant to section 37-92-602(8), storm water detention facilities and post-wildland fire facilities shall be exempt from administration under Colorado's water rights system only if they meet specific criteria. The provisions of SB15-212 apply to surface water throughout the state. SB15-212 *only* clarifies when facilities may be subject to administration by the State Engineer; all facilities may be subject to the jurisdiction of other government agencies and must continue to obtain any permits required by those agencies.

Storm Water Detention Facilities

Pursuant to section 37-92-602(8), a storm water detention and infiltration facility ("Detention Facility") is a facility that:

- Is owned or operated by a government entity or is subject to oversight by a government entity, including those facilities that are privately owned but are required by a government entity for flood control or pollution reduction.
- Operates passively and does not subject storm water to any active treatment process.
- Has the ability to continuously release or infiltrate at least 97 percent of all of the water from a rainfall event that is equal to or less than a five-year storm within 72 hours of the end the rainfall event.
- Has the ability to continuously release or infiltrate at least 99 percent of all of the water from a rainfall event that is greater than a five-year storm within 120 hours of the end the rainfall event.
- Is operated solely for storm water management.



In addition, to qualify for the allowances provided in SB-212, the facility:

- Must not be located in the Fountain Creek watershed, unless the facility is required by or operated pursuant to a Colorado Discharge Permit System Municipal Separate Storm Sewer System Permit issued by the Department of Public Health and Environment pursuant to Article 8 of Title 25, C.R.S.
- Must not use water detained in the facility for any other purpose nor release it for subsequent diversion by the person who owns, operates, or has oversight over the facility. The facility cannot be operated as the basis for a water right, credit, or other water use right.
- Must not expose ground water.
- May include a structure or series of structures of any size.

If the Detention Facility was constructed *on or before* August 5, 2015 and meets all the requirements listed above, it does not cause material injury to vested water rights and will not be subject to administration by the State Engineer.

If the Detention Facility is constructed after August 5, 2015, meets the requirements listed above, and the operation of the detention facility does not cause a reduction to the natural hydrograph as it existed prior to the upstream development, it has a rebuttable presumption of non-injury pursuant to paragraph 37-92-602(8)(c)(II). A holder of a vested water right may bring an action in a court of competent jurisdiction to determine whether the operation of the detention facility is in accordance with paragraph 37-92-602(8)(c)(II)(A) and (B) has caused material injury. If the court determines that the vested water rights holder has been injured, the detention facility will be subject to administration.

In addition, for Detention Facilities constructed after August 5, 2015, the entity that owns, operates, or has oversight for the Detention Facility must, prior to the operation of the facility, provide notice of the proposed facility to the Substitute Water Supply Plan (SWSP) Notification List for the water division in which the facility is located. Notice must include: the location of proposed facility, the approximate surface area at design volume of the facility, and data that demonstrates that the facility has been designed to comply with section 37-92-602(8)(b) paragraphs (B) and (C). The State Engineer has not been given the statutory responsibility to review notices, however, DWR staff may choose to review notices in the course of their normal water administration duties. Not reviewing notices does not preclude the Division Engineer from



taking enforcement action in the event that the above criteria are not met in design and/or operation.

To satisfy the notification requirement, operators are encouraged to use the Colorado Stormwater Detention and Infiltration Facility Notification Portal developed by Urban Drainage and Flood Control District (“UDFCD”), located at:

<https://maperture.digitaldataservices.com/gvh/?viewer=cswdif>.

Types of detention Facilities contemplated under this statute include underground detention vaults, permanent flood detention basins,¹ extended detention basins,² and full spectrum detention basins.³ Storm Water Best Management Practices⁴ (BMPs) not contemplated above, including all Construction BMPs and non-retention BMPs, do not require notice pursuant to SB-212 and are allowed at the discretion of the Division Engineer. Green roofs are allowable as long as they intercept only precipitation that falls within the perimeter of the vegetated area. Green roofs should not intercept or consume concentrated flow, and should not store water below the root zone. BMPs that rely on retention, such as retention ponds and constructed wetlands, will be subject to administration by the State Engineer.

Any detention facility that does not meet all of the statutory criteria described above, in design or operation, is subject to administration by the State Engineer.

¹ Flood detention basin: An engineered detention basin designed to capture and slowly release peak flow volumes to mitigate flooding (Urban Drainage and Flood Control, 2010).

² Extended detention basin: An engineered detention basin with an outlet structure designed to slowly release urban runoff over an extended time period (Urban Drainage and Flood Control, 2010).

³ Full spectrum detention basin: An extended detention basin designed to mimic pre-development peak flows by capturing the Excess Urban Runoff Volume and release it over a 72 hour period (Urban Drainage and Flood Control, 2010).

⁴ Best management practice: A technique, process, activity, or structure used to reduce pollutant discharges in stormwater (Urban Drainage and Flood Control, 2010).



Post-Wildland Fire Facilities

Pursuant to section 37-92-602(8), a post-wildland fire facility is a facility that:

- Includes a structure or series of structures that are not permanent.
- Is located on, in or adjacent to a nonperennial stream⁵.
- Is designed and operated to detain the least amount of water necessary, for the shortest duration of time necessary, to achieve the public safety and welfare objectives for which it is designed.
- Is designed and operated solely to mitigate the impacts of wildland fire events that have previously occurred.

In addition, to qualify for the allowances provided in SB-212, the facility:

- Must be removed or rendered inoperable after the emergency conditions created by the fire no longer exist, such that the location is returned to its natural conditions with no detention of surface water or exposure of ground water.
- Must not use water detained in the facility for any other purpose nor release it for subsequent diversion by the person who owns, operates, or has oversight over the facility. The facility will not be operated as the basis for a water right, credit, or other water use right.

If the post-wildland fire facility meets the requirements listed above, it does not cause material injury to vested water rights. While DWR recognizes that post-wildland fire facilities are essential to the protection of public safety and welfare, property, and the environment, DWR may, from time to time, request that the person who owns, operates, or has oversight of the post-wildland fire facility supply information to DWR to demonstrate they meet the criteria set forth above.

If a post-wildland fire facility does not meet all the criteria set forth above, it will be subject to administration by the State Engineer.

⁵ DWR may use the National Hydrography Dataset or other reasonable measure to determine the classification of a stream



Resources and References

Colorado Stormwater Detention and Infiltration Facility Notification Portal:
<https://maperture.digitaldataservices.com/gvh/?viewer=cswdif>

Colorado Senate Bill15-212:
http://www.leg.state.co.us/CLICS/CLICS2015A/csl.nsf/fsbillcont3/13B28CF09699E67087257DE8006690D8?Open&file=212_enr.pdf

United States Geological Survey National Hydrography Dataset: <http://nhd.usgs.gov/>

Urban Drainage and Flood Control District 37-92-602(8) explanation memo and FAQ's:
<http://udfcd.org/crs-37-93-6028-explanation-memo-and-faqs/>

Urban Drainage and Flood Control District. (2010). *Urban Storm Drainage Criteria Manual: Volume 3, Best Management Practices*, updated November 2015. Located at:
<http://udfcd.org/volume-three>





COLORADO
Division of Water Resources
Department of Natural Resources

1313 Sherman Street, Room 821
Denver, CO 80203

MEMORANDUM

Date: July 17, 2025

To: Town of Eagle Community Development and Alyssa Rivas, Principal Planner with
Baseline Engineering Corporation

From: Justina Mickelson, Physical Science / Research Scientist

Re: DR25-04 & LLA25-02 Vail Valley Design Center

We have reviewed the land use applications for a lot line consolidation and minor development plan for Vail Valley Design Center at 1125 and 1215 Chambers Avenue.

According to the Public Facilities Information Report, public utilities will include water taps and meters for each building.

This office would have no objection to these land use applications for the Vail Valley Design Center. If you have any questions, please contact me at this office.





Community Development
Vince Hooper, PMP, Senior Planner
970-328-8753
vince.hooper@eaglecounty.us
www.eaglecounty.us

Jul 25, 2025

Town of Eagle Community Development Department
Attn: Alyssa Rivas (Contractor)
alyssa.rivas@baselinecorp.com

Re: Vail Valley Design Center Development Plan and Lot Consolidation, IAR-009549-2025, Eagle County Referral Comments

Ms. Rivas

Thank you for the opportunity to provide feedback on the Vail Valley Design Center Development Plan and Lot Consolidation project located at 1125 and 1215 Chambers Avenue (the "Application") submitted by 1215 Chambers, LLC (the "Applicant"). This interagency referral is known as file number IAR-009549-2025 for Eagle County records. Please officially notify the County should the Application be approved. Please consider the following comments when making a decision regarding the Application,

Planning Division Comments:

Eagle County Planning Department has analyzed the proposal for compliance to the following Goals and Policies contained in both the Eagle County Comprehensive Plan and the Eagle Area Community Plan. The following list of goals and policies have been found to be relevant to the Application. In general, the Application appears to be in conformance with these goals and policies, except for housing needs. More detailed analysis regarding individual policies is provided where specific comments are appropriate.

Eagle County Comprehensive Plan

1. Goal 3.1 General Governance
Governing decisions in Eagle County reflect the core values of its citizens, utilize input from a broad cross section of the community, and involve intergovernmental cooperation wherever appropriate. Staff comment: This Interagency Referral request is an implementation of this goal.
2. Policy 3.1.4
g. Cooperative planning solutions should be encouraged across jurisdictional boundaries by promoting intergovernmental communication and coordination. Staff comment: This Interagency Referral request is an implementation of this policy.
3. Policy 3.2.4 Development
e. Urban and suburban type growth should be appropriately designed and should be located within or immediately contiguous to existing towns and community centers. Staff comment: This Application appears to implement this policy.

- j. *Development should be fully responsible for the mitigation of development related impacts upon both the natural and built environment.* Staff comment: This Application does not identify any sensitive habitat.
- 4. Policy 3.2.5 Community & Character
 - k. *Local communities should establish unique venues, attractions and design standards directed toward enhancing individual community character and developing a sense of place.* Staff comment: This Application appears to implement this policy.
- 5. Goal 3.3 Economic Resources
 - Eagle County is home to a resilient, sustainable economy that is based on local attributes and provides its residents and visitors with healthy lifestyles and a comfortable standard of living.* Staff comment: This Application appears to implement this goal.
- 6. Policy 3.3.4 Commercial Development
 - f. *Commercial uses should be appropriately scaled and should be located within towns and community centers.* Staff comment: This Application appears to implement this policy. .
- 7. Goal 3.4 Housing
 - 2) *Housing needs are clearly identified, and housing types are appropriately balanced to meet all community needs, appropriately located to reduce long distance commutes, and appropriately managed to assure long term affordability for Eagle County's workforce.* Staff comment: This Application does not appear to address this topic or goal. However, with respect to housing needs located on Chambers Avenue, the Principles contained in the Interstate 70 Influence Character Area of the Eagle Area Community Plan suggest to "minimize the inclusion of significant residential use in commercial and industrial areas located along Chambers Avenue..." at this time, see below. Housing needs could be addressed off site.
- 8. Policy 3.4.2 Jobs to Housing Balance
 - a. *Affordable workforce housing should be located near job centers.* Staff comment: See previous comment.
- 9. Policy 3.4.3 Unlimited Housing Demands.
 - d. *Efforts to increase the stock of affordable rental units for local workers should be supported.* Staff comment: See previous comment.
 - j. *Land use planning should promote an appropriate amount of workforce housing.* Staff comment: See previous comment.
- 10. Policy 3.4.5 Development Stakes
 - m. *Efforts by employers to address their own employee housing needs should be supported.* Staff comment: See previous comment.
 - n. *Development should share responsibility for fulfilling Eagle County's workforce housing needs.* Staff comment: See previous comment.

Eagle Area Community Plan

- 11. Land Use Goal #1
 - Development proposals are consistent with the purposes and intents of the 2010 Eagle Area Community Plan, and consider all other relevant infrastructure, natural resource and public land management plans.* Staff comment: Except for addressing housing needs, this Application appears to implement this policy.
- 12. Land Use Policy 1.1

Use the goals, policies, principles, implementation strategies, resource maps and future land use designations of the Eagle Area Community Plan in the evaluation of new land use proposals. Staff comment: This Application appears to implement this policy. .

13. Land Use Goal #2:

Site designs and development patterns within the Eagle Planning Area achieve infrastructure and transit efficiency within the context of Rocky Mountain communities. Staff comment: This Application appears to implement this goal.

14. Land Use Policy 2.1

Future development should occur within the Town's established Urban Growth Boundary. Staff comment: This Application appears to implement this policy.

15. Land Use Policy 2.2

New development should be compact, pedestrian friendly and located within or adjacent to existing development to minimize infrastructure and service needs. Staff comment: This Application appears to implement this policy.

16. Special Character Area - Interstate 70 Influence Character Area Planning Principles

A. Within allowances established by the Town's level of service (LOS) standards, promote additional highway oriented businesses (which may also serve local needs) in the vicinity of Eby Creek Road. Encourage the development of vacant or underutilized lots at the western end of Chambers Avenue with more intensive uses that would benefit from their accessibility to the Interstate corridor.

B. Maintain existing commercial and industrial zoning in the Chambers Avenue, Market Street, Sawatch Road and Marmot Lane areas.

C. Promote sustainable businesses that contribute to the diversification of the local economy.

E. Promote pedestrian movement and access within and between retail areas, residential areas and lodging areas.

G. Until a sub-area plan for the Chambers Avenue corridor is completed, minimize the inclusion of significant residential use in commercial and industrial areas located along Chambers Avenue, Marmot Lane, Sawatch Road and Market Street.

H. Require compatible edge treatments and/or landscaped buffers on the margins of developed areas to assure an appropriate visual and functional transition to adjacent properties.

I. Require perimeter landscaping, internal landscape islands and/or screening to minimize the visual impacts of large surface parking lots and outdoor equipment storage areas.

J. Work to attenuate noise impacts from I-70 through layout and building design, and through the strategic placement of landscape improvements.

Staff comment: This Application appears to be an implementation of these principles.

17. Community Design Goal #1: *Eagle's small town character and neighborhood look and feel is preserved.* Staff comment: This Application appears to be an implementation of this goal.

18. Community Design Policy 1.1

New development should build upon and add value to Eagle's unique community character through adherence to high quality standards of design and construction. Staff comment: This Application appears to implement this policy.

19. Community Design Policy 1.2

Maintain and improve the appearance of community gateways and streetscapes to better establish and reinforce the Town's identity and sense of place. Staff comment: This Application appears to implement this policy.

Eagle Area Community Plan Future Land Use Map

20. Intent

- A. Provide opportunity for a broad variety of commercial uses important to the local and regional economy.*
- B. Concentrate commercial uses in areas easily accessed by automobiles and trucks.*
- C. Concentrate retail outlets within commercial areas to promote opportunities for one stop shopping.*
- D. Commercial uses are generally not compatible with residential units. A limited number of live work arrangements may be appropriate, per zoning.*

Staff comment: This Application appears to implement this intent.

21. Character

- A. Generally auto oriented land uses, with shop and business entrances highly visible from adjacent travel routes and fronted by appropriately sized parking lots.*
- B. Outdoor storage areas and loading bays are located on the back or sides of properties, and are generally screened from view.*
- C. Similar architectural features and exterior materials should reflect Eagle's unique identity providing a unified appearance and strong sense of place.*
- D. Landscaping provides an added unifying element, helps to reduce the perceived scale and mass of buildings.*

Staff comment: This Application appears to implement this character.

22. Land Uses

- A. Office*
- B. Business park*
- C. Distribution centers/warehousing*
- D. Retail*
- E. Lodging*
- F. Entertainment*

Staff comment: This Application appears to be compatible with these uses.

Engineering Comments:

1. Responded that they have no concerns.

Environmental Health Comments:

1. No response provided.

Open Space and Natural Resources:

1. Responded that they have no concerns.

Housing Department Comments:

1. No response provided.

Road and Bridge Comments:

2. No response provided.

Please contact me at (970) 328-8753, or at vince.hooper@eaglecounty.us if you have questions or would like to discuss these comments further. Thank you for including Eagle County as a referral agent on this Application and taking our comments into consideration.

Sincerely,

Vince Hooper, PMP
Senior Planner

Cc: Bill Gibson, Community Development Director
Ben Gerdes, County Engineer
Trent Hyatt, Community Development Deputy Director
File

LEGAL DESCRIPTION:

AN ACCESS EASEMENT SITUATED IN LOT C-12C, AMENDED FINAL PLAT, TROTTER MINOR SUBDIVISION, A RESUBDIVISION OF LOT C-12A AND LOT C-12B, ACCORDING TO THE FINAL PLAT RECORDED NOVEMBER 17, 2017 UNDER RECEPTION NO. 201722061, EAGLE COUNTY, COLORADO, SAID EASEMENT IS FOR THE BENEFIT OF LOT C-12B AND ITS SUCCESSORS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT C-12C FROM WHICH THE NORTHWEST CORNER OF SAID LOT C-12C BEARS S 60° 23' 33" W, 377.70 FEET AND IS THE BASIS OF BEARINGS HEREON; THENCE S 26° 39' 12" E, 130.26 FEET TO THE SOUTHEAST CORNER OF SAID LOT C-12C AND THE POINT OF BEGINNING; THENCE ALONG THE SOUTH LINE OF SAID LOT C-12C, S 63° 20' 48" W, 29.69 FEET TO A POINT; THENCE LEAVING SAID SOUTH LINE, N 26° 39' 12" W, 40.81 FEET TO A POINT; THENCE N 63° 20' 48" E, 29.69 FEET TO A POINT ON THE EAST LINE OF SAID LOT C-12C; THENCE ALONG SAID EAST LINE, S 26° 39' 12" E, 40.81 FEET TO THE POINT OF BEGINNING. EASEMENT CONTAINING 1212 SQ.FT. +-.

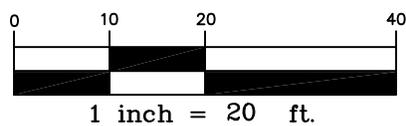
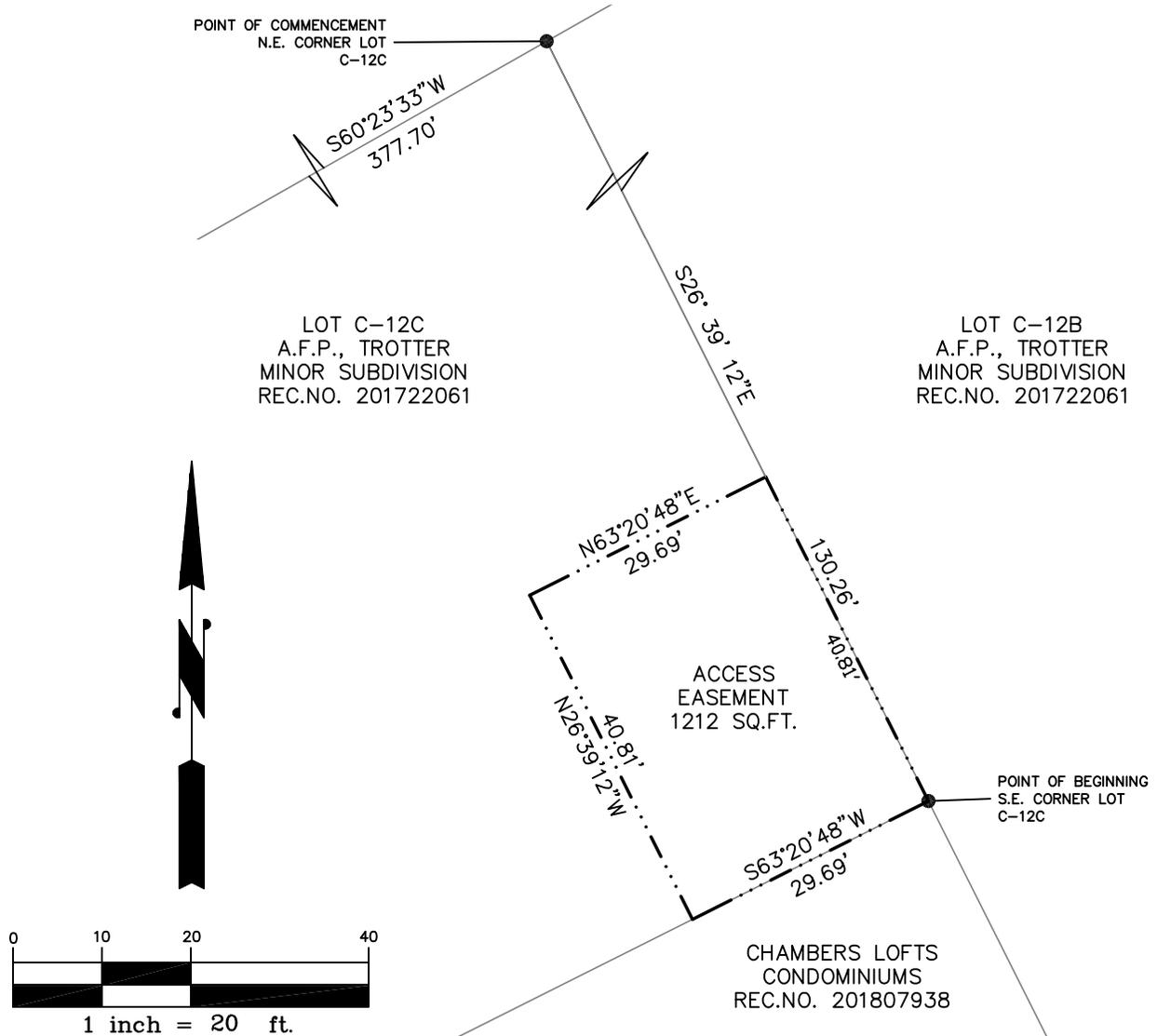


EXHIBIT A	
ACCESS EASEMENT - SITUATED IN LOT C-12C, A.F.P., Trotter Minor Subdivision Town of Eagle, County of Eagle, Colorado	
DRAWN BY: RPK	DATE: 3-07-25
SHEET 1 OF 1	DWG NAME: 211013-L0T C-12C TROTT EASE

KIPP LAND SURVEYING

RANDY KIPP P.L.S.
P.O. Box 3154
Eagle, CO 81631
(970) 390-9540
email: randy@kipplandsurveying.com
web: kipplandsurveying.com

INTERSTATE 70
VARIABLE R.O.W.

SECOND AMENDED FINAL PLAT

TROTTER MINOR SUBDIVISION

A CONSOLIDATION OF LOT C-13, AMENDED FINAL PLAT, KEMP
SUBDIVISION AND LOT C-12B, AMENDED FINAL PLAT, TROTTER MINOR
SUBDIVISION AND AMENDMENT TO LOT C-12C, AMENDED FINAL PLAT
TROTTER MINOR SUBDIVISION
Town of Eagle, County of Eagle, State of Colorado

BASIS OF BEARINGS
N60° 23' 33" E 585.75'

25' DITCH & UTILITY EASEMENT &
SETBACK, REC. NO. 746022

Include section, township,
range and principal meridian

Text not legible, move
accordingly

Remove

Per the Town of Eagle "Final Subdivision Plat
Submittal Requirements", the perimeter
subdivision boundary must be tied to at least
one section corner monument.

LOT C-12C
1.367 Acres +-
(1119)

C.L. 15' DRAINAGE &
UTILITY EASEMENT
REC. NO. 201610457

OLD LOT C-13
A.F.P. KEMP SUBDIVISION
REC. NO. 201103742

STORM SEWER
EASEMENT
CREATED BY
THIS PLAT

OLD LOT C-12B
A.F.P. TROTTER MINOR SUBD.
REC. NO. 201722061

LOT LINE AND DRAINAGE, SETBACK AND
UTILITY EASEMENT, REC. NO. 746022
TO BE VACATED BY THIS PLAT

R=50.00'
L=32.58'
H.B.=S82°00'49"W
CH.L.=32.01'
A=37°20'02"

CHAMBERS LOFTS
CONDOMINIUMS
REC. NO. 201807938
CHAMBERS LOFTS, LLC

UTILITY EASEMENT
REC. NO. 201722061

LOT C-13A
(1215)
6.384 acres

LOT C-14A
A.F.P. KEMP SUBD.
REC. NO. 202006657
1353 CHAMBERS, LLC

Make notes
legible

TERLINE 26' ACCESS,
DRAINAGE EASEMENT
REC. NO. 201722061

TERLINE 15' DRAINAGE
& UTILITY EASEMENT
REC. NO. 201610457

UTILITY EASEMENT
CREATED BY
THIS PLAT

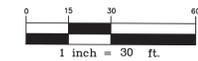
UTILITY EASEMENT
CREATED BY
THIS PLAT

Line #	Direction	Length
L1	N63° 20' 48"E	13.00'
L2	N26° 39' 15"W	224.13'
L3	S26° 39' 12"E	42.81'
L4	S26° 39' 12"E	224.13'
L5	N26° 39' 12"W	15.76'

Curve #	Radius	Arc Length	Delta	Chord Bearing	Chord Length
C1	77.00'	45.40'	33°46'52"	N43°32'38"W	44.74'

CHAMBERS AVENUE
80' R.O.W.

D=20'16"58"
R=560.00'
L=198.24'
CH.B.=S53°12'19"W
CH.L.=197.21'



- LEGEND:**
- DENOTES SET SURVEY MONUMENT, 2" ALUMINUM CAP ON #5 REBAR LS #38079
 - DENOTES FOUND SURVEY MONUMENT 1" BRASS SHINER, IN ASPHALT LS #38079
 - DENOTES FOUND SURVEY MONUMENT 1.5" ALUMINUM CAP, ON #5 REBAR LS #23089
 - DENOTES EASEMENT ANGLE POINT OR INTERSECTION
 - DENOTES BOUNDARY LINE
 - - - DENOTES ADJOINER/ROW PROPERTY LINE
 - · - · - DENOTES EASEMENT LINE AS NOTED
 - · · · - DENOTES EASEMENT LINE AS NOTED
 - - - DENOTES UTILITY EASEMENT
 - · · · - DENOTES EASEMENT CREATED BY THIS PLAT

SIGNATURE AND STAMP MUST BE ON
ALL SHEETS, PLEASE ADD A SIGNATURE
BLOCK SIMILAR TO BELOW

RANDALL P. KIPP
COLORADO PROFESSIONAL LAND
SURVEYOR NO. 38079

MARMOT LANE
60' R.O.W.

SECOND AMENDED FINAL PLAT
TROTTER MINOR SUBDIVISION
CONSOLIDATION LOT C-13, A.F.P. KEMP SUBDIVISION
AND LOT C-12B A.F.P. TROTTER SUBDIVISION
Town of Eagle, County of Eagle, State of Colorado

JOB NO.: 211013 DATE: 02-24-2025

SHEET 2 OF 3 DWG NAME: 211013-AFP2 TROTT-KEMP

KIPP LAND SURVEYING

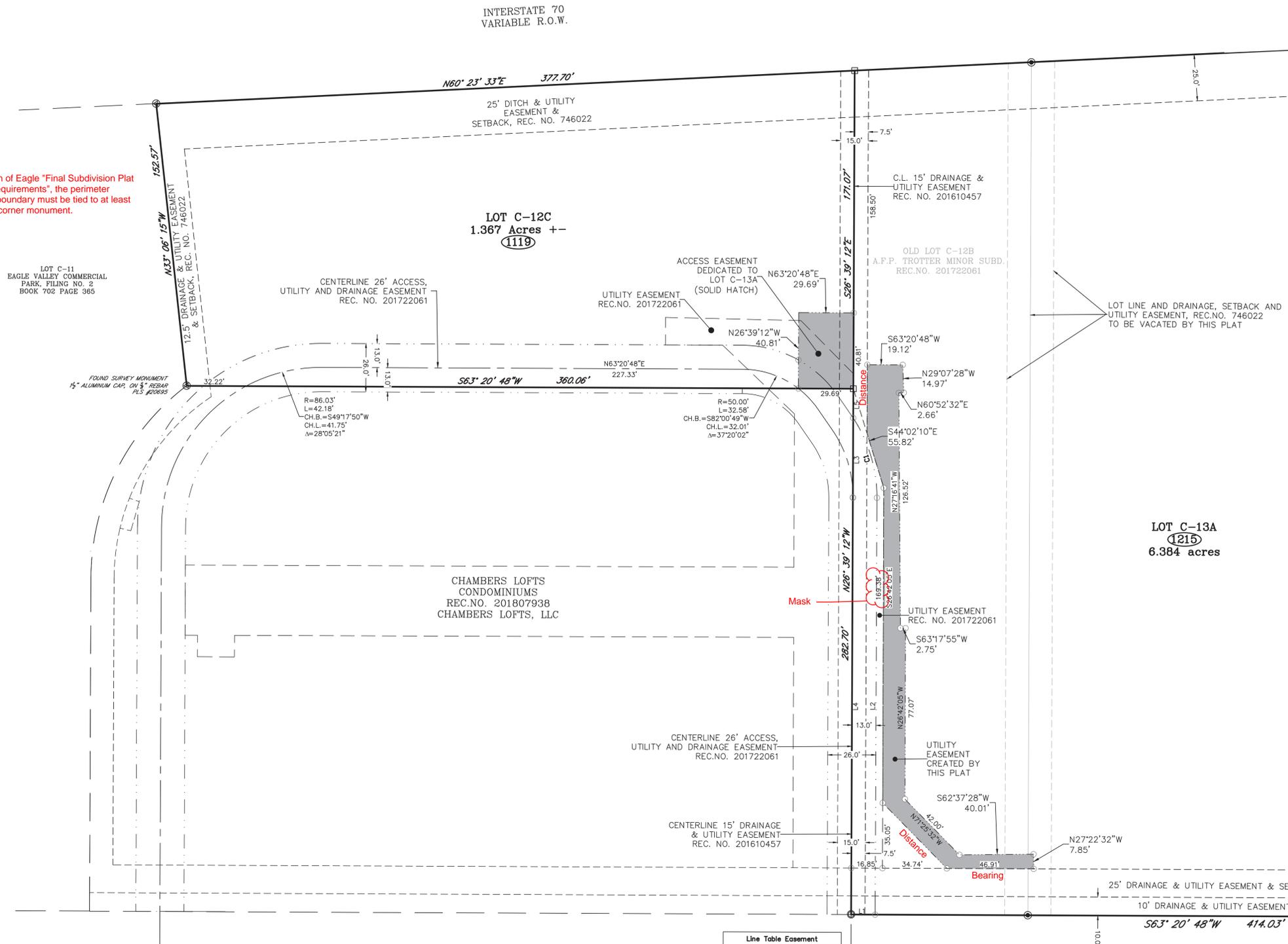
RANDY KIPP P.L.S.
P.O. Box 3154
Eagle, CO 81631
(970) 390-9540
email: randy@kipplandsurveying.com
web: kipplandsurveying.com

SECOND AMENDED FINAL PLAT
TROTTER MINOR SUBDIVISION

A CONSOLIDATION OF LOT C-13, AMENDED FINAL PLAT, KEMP SUBDIVISION AND LOT C-12B, AMENDED FINAL PLAT, TROTTER MINOR SUBDIVISION AND AMENDMENT TO LOT C-12C, AMENDED FINAL PLAT TROTTER MINOR SUBDIVISION
 Town of Eagle, County of Eagle, State of Colorado

Include section, township, range and principal meridian

Per the Town of Eagle "Final Subdivision Plat Submittal Requirements", the perimeter subdivision boundary must be tied to at least one section corner monument.



- LEGEND:**
- DENOTES SET SURVEY MONUMENT, 2" ALUMINUM CAP ON #5 REBAR LS #38079
 - DENOTES FOUND SURVEY MONUMENT 1" BRASS SHINER, IN ASPHALT LS #38079
 - DENOTES FOUND SURVEY MONUMENT 1.5" ALUMINUM CAP, ON #5 REBAR LS #23089
 - ⊙ DENOTES FOUND SURVEY MONUMENT 1.5" ALUMINUM CAP, ON #5 REBAR LS #20695
 - DENOTES EASEMENT ANGLE POINT OR INTERSECTION
 - DENOTES BOUNDARY LINE
 - - - DENOTES ADJOINER/ROW PROPERTY LINE
 - · - · - DENOTES EASEMENT LINE AS NOTED
 - · · · · - DENOTES EASEMENT LINE AS NOTED
 - · - - - DENOTES UTILITY EASEMENT
 - · · · · - DENOTES EASEMENT CREATED BY THIS PLAT

Make notes legible

SIGNATURE AND STAMP MUST BE ON ALL SHEETS, PLEASE ADD A SIGNATURE BLOCK SIMILAR TO BELOW

RANDALL P. KIPP
 COLORADO PROFESSIONAL LAND SURVEYOR NO. 38079

Line #	Direction	Length
L1	N63° 20' 48"E	13.00'
L2	N26° 39' 15"W	224.13'
L3	S26° 39' 12"E	42.81'
L4	S26° 39' 12"E	224.13'
L5	N26° 39' 12"W	15.76'

Curve #	Radius	Arc Length	Delta	Chord Bearing	Chord Length
C1	77.00'	45.40'	33°46'52"	N43°32'38"W	44.74'

SECOND AMENDED FINAL PLAT
 TROTTER MINOR SUBDIVISION
 CONSOLIDATION LOT C-13, A.F.P. KEMP SUBDIVISION
 AND LOT C-12B A.F.P. TROTTER SUBDIVISION
 Town of Eagle, County of Eagle, State of Colorado

JOB NO.: 211013 DATE: 02-24-2025

SHEET 3 OF 3 DWG NAME: 211013-AFP2 TROTT-KEMP

KIPP LAND SURVEYING

RANDY KIPP P.L.S.
 P.O. Box 3154
 Eagle, CO 81631
 (970) 390-9540
 email: randy@kipplandsurveying.com
 web: kipplandsurveying.com

Subdivision Plat.pdf Markup Summary

1 (7)

ION AND



Town o

Subject: Arrow
Page Label: 1
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 2:33:43 PM
Color: ■
Label:

.....
SUBDIVISION ANI
SUBDIVISION AN
Include section, township,
range and principal meridian.
Town

Subject: Text Box
Page Label: 1
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 2:39:18 PM
Color: ■
Label:

Include section, township, range and principal meridian

Eagle County

Subject: Text Box
Page Label: 1
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 2:56:51 PM
Color: ■
Label:

Eagle County

____, ZU____, AND IS

Eagle County CLEF
BY:____
DEPT

Subject: Text Box
Page Label: 1
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 2:57:02 PM
Color: ■
Label:

Eagle County

THE CLERK AND RECO



Subject: Arrow
Page Label: 1
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 2:57:15 PM
Color: ■
Label:

5 INTO ONE (3), (4) UNLAWFUL THE COMMON
IS BORN HEREIN, BY CREATING AND DESIGNATE
Title commitment provided RND50072694-3
with an effective date of 03/04/2025
PROVIDED BY LAND TITLE GUARANTEE COMPANY,
IND50073178 WITH AN EFFECTIVE DATE OF
QUARTERLY CORNER OF LOT C-13, AMENDED
C&G, ON SURV. RECAL. STAMPED JUL 23/2024 AND

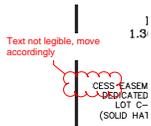
Subject: Text Box
Page Label: 1
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 3:01:26 PM
Color: ■
Label:

Title commitment provided RND50072694-3
with an effective date of 03/04/2025

ED).
TITLE COMMITMENTS PROVIDED E
2024, ORDER NO. RND50073178
THE SURVEY.

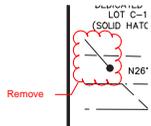
Subject: Arrow
Page Label: 1
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 3:01:36 PM
Color: ■
Label:

2 (7)



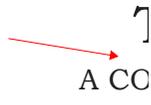
Subject: Cloud+
Page Label: 2
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 1:20:10 PM
Color: ■
Label:

Text not legible, move accordingly

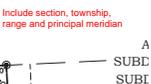


Subject: Cloud+
Page Label: 2
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 1:20:36 PM
Color: ■
Label:

Remove



Subject: Arrow
Page Label: 2
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 2:33:56 PM
Color: ■
Label:



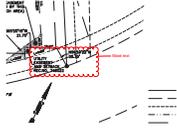
Subject: Text Box
Page Label: 2
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 2:39:34 PM
Color: ■
Label:

Include section, township, range and principal
meridian

Per the Town of Eagle "Final Subdivision Plat Submittal Requirements", the perimeter subdivision boundary must be tied to at least one section corner monument.

Subject: Text Box
Page Label: 2
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 2:41:31 PM
Color: ■
Label:

Per the Town of Eagle "Final Subdivision Plat Submittal Requirements", the perimeter subdivision boundary must be tied to at least one section corner monument.



Subject: Cloud+
Page Label: 2
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 3:22:04 PM
Color: ■
Label:

Mask text



Subject: Cloud+
Page Label: 2
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 3:30:02 PM
Color: ■
Label:

Make notes legible

3 (10)



Subject: Cloud+
Page Label: 3
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 1:59:30 PM
Color: ■
Label:

Make notes legible

Include section, township, range and principal meridian

Subject: Text Box
Page Label: 3
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 2:39:47 PM
Color: ■
Label:

Include section, township, range and principal meridian



Subject: Arrow
Page Label: 3
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 2:34:05 PM
Color: ■
Label:

SIGNATURE AND STAMP MUST BE ON ALL SHEETS, PLEASE ADD A SIGNATURE BLOCK SIMILAR TO BELOW

RANDALL P. KIPP
COLORADO PROFESSIONAL LAND SURVEYOR NO. 38079

Subject: Text Box
Page Label: 3
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 2:36:58 PM
Color: ■
Label:

SIGNATURE AND STAMP MUST BE ON ALL SHEETS, PLEASE ADD A SIGNATURE BLOCK SIMILAR TO BELOW

RANDALL P. KIPP
COLORADO PROFESSIONAL LAND SURVEYOR
NO. 38079



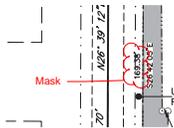
Subject: Text Box
Page Label: 3
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 2:41:47 PM
Color: ■
Label:

Per the Town of Eagle "Final Subdivision Plat Submittal Requirements", the perimeter subdivision boundary must be tied to at least one section corner monument.

Label Road

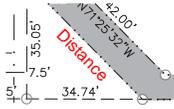
Subject: Text Box
Page Label: 3
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 3:23:04 PM
Color: ■
Label:

Label Road



Subject: Cloud+
Page Label: 3
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 3:24:11 PM
Color: ■
Label:

Mask



Subject: Text Box
Page Label: 3
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 3:24:54 PM
Color: ■
Label:

Distance



Subject: Text Box
Page Label: 3
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 3:25:52 PM
Color: ■
Label:

Distance

46.91'

Bearing

Subject: Text Box
Page Label: 3
Lock: Unlocked
Status:
Checkmark: Unchecked
Author: doug.lancaster
Date: 7/17/2025 3:26:34 PM
Color: ■
Label:

Bearing

Alyssa Rivas

From: Nikki Davis <nikki.davis@townofeagle.org>
Sent: Friday, August 8, 2025 4:07 PM
To: Alyssa Rivas
Subject: Re: Electronic Referral Request: 1215 Chambers Ave Minor Development Plan and Lot Line Adjustment

Follow Up Flag: Follow up
Flag Status: Flagged

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

Hi Alyssa,

Thank you for the opportunity to review the application for the Vail Valley Design Center. I've reviewed the project narrative and offer the following comments from an Economic Development and Housing perspective:

- **Alignment with Town Goals:** The project is consistent with the Commercial General zone district and supports multiple goals of the Elevate Eagle Comprehensive Plan and the Town's Economic Development Plan, particularly in diversifying the commercial base, supporting primary job creation, and reinvesting in the Chambers Avenue commercial area.
- **Employment Impact:** The projected creation of approximately 192 jobs represents a meaningful expansion of Eagle's employment base and supports opportunities for residents to live and work locally.
- **Business Retention & Attraction:** The proposed mix of showroom, retail, office, and warehouse spaces fills a gap in the local market, creating opportunities for design, construction, and home improvement businesses to establish or expand operations in Eagle.
- **Regional Draw:** The location adjacent to I-70, combined with improved signage and site design, positions the Design Center as a regional hub, potentially attracting new expenditure dollars and supporting tourism-related businesses.
- **Design & Community Character:** The architectural and site design elements enhance the Chambers Avenue corridor, contributing to the Town's identity and sense of place.
- **Consideration for On-Site Employee Housing:** In alignment with the land use code provisions for accessory employee dwelling units, staff encourages the applicant to explore incorporating such units into

the project, either as part of the current proposed design or as a potential future phase. This could help support the local workforce generated by the Design Center, reduce commuter impacts, and advance the Town's long-term housing goals.

From an economic development standpoint, this application appears to strengthen Eagle's commercial sector and employment opportunities. Please let me know if you need any additional feedback or clarification.

Thank you,

Nikki Davis

Economic Development & Housing Specialist

(970) 328-9654

TOWN OF EAGLE

Sender and receiver should be mindful that all my incoming and outgoing emails may be subject to the Colorado Open Records Act, § 24-72-200.1, et seq.

[Nikki Davis Office Hours - Meet with me.](#)

From: Alyssa Rivas <alyssa.rivas@baselinecorp.com>

Sent: Friday, June 27, 2025 1:59 PM

To: Eddie Wilson <Eddie.Wilson@townofeagle.org>; Jim Horsley <jim.horsley@townofeagle.org>; Carrie Buhlman <carrie.buhlman@eaglepolice.org>; Ronald Delp <ronald.delp@eaglepolice.org>; Ryan Johnson <ryan.johnson@townofeagle.org>; Jill Kane <jill.kane@townofeagle.org>; Brian Lieberman <brian.lieberman@townofeagle.org>; Nikki Davis <nikki.davis@townofeagle.org>; Aaron Demo <aaron@baselinecorp.com>; Doug Lancaster <doug.lancaster@baselinecorp.com>; rcohen@gefcpd.org <rcohen@gefcpd.org>; bdaruna@ecparamedics.com <bdaruna@ecparamedics.com>; eaglecountycd@gmail.com <eaglecountycd@gmail.com>; npowellre@centurytel.net <npowellre@centurytel.net>; Jason.Sharpe@centurylink.com <Jason.Sharpe@centurylink.com>; Kelly.McClernon@centurylink.com <Kelly.McClernon@centurylink.com>; ecad@ecparamedics.com <ecad@ecparamedics.com>; andy_davis@comcast.com <andy_davis@comcast.com>; khernandez@holycross.com <khernandez@holycross.com>; cbrown@holycross.com <cbrown@holycross.com>; jvroom@holycross.com <jvroom@holycross.com>; pamelafischhaber@state.co.us <pamelafischhaber@state.co.us>; brian.wodrich@state.co.us <brian.wodrich@state.co.us>; danielle.neumann@state.co.us <danielle.neumann@state.co.us>; megan.sullivan@state.co.us <megan.sullivan@state.co.us>; customerservice@support.blackhillsenergy.com <customerservice@support.blackhillsenergy.com>; bill.gibson@eaglecounty.us <bill.gibson@eaglecounty.us>; lnichols@crwcd.org <lnichols@crwcd.org>; james.vanbeek@eaglecounty.us <james.vanbeek@eaglecounty.us>; david.c.gremel@blackhillscorp.com <david.c.gremel@blackhillscorp.com>; Chad_Slagle@comcast.com <Chad_Slagle@comcast.com>; ben.gerdes@eaglecounty.us <ben.gerdes@eaglecounty.us>; lnichols@crwcd.org <lnichols@crwcd.org>; dave.levy@coretransit.org <dave.levy@coretransit.org>; claire.lewandowski@eaglecounty.us <claire.lewandowski@eaglecounty.us>; mickey.mccormick@eaglecounty.us <mickey.mccormick@eaglecounty.us>; jill.ragaller@eaglecounty.us <jill.ragaller@eaglecounty.us>; sarah.ohaver@eaglecounty.us <sarah.ohaver@eaglecounty.us>; DNR_wildlife.cpwinf@state.co.us <DNR_wildlife.cpwinf@state.co.us>; marcia.gilles@eaglecounty.us <marcia.gilles@eaglecounty.us>; bill@lotichydrological.com <bill@lotichydrological.com>; stephen.jaouen@co.usda.gov <stephen.jaouen@co.usda.gov>; flynn@eagleriverco.org <flynn@eagleriverco.org>; Nikki Davis <nikki.davis@townofeagle.org>; Beth.Oliver@eaglecounty.us <Beth.Oliver@eaglecounty.us>; CGS_LUR@mines.edu <CGS_LUR@mines.edu>; brian.killian@state.co.us <brian.killian@state.co.us>; wenli.dickinson@state.co.us <wenli.dickinson@state.co.us>; Jason.Sharpe@centurylink.com <Jason.Sharpe@centurylink.com>; TNycum@MountainRec.org <TNycum@MountainRec.org>; ted@prolandsurvey.com <ted@prolandsurvey.com>; Conservation@ECCDistrict.org <Conservation@ECCDistrict.org>; randy@kipplandsurveying.com <randy@kipplandsurveying.com>; Richard J. Peterson-Cremer

<rjp@mountainlawfirm.com>

Cc: Tez Hawkins <thawkins@townofeagle.org>; Peyton Heitzman <peyton.heitzman@townofeagle.org>

Subject: RE: Electronic Referral Request: 1215 Chambers Ave Minor Development Plan and Lot Line Adjustment

Some people who received this message don't often get email from alyssa.rivas@baselinecorp.com.

[Learn why this is important](#)

CAUTION: This email is from an external source. Do not click links or open attachments unless you recognize the sender and know the content is safe.

*This email is a courtesy reminder regarding the request for comments and feedback by **August 8, 2025**, close of business.*

TOWN OF EAGLE COMMUNITY DEVELOPMENT DEPARTMENT ELECTRONIC REFERRAL

Hi,

This notice is to advise you that a development application was submitted to the Town of Eagle for the following project:

Project Name: Vail Valley Design Center Development Plan and Lot Consolidation

Application Types: Minor Development Plan & Lot Line Adjustment

File Number: DR25-04 & LLA25-02

Project Request: A Minor Development Plan and Lot Line Adjustment (Consolidation) application to construct seven commercial buildings totaling 127,430 square feet with a mix of retail, showroom, office, and warehouse/storage uses.

Project Location: 1125 & 1215 Chambers Avenue

Applicant: 1215 Chambers, LLC

Staff Contact: Alyssa Rivas (Contractor)

Return Requested: August 8, 2025 (Close of Business)

The plans and associated documents are viewable on the [Town of Eagle Active Land Use Website](#). If you need any additional information, please let us know.

The Town of Eagle Community Development Department requests your review and response via email by August 8, 2025, or we will assume you have no comments or objections. If you have any questions about these applications, please do not hesitate to contact me. **Please do not use the "Reply ALL" option when responding via email.** Thank you for your time and effort in reviewing these applications.

Thank you,



ALYSSA RIVAS | PRINCIPAL PLANNER
303.202.5010 x224 | Cell: 719.332.3928
112 N. Rubey Drive, #210, Golden, CO 80403
www.baselinecorp.com | [Social Media](#)

1215 CHAMBERS AVENUE

EAGLE, COLORADO

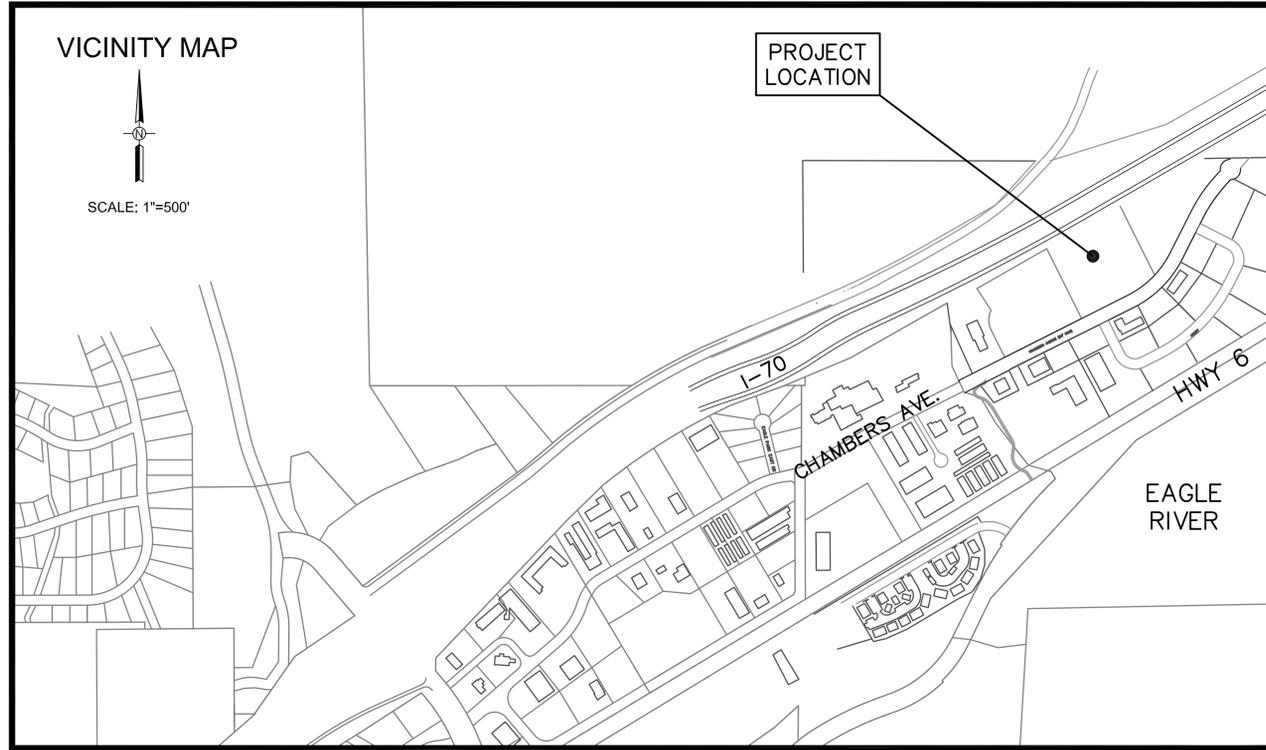
February 2025



GENERAL NOTES

- The Contractor shall notify Alpine Engineering, Inc., Owner and Town of Eagle Engineering Dept. at least 48 hours prior to any construction. The Contractor shall coordinate all work with Alpine Engineering, Inc. and Owner.
- Alpine Engineering, Inc., assumes no responsibility for utility locations. It is the Contractor's responsibility to field verify the location of all utilities prior to commencement of any construction.
- The Contractor shall conform to all Town of Eagle rules, regulations and stipulations while accessing through or working in the Town.
- The Contractor shall take all appropriate precautions to significantly reduce any potential pollution caused by his activities, including vehicle fueling, storage of fertilizers or chemicals, etc. The Contractor shall have identified procedures for handling potential pollutants and have identified spill prevention and response procedures prior to any activities at the project site.
- The Contractor shall keep 2 sets of contract drawings marked up to fully indicate asbuilt conditions. The drawings shall be provided to the Owner and Alpine Engineering, Inc. upon completion of this work. Contractor is to provide at least three ties from physical monuments to all fittings, valves, hydrants, curb stops, air vac valves, prv's, manholes, and services. The Town regulations require a description of all materials and appurtenances to be included in the asbuilts.
- The Contractor shall maintain traffic at all times to the satisfaction of the Owner and the Town of Eagle. The Contractor shall minimize traffic disruptions and provide adequate safety precautions to ensure public safety.
- Safety is the responsibility of the Contractor. The Engineer is not responsible for safety in, on, or about the project site, nor for compliance by the appropriate party with any regulations relating hereto.
- It is the Contractor's responsibility to obtain (and conform to) all proper construction permits including a road cut permit for work within the public right of way.
- The Owner will designate staging areas.
- The Contractor shall minimize all off site tracking. All soil tracked off site shall be immediately cleaned up to the satisfaction of the Town of Eagle and the Owner.
- If any groundwater is encountered the Contractor shall contact Owner, Alpine Engineering, Inc., and the Project Geotechnical Engineer immediately.
- The Contractor shall protect and preserve all trees, bushes, shrubs, and ground cover in a manner acceptable to The Owner.
- Observations of the work in progress and on-site visits are not to be construed as a guarantee or warranty by the Engineer of the Contractor's contractual responsibilities.
- All materials and workmanship shall be subject to inspection by the Town and/or their representatives, and Alpine Engineering, Inc. The Town reserves the right to accept or reject any such materials and workmanship that do not conform to the approved drawings and/or district standards or specifications.
- All construction shall conform to town standards and specifications and be subject to construction observation by their representatives. Copies of town standards must be obtained by the Contractor. Contractor shall have one (1) copy of the plans and one (1) copy of the appropriate specifications on the job site at all times.
- Street closures shall be kept to a minimum length of time. There shall be no material storage on Town Streets or property.
- It is the Contractor's responsibility to prepare and submit a Traffic Control Plan, as a requirement of the Town of Eagle's Road Cut Permit, and submit to the Town's Engineer prior to construction. The plan shall show existing and proposed traffic signs, existing and proposed crosswalk striping, construction limits, loading and access, and vehicle tracking control measures.
- Contractor shall conform to all recommendations in the subsoll study prepared by xxxxx dated xxxxxx
- Topographic information was provided by Randy Kipp of Kipp Land Surveying.

update



UTILITY NOTES

- The Contractor is warned that conflicts with existing utility services may exist. Prior to beginning any construction, the Contractor shall contact all appropriate utility companies for line locations. The Contractor shall then locate all utilities (including depth). Any conflicts with the proposed construction shall be brought to the attention of the Engineer so that line or grade changes can be made to eliminate any conflicts with these existing utilities. All existing utilities shall be protected from damage by the Contractor. Damaged utilities shall be repaired by the Contractor at no expense to the Owner.
- All construction activities and excavating for utility trenches shall meet OSHA requirements.
- All Water System and Sanitary Sewer System construction shall conform to Town of Eagle standard specifications.
- All water mains and services shall have a minimum cover of 6 feet.
- Provide 10 feet minimum horizontal separation between water and sewer mains and services or encase per Colorado Department of Health requirements.
- The Contractor shall mark all service line ends as shown on the details.
- The Contractor shall provide thrust blocks and megalug restraints at all bends and tees. Angles of water line bends are shown only as a guideline; all bends have not been identified or dimensioned, and additional bends may be required during construction. Vertical bends are not shown but will be required to maintain minimum cover.
- Water service lines to be Type K Copper with size per MEP. A curb stop shall be installed for each service at the property line or edge of easement or as shown on the plans.
- The Contractor shall verify existing pipe or manhole inverts at tie in points prior to construction.
- The Contractor shall lay 10 gauge insulated copper trace wire along the water lines, (see detail sheet), and ductile iron water pipe shall be cold-welded charge size of CA-45. The Contractor shall test the pipe and the tracer wire to confirm conductivity prior to acceptance. The Contractor shall field install polyethylene wrap on all water lines (see detail sheet).
- The Contractor shall test all water mains in accordance with Town standard specifications, tests to include pressure test, chlorine test, bacteria test and leakage test.
- The Contractor shall attend a mandatory preconstruction meeting with the Town of Eagle Engineering Dept. and Alpine Engineering, Inc., prior to the start of construction.
- Sewer service lines to be 6" PVC unless otherwise indicated.
- All sewer lines shall have a minimum of 4.5 feet of cover.
- All sewer pipe dimensions noted are inside edge of manhole to inside edge of manhole.
- The Contractor shall test all sewer mains in accordance with Town standard specifications, tests to include low pressure air test, manhole vacuum test, and television test.
- The Contractor shall have water running in sewer lines during the t.v. recording process and cut sheet format shall conform to Town standard specifications.
- The Contractor is responsible for coordinating, conducting and scheduling for the testing of all utilities and obtaining approval and acceptance from all utilities.
- To maintain adequate skin friction on existing water mains during construction, the Contractor shall valve off stubs and deplete the pressure prior to excavation for extending water main stubs. The Contractor shall also go 10 feet minimum from the main cross tee before beginning the excavation trench. The excavation trench shall be a maximum of 1.5 : 1 slope.
- The Contractor may need to perform hydraulic testing and disinfection of existing waterlines as part of the testing and acceptance procedure for the proposed waterline.
- Compaction of all trenches and bedding must be attained as per specifications.
- PHONE/CATV: All phone and cable TV conduits, pedestals and appurtenances shall be installed in accordance with Century Link's design specifications and shall be reviewed and accepted by Century Tel.
- If Water Mains cross within 18" (vertical) of sewer services, or if water mains are beneath sewer services, the contractor shall use CS900 pipe for the sewer services, and the water and pipe sticks shall be centered on each other.

GRADING AND DRAINAGE NOTES

- All work performed for this project including storm drains and culverts shall be constructed in accordance with the Town of Eagle standards and the project Technical Specifications.
- All drain pipes shall be installed with the required bedding.
- Elevations shown are at pipe invert unless otherwise shown.
- All standard storm drain structures are subject to modification by the Engineer to meet field requirements.
- Where any part of the storm drain system is located in a fill section, provide fill material compacted to 95% AASHTO T99 density from the original undisturbed ground up to structure bottom slabs and pipe bedding.
- Inlet boxes to be oversized to accommodate pipe size where necessary. Provide traffic load rated inlet box and top slab to accommodate grate and frame for oversized boxes.
- All Reinforced Concrete Pipe Joints (RCP) shall utilize Type R-4 Rubber Gasket Joints which shall be in accordance with AASHTO M198 and ASTM C443 (standard specifications for joints for circular concrete pipe using rubber gaskets).
- Pipe lengths indicated are slope lengths measured along the centerline of pipe from inside face of box to inside face of box.
- Curb and Gutters shall be installed in such a manner as to insure positive drainage in all areas, as shown.
- Direct downspout drainage away from building foundation or to storm per Geotechnical Engineer.
- Ditch revegetation and ditch protective linings will require field adjustment during construction to account for varying soil conditions. Revegetation and linings will be evaluated after ditches are constructed.
- The Contractor shall maintain existing drainage channels, culverts, and appurtenances during construction as necessary to protect roads and property.
- The Contractor shall remove all topsoil and man placed fill prior to commencement of construction.
- The ground surface surrounding the exterior of buildings shall be graded to slope away from the foundations in all directions.
- Proof roll all hardscape areas prior to installing basecourse and pavement, per Geotechnical Report.

HOLY CROSS ENERGY CONSTRUCTION SPECIFICATIONS

I. TRENCH AND CONDUIT

- The developer or contractor will contact Holy Cross Energy before conduit and vault installation begins to schedule a pre-construction meeting with the project inspector.
- Changes in power facility construction from that shown on the project plans will not be made without advance approval from the Holy Cross Energy inspector.
- Holy Cross Energy material shall not be moved from the project to which it was assigned without the advance approval of the inspector and the completion of necessary paperwork. Holy Cross Energy material shall not be installed for any use other than construction of power facilities.
- All roads will be built to subgrade and all drainages will be constructed to grade before any vaults or conduits are installed.
- All trench will be excavated deep enough to ensure that the top of installed power facilities will be 48" below final grade. Special care must be taken to insure that the top of conduits will be 48" below the bottom of drainage ditches and all other low areas.
- Trench will be as straight as possible between vaults and shall have a smooth bottom free from low and high spots. Six inches of road base will be placed the entire length of the trench and well compacted prior to conduit installation. When placed in the trench, the conduit shall be in continuous contact with the compacted road base with no hold down weight added. Twelve inches of road base, as measured from the top of the conduit, will be placed on the conduit and well compacted prior to returning any native backfill to the trench. Large rocks shall not be placed directly on the road base layer. Care must be taken to avoid conduit damage during backfill and compaction; conduits found to be unusable at the time of power cable installation will be repaired by the developer or contractor before power can be made available.
- Power facilities to be placed parallel to deeper utilities will have a horizontal separation from the deeper utility greater than the depth of such utility below final grade less four feet (see attached drawing). When crossing a deeper utility is unavoidable, the crossing will be made as close to perpendicular as possible.
- Power line conduits will be installed with a minimum separation of 12" from all other new or existing underground utility lines. Wherever possible, this separation will be horizontal. The power line separation from plastic gas lines will be greater than this minimum wherever practicable. Power line conduits will be located deeper in the trench than the facilities of all other utilities unless the inspector grants a waiver prior to the start of construction.
- Backfill and compaction above the road base layer will be as required by the governmental entity or other party having jurisdiction.
- Conduit bell ends will not be allowed in the vaults. Holy Cross Energy will supply factory couplers, 90°, 45°, and 22 1/2° elbows as needed for job. Non-factory bends and heated bends will not be allowed. No more than two 90° elbows will be allowed in a conduit run of 500 feet. The conduit shall run straight between factory bends. Allowed bends must be further than 5' from a vault. Factory elbows supplied must be used intact; they cannot be cut to make a lesser bend. Bells will not be cut off conduit sticks to use as couplers. Holy Cross Energy elbows and pipe will be used only for the power facility installation.
- The conduit will not be backfilled without the Holy Cross Energy inspector seeing all joints unless the inspector gives prior permission. All joints shall be completely sealed to the line marked on the male end of the conduit after sufficient glue is applied to both conduits being joined, even in areas where the trench cannot be excavated completely straight. Glue in the joint shall be allowed to completely dry prior to any stress being applied to the conduit on either side of the joint. Trench backfilled without the inspector viewing each joint or giving prior permission to cover the conduit will be re-excavated to expose the conduit, or the contractor will put a camera through each conduit in the span which was prematurely backfilled to verify the joint sealing and conduit condition. The camera verification will be witnessed by the Holy Cross Energy inspector.
- Individual conduits shall enter each vault at a consistent location. There is to be no crossing of conduits in the trench.
- Both ends of a conduit run shall be securely plugged at the time of installation with Holy Cross Energy supplied material. Conduit ending outside a vault shall be marked with a 4" x 4" post or other approved method.
- Red trench marking tape will be supplied by Holy Cross Energy and shall be installed 18" to 24" above the conduit during backfill.
- At completion of the job, the inspector will do a final inspection. If the job does not meet with Holy Cross Energy's specifications or the approval of inspector, service will not be provided until specifications are met.

II. VAULTS

- Vaults shall be installed as follows:
 - A Splice vaults shall be installed with the manhole lid grade being slightly above final grade of the surrounding area, except when the vault is in a roadway, the manhole lid grade shall match the grade of the finished roadway surface.
 - B Splice vaults located in roads or other sloped areas will be installed so that the concrete base and lid are at the slope of the surrounding area. Vaults placed in roads will not be located in areas normally traversed by vehicle wheels. The inspector must approve all vaults installed at a slope.
 - C Transformer vaults and switchgear vaults will be installed with the bottom of the lid at final grade. The lid will be level.
 - D Where transformer and switchgear vaults are set into hillsides or sloped cuts, the downhill side of the vault will be graded according to C above. The slope behind the vault will be laid back sufficiently to prohibit soil or rocks from sloughing onto the vault. If the slope cannot be laid back for enough, a retaining wall shall be constructed behind the vault at the direction of the inspector.
 - E All vault pads will be placed on the vaults at the time of vault installation to protect the public and wildlife, unless otherwise instructed by the inspector. The holes through transformer and switchgear pads will be covered at the time of vault installation with concrete pieces supplied by Holy Cross Energy, unless otherwise instructed by the inspector.
 - F Large vault pieces shall be joined with a tar type sealant provided by Holy Cross Energy, with the exception of the vault lid, at the direction of the inspector.
- Holes knocked in vaults for conduit installation shall be as small as possible and shall be grouted closed on the outside of the vault prior to backfill.
- Conduit shall enter vaults perpendicular to the vault wall, at least 2" from any adjacent walls and at least 2" above the vault base. There shall be a minimum separation of 1" between conduits. See vault drawings.
- Conduit will extend 4" into the vault (measured from the inside wall of the vault) after backfilling is complete.
- Ground rods in vaults for underground cable installation shall be laid in the trench with the conduits. The end of the rod shall extend approximately 6" into the vault through the conduit knockout. The rod will have a 45° bend located approximately 3" from the vault end, with the bend going away from the conduits. The bent end of the rod must be far enough from the vault wall to allow crimping the grounding conductor onto the rod. The rod must be at least 2" from the conduit at its entrance into the vault. See vault drawings.
- After the vault has been set, pipes extended in and grouted and the ground rod is in place, vaults shall be swept out removing all dirt or rocks. Cleanup shall be completed to the satisfaction of the inspector prior to cable installation being scheduled.
- Pedestals for other utilities shall not be located closer than 10' to a vault on sides where transformers or switchgear will have access doors. Pedestals shall not be located closer than 5' to a vault on sides where the pad-mounted equipment will not have access doors.

SHEET INDEX	
COVER SHEET	C1.0
SURVEY	1 OF 1
SITE PLAN	C1.1
GRADING PLAN	C2.0-C2.3
STORM SEWER	C3.0-C3.4
DOWNSPOUT PIPING PLAN	C3.5-C3.6
FOUNDATION SUBDRAIN PLAN	C3.7
UTILITY PLAN	C4.0
EROSION CONTROL PLAN	C5.0
DETAILS	C6.0-C6.4

PROJECT CONTACTS		
OWNER, 1215 CHAMBERS LLC	MATTHEW BARRY	(970) 390-773
ARCHITECT, KRAAI DESIGN ARCHITECTURE	ERIC KRAAI	(970) 712-5045
CIVIL ENGINEER, ALPINE ENGINEERING, INC.	MATT WADEY	(970) 926-3373
GEOTECH, KUMAR & ASSOCIATES	DAVE YOUNG	(970) 384-8837
SURVEYOR, KIPP LAND SURVEYING	RANDY KIPP	(970) 479-8698
TOWN OF EAGLE, ENGINEERING	RYAN JOHNSON	(970) 404-9702
TOWN OF EAGLE, PUBLIC WORKS	TOM GOSIOROWSKI	(970) 328-6678
BLACK HILLS ENERGY	MARK FADIC	(970) 914-8326
HOLY CROSS ENERGY (ELECTRIC)	TODD FORAL	(970) 748-4307
LUMEN (PHONE/CATV)	JASON SHARPE	(970) 328-8290
COMCAST (PHONE CATV)	GREG AYLESWORTH TIM SHANNON	(720) 557-0060 (970) 401-1023
GREATER EAGLE FIRE PROTECTION DISTRICT	RANDEL COHEN	(970) 328-7244

(SEAL)

1215 CHAMBERS AVE.
STORAGE FACILITY
EAGLE, CO
COVER SHEET

BY	REVISIONS
MCW	REVIEW

NO.	DATE	REVISIONS
	02/11/25	

DESIGNED	DRAWN	CHECKED	JOB NO.	DATE
MW	MW	MW	-	02-11-2025

SHEET C1.0

Improvement Survey Plat
 With Topography
 Lot C-13, KEMP SUBDIVISION
 Amended Final Plat
 Town of Eagle, County of Eagle, State of Colorado

DESCRIPTION:

LOT C-13, KEMP SUBDIVISION, according to the Amended Final Plat thereof, dated February 25, 2011, at RECEPTION NO. 201103742, recorded in the Office of the Clerk and Recorder, County of Eagle, State of Colorado.

NOTES:

- Date of Survey: February 26, 2021 and April 18-2024.
- Street Address: 1215 Chambers Ave. (Not Posted)
- Location of improvements and lot lines are based upon said Amended Final Plat, and Survey Monuments found at the time of this survey as shown hereon.
- 1' Contours shown hereon. Site Benchmark: Sanitary Manhole Rim Elev. = 6664.7', assumed.
- Basis of Bearings: An assumed bearing of N 60° 23' 33" E between the northeast and northwest corner of Lot C-13 as shown hereon.
- U.S. Survey Feet used for this survey.
- Bearings and distances shown hereon are both plotted and field measured.
- Notice: According to Colorado Law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect, in no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

CERTIFICATION:

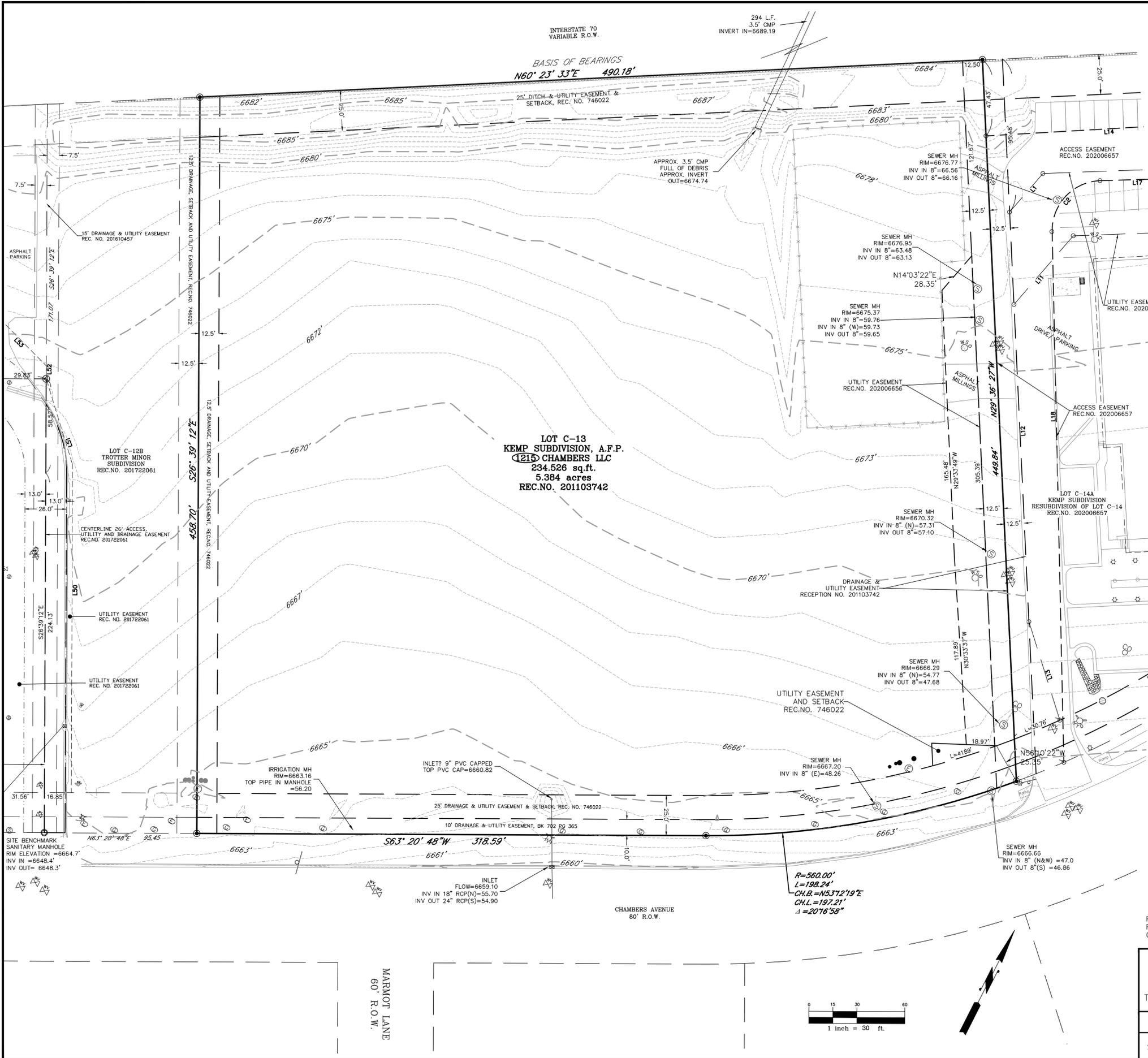
I, RANDALL P. KIPP, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS LAND SURVEY PLAT WAS PREPARED FOR MORNINGSTAR MOUNTAIN PROPERTIES LLC, AND IS THE RESULT OF A SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, RESPONSIBILITY AND CHECKING. I FURTHER CERTIFY THAT THIS LAND SURVEY PLAT IS IN CONFORMANCE WITH 38-51-106 C.R.S., MINIMUM STANDARDS FOR LAND PLATS, AND IS BASED ON THE LAND SURVEYORS KNOWLEDGE, INFORMATION AND BELIEF, IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE, AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.



RANDALL P. KIPP P.L.S. #38079
 COLORADO PROFESSIONAL LAND SURVEYOR

LEGEND:

- DENOTES FOUND SURVEY MONUMENT, 1.5" ALUMINUM CAP ON #5 REBAR LS #38079
- DENOTES FOUND SURVEY MONUMENT 1" BRASS SHINER, IN ASPHALT LS #38079
- DENOTES FOUND SURVEY MONUMENT 1.5" ALUMINUM CAP, ON #5 REBAR LS #23089
- DENOTES FOUND SURVEY MONUMENT 1.5" ALUMINUM CAP, ON #5 REBAR LS #30091
- ⊠ DENOTES IRRIGATION VALVE
- ⊠ DENOTES FIRE HYDRANT
- ⊠ DENOTES WATER VALVE
- ⊠ DENOTES WATER MANHOLE
- ⊠ DENOTES WATER SHUT OFF VALVE
- ⊠ DENOTES SANITARY MANHOLE
- ⊠ DENOTES SANITARY CLEAN OUT
- ⊠ DENOTES STORM INLET
- ⊠ DENOTES ELECTRIC TRANSFORMER
- ⊠ DENOTES TELEPHONE PEDESTAL
- ⊠ DENOTES ELECTRIC PEDESTAL
- ⊠ DENOTES ELECTRIC METER
- ⊠ DENOTES ELECTRIC MANHOLE
- DENOTES CONDUIT SLEEVE
- ⊠ DENOTES GAS MARKER
- ⊠ DENOTES ELECTRIC MARKER

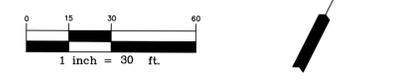


REVISION DATE: 04-18-2024 UPDATED TOPO NORTHEAST CORNER
 REVISION DATE: 04-13-2021 ADDED NORTH CULVERT INVERT
 ORIGINAL SURVEY DATE: 03-01-2021

Improvement Survey Plat With Topography Lot C-13, KEMP SUBDIVISION Amended Final Plat Town of Eagle, County of Eagle, State of Colorado	
JOB NO.: 211013	DATE: 04-18-2024
SHEET 1 OF 1	DWG NAME: 211013-LotC-13-ILC

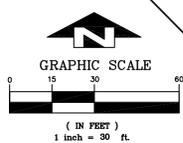
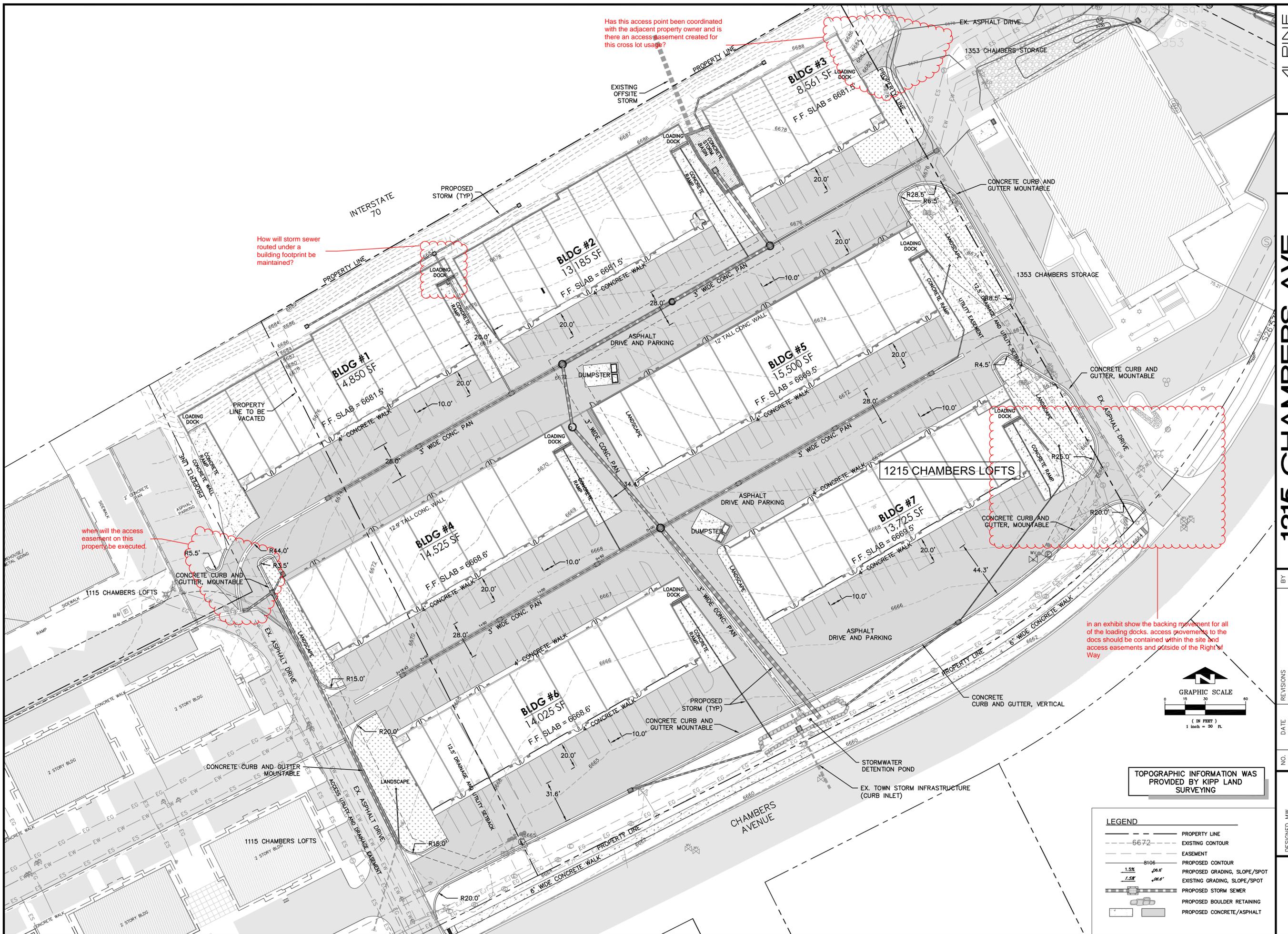
KIPP LAND SURVEYING

RANDY KIPP P.L.S.
 P.O. Box 3154
 Eagle, CO 81631
 (970) 390-9540
 email: randy@kipplandsurveying.com
 web: kipplandsurveying.com



1215 CHAMBERS AVE.
STORAGE FACILITY
EAGLE, CO
SITE PLAN

(SEAL)



TOPOGRAPHIC INFORMATION WAS PROVIDED BY KIPP LAND SURVEYING

LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	EASEMENT
	PROPOSED CONTOUR
	PROPOSED GRADING, SLOPE/SPOT
	EXISTING GRADING, SLOPE/SPOT
	PROPOSED STORM SEWER
	PROPOSED BOULDER RETAINING
	PROPOSED CONCRETE/ASPHALT

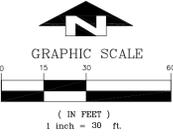
NO.	DATE	REVISIONS	BY
	02/11/25	REVIEW	MCW

DESIGNED	DRAWN	CHECKED	JOB NO.	DATE
MW	MW	MW		02-11-2025

C:\p\1215 Chambers Storage\2025\1215 Chambers Storage.dwg, 02/11/25 11:52 AM, L:\p\p

LEGEND

---	PROPERTY LINE
---	6672 EXISTING CONTOUR
---	EASEMENT
---	PROPOSED CONTOUR
1.5% 06.6'	PROPOSED GRADING, SLOPE/SPOT
1.5% 06.6'	EXISTING GRADING, SLOPE/SPOT
---	PROPOSED STORM SEWER
---	PROPOSED BOULDER RETAINING
---	PROPOSED CONCRETE/ASPHALT

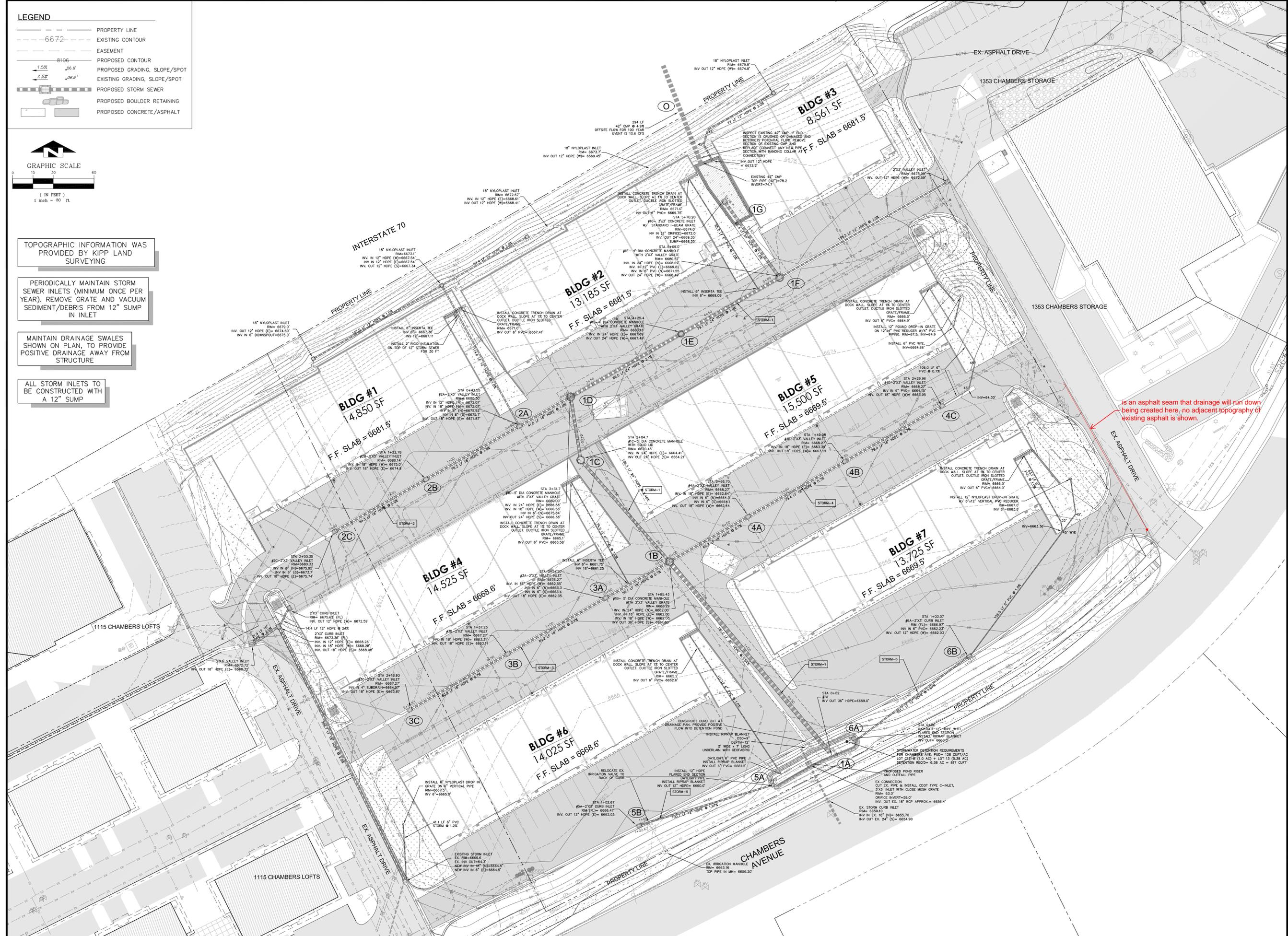


TOPOGRAPHIC INFORMATION WAS PROVIDED BY KIPP LAND SURVEYING

PERIODICALLY MAINTAIN STORM SEWER INLETS (MINIMUM ONCE PER YEAR). REMOVE GRATE AND VACUUM SEDIMENT/DEBRIS FROM 12" SUMP IN INLET

MAINTAIN DRAINAGE SWALES SHOWN ON PLAN, TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE

ALL STORM INLETS TO BE CONSTRUCTED WITH A 12" SUMP



1215 CHAMBERS AVE.
STORAGE FACILITY
EAGLE, CO
OVERALL STORM PLAN

NO.	DATE	REVISIONS	BY
	02/11/25	REVIEW	MCW

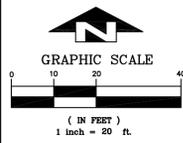
DESIGNED	MW	DRAWN	MW
CHECKED	MW	JOB NO.	
DATE	02-11-2025		

SHEET
C3.0

(SEAL)

LEGEND

- PROPERTY LINE
- - - 6672 EXISTING CONTOUR
- - - 81.06 EASEMENT
- - - PROPOSED CONTOUR
- - - PROPOSED GRADING, SLOPE/SPOT
- - - EXISTING GRADING, SLOPE/SPOT
- - - PROPOSED STORM SEWER
- - - PROPOSED BOULDER RETAINING
- - - PROPOSED CONCRETE/ASPHALT



TOPOGRAPHIC INFORMATION WAS PROVIDED BY KIPP LAND SURVEYING

MAINTAIN DRAINAGE SWALES SHOWN ON PLAN, TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE

PERIODICALLY MAINTAIN STORM SEWER INLETS (MINIMUM ONCE PER YEAR). REMOVE GRATE AND VACUUM SEDIMENT/DEBRIS FROM 12" SUMP IN INLET

ALL STORM INLETS TO BE CONSTRUCTED WITH A 12" SUMP

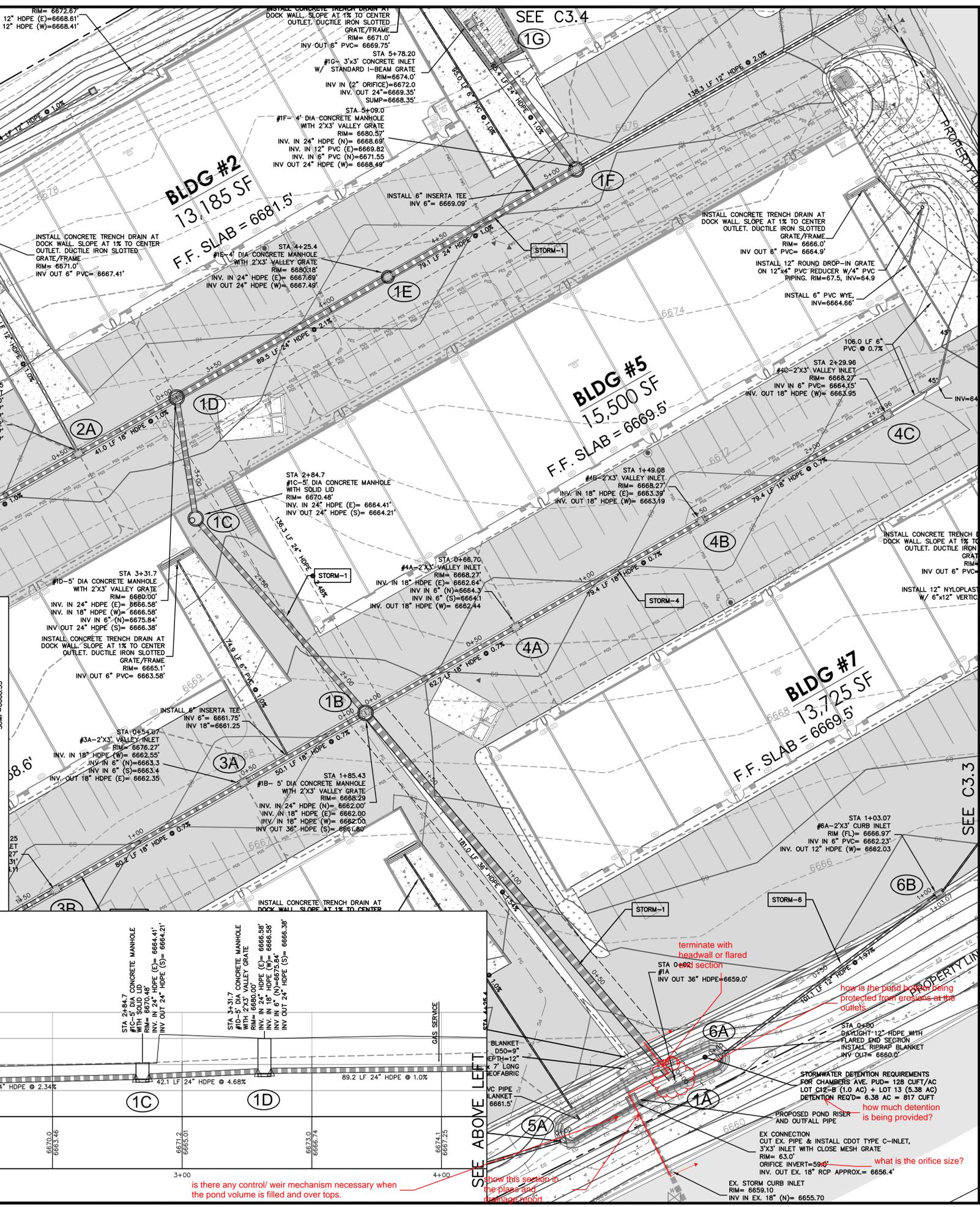
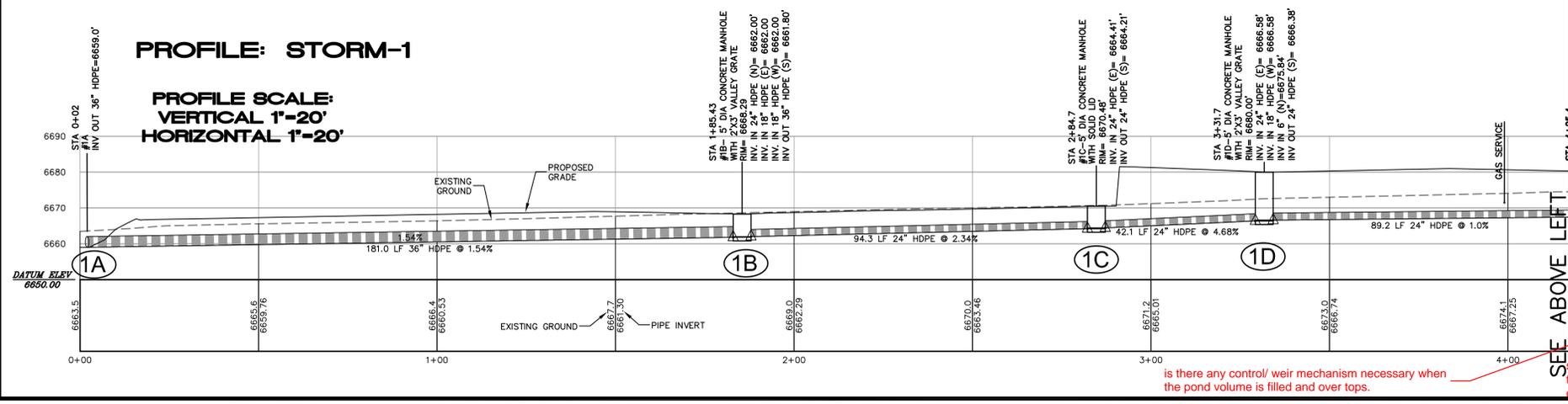
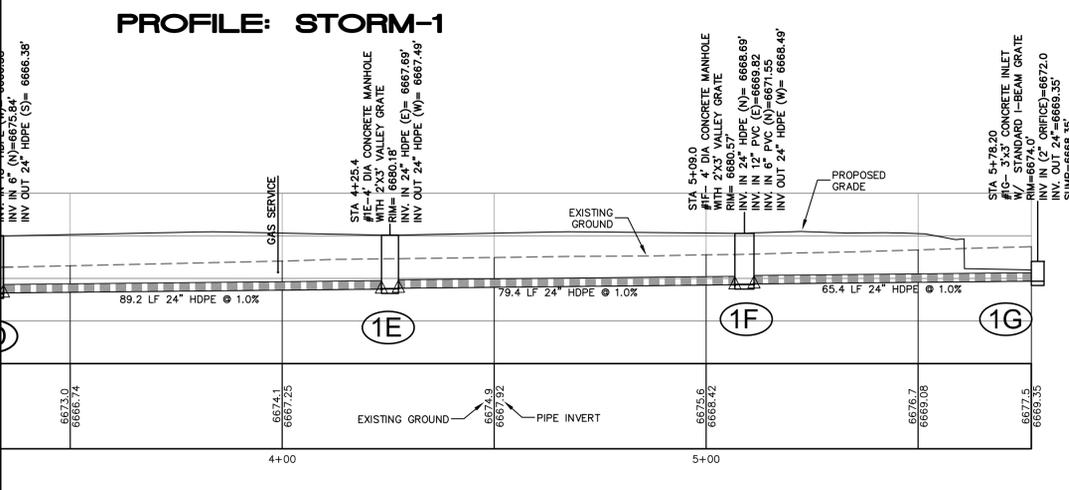
INTERSTATE 70

BLDG #1
4,850 SF
F.F. SLAB = 6681.5'

BLDG #2
13,185 SF
F.F. SLAB = 6681.5'

BLDG #5
15,500 SF
F.F. SLAB = 6669.5'

BLDG #7
13,725 SF
F.F. SLAB = 6669.5'



NO.	DATE	REVISIONS
1	02/11/25	REVIEW

DESIGNED	DRAWN	CHECKED	DATE
MW	MW	MW	02-11-2025

is there any control/ weir mechanism necessary when the pond volume is filled and over tops.

how this section in the plan and drainage report

terminate with headwall or flared section

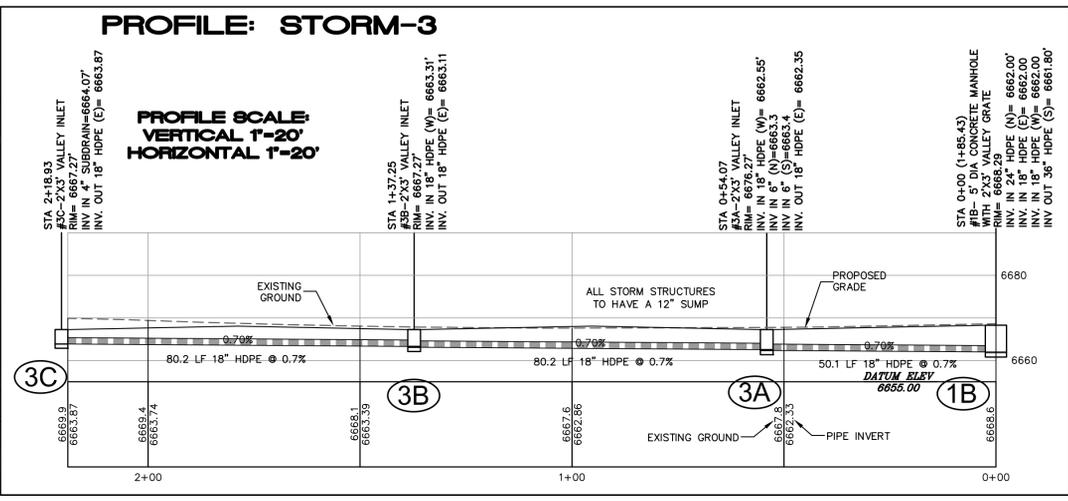
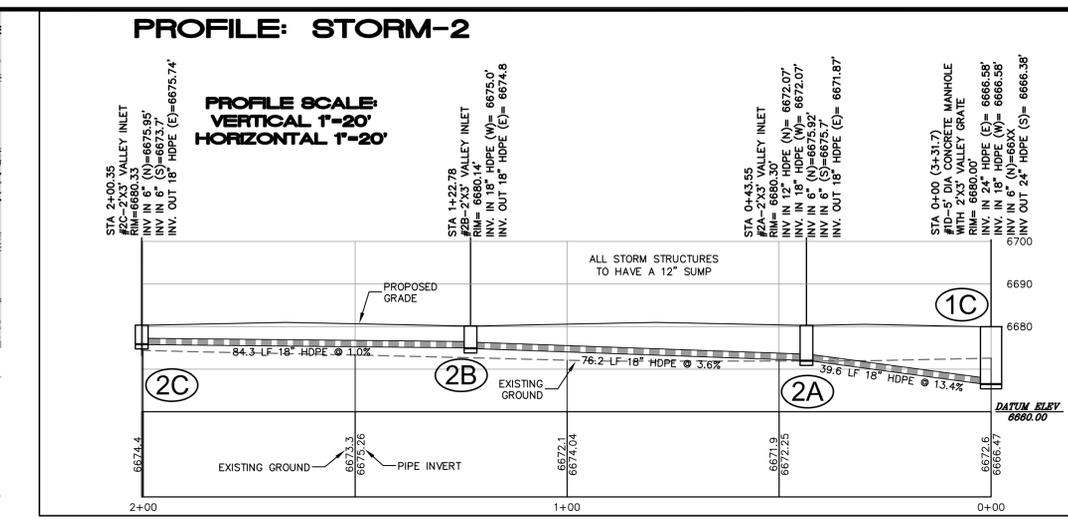
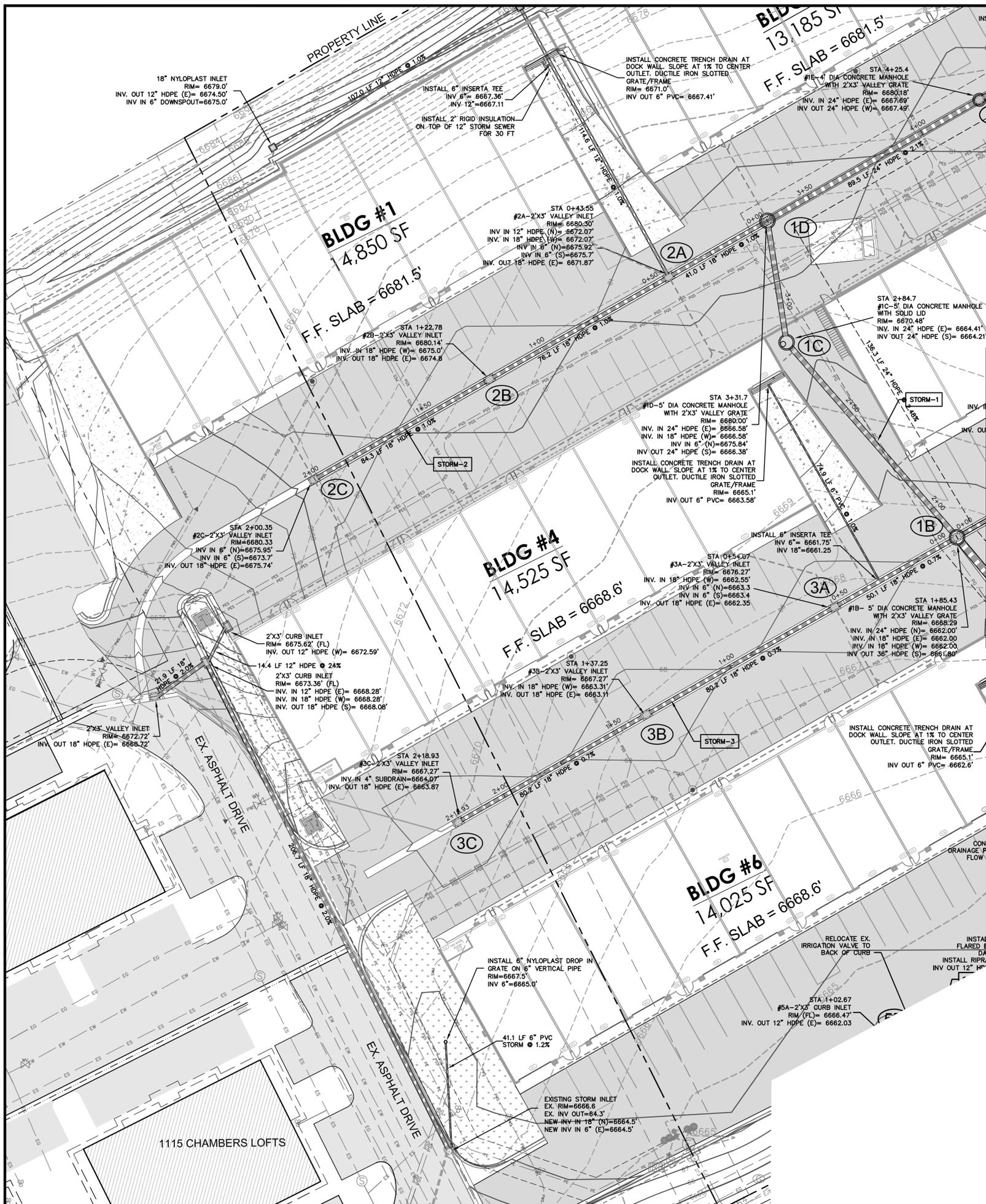
how is the pond being protected from erosion at the outlets

how much detention is being provided?

what is the orifice size?

(SEAL)

C:\p\1215 Chambers Storage\2025\1215 Chambers\1215 Chambers.dwg, 3/11/2025 3:35:17 PM, Lantier

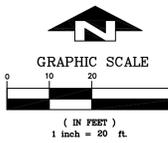


TOPOGRAPHIC INFORMATION WAS PROVIDED BY KIPP LAND SURVEYING

PERIODICALLY MAINTAIN STORM SEWER INLETS (MINIMUM ONCE PER YEAR). REMOVE GRATE AND VACUUM SEDIMENT/DEBRIS FROM 12" SUMP IN INLET

MAINTAIN DRAINAGE SWALES SHOWN ON PLAN, TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE

ALL STORM INLETS TO BE CONSTRUCTED WITH A 12" SUMP



LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	EASEMENT
	PROPOSED CONTOUR
	PROPOSED GRADING, SLOPE/SPOT
	EXISTING GRADING, SLOPE/SPOT
	PROPOSED STORM SEWER
	PROPOSED BOULDER RETAINING
	PROPOSED CONCRETE/ASPHALT

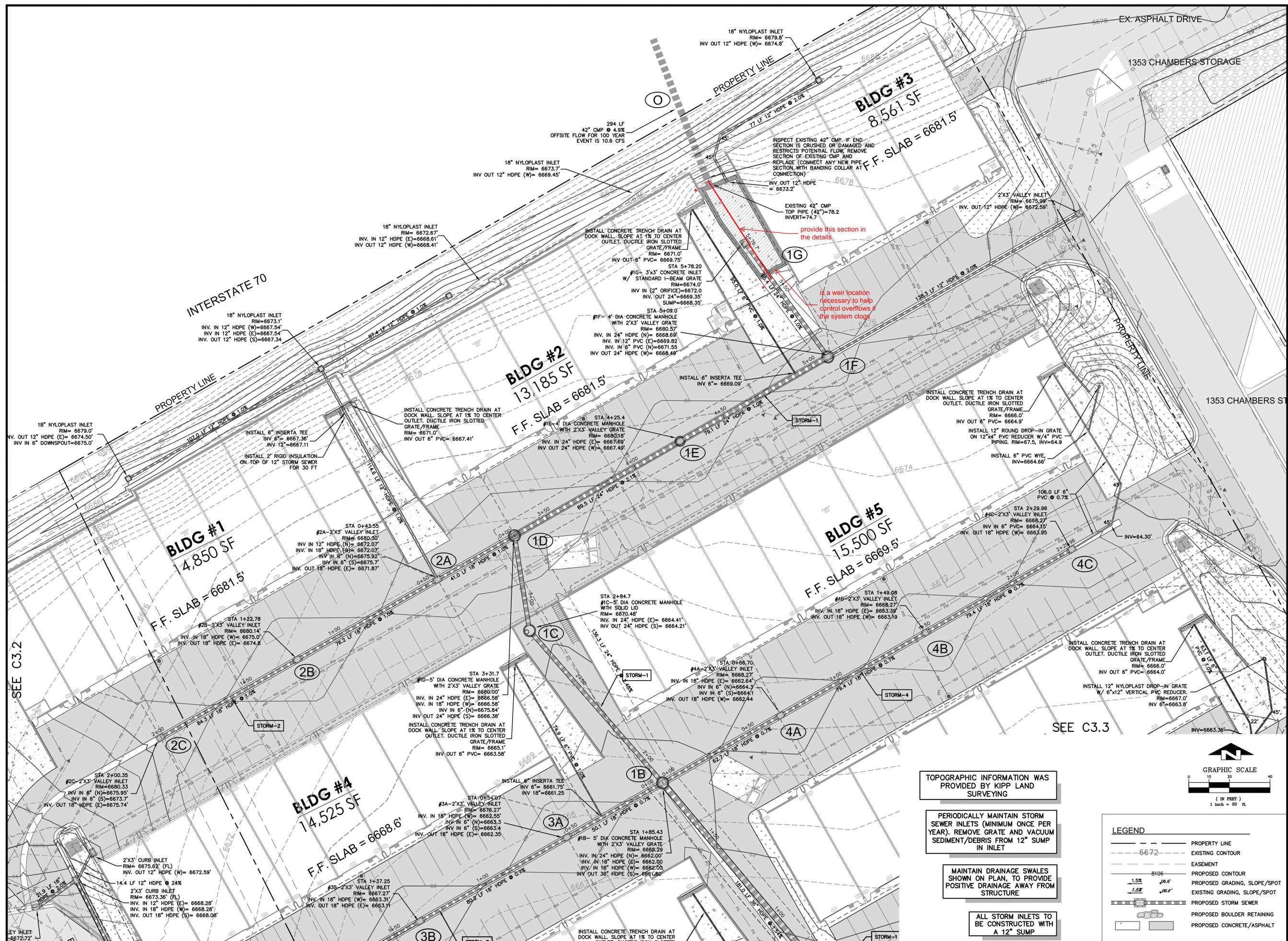
NO.	DATE	REVISIONS
	02/11/25	REVIEW

DESIGNED MW	DRAWN MW	CHECKED MW	JOB NO.	DATE
				02-11-2025

SEE C3.1 & C3.3

C:\p\1215 Chambers Storage\2025\1215 Chambers Storage\1215 Chambers.dwg, 3/11/2025, 3:26:41 PM, Lantier

NO.	DATE	REVISIONS
BY	MCV	
DESIGNED	MW	
DRAWN	MW	
CHECKED	MW	
JOB NO.	02-11-2025	
DATE	02-11-2025	



TOPOGRAPHIC INFORMATION WAS PROVIDED BY KIPP LAND SURVEYING

PERIODICALLY MAINTAIN STORM SEWER INLETS (MINIMUM ONCE PER YEAR). REMOVE GRATE AND VACUUM SEDIMENT/DEBRIS FROM 12" SUMP IN INLET

MAINTAIN DRAINAGE SWALES SHOWN ON PLAN, TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE

ALL STORM INLETS TO BE CONSTRUCTED WITH A 12" SUMP

LEGEND

---	PROPERTY LINE
- - - -	EXISTING CONTOUR
- - - -	EASEMENT
---	PROPOSED CONTOUR
---	PROPOSED GRADING, SLOPE/SPOT
---	EXISTING GRADING, SLOPE/SPOT
---	PROPOSED STORM SEWER
---	PROPOSED BOULDER RETAINING
---	PROPOSED CONCRETE/ASPHALT

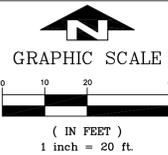
SEE C3.2

SEE C3.3

C:\p\1215 Chambers Storage\2025\1215 Chambers Storage\1215 Chambers Storage.dwg, 3/11/2025 3:57:59 PM, Lantier

LEGEND

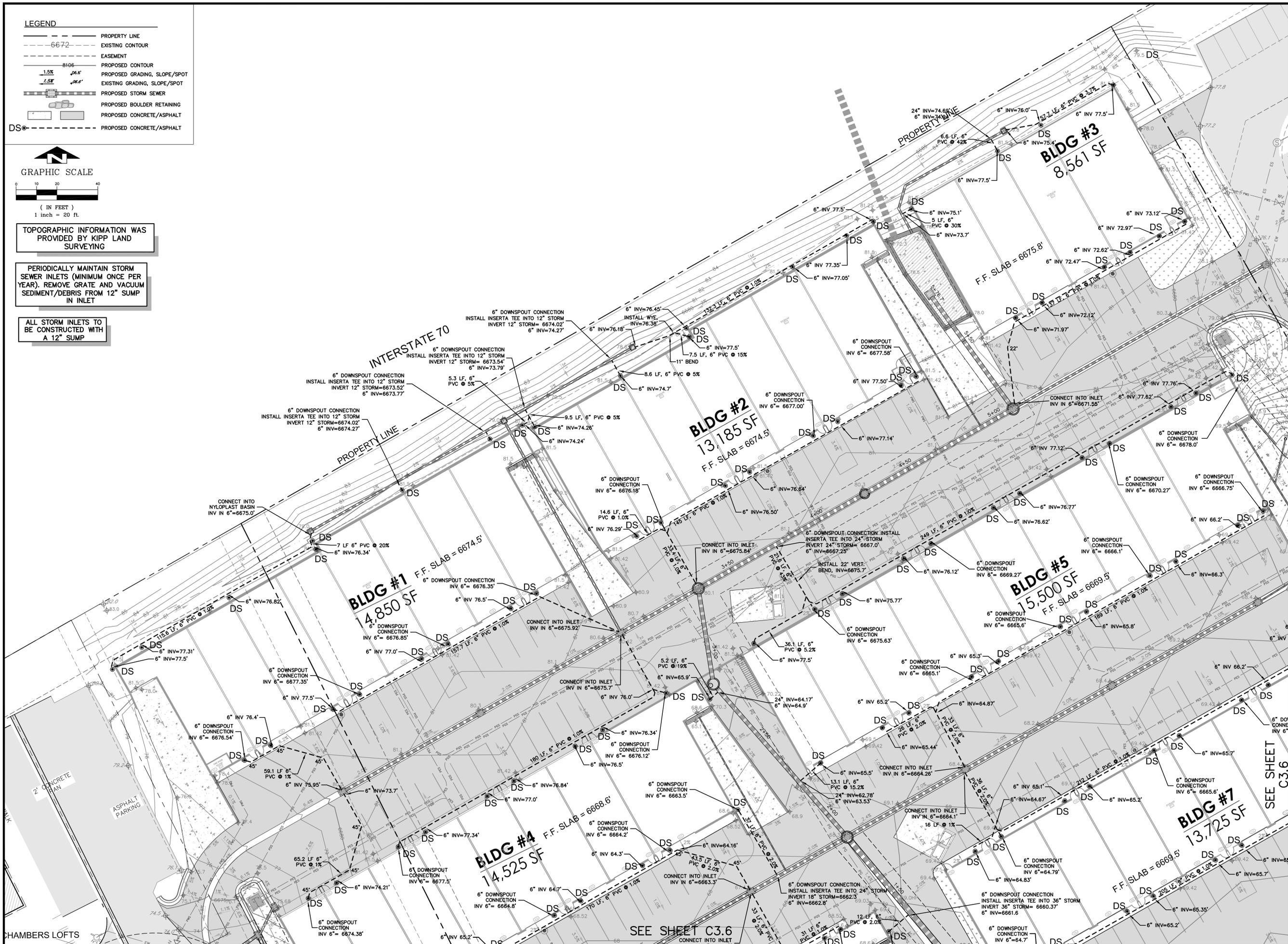
---	PROPERTY LINE
- - - -	EXISTING CONTOUR
- - - -	EASEMENT
- - - -	PROPOSED CONTOUR
1.5% 06.6'	PROPOSED GRADING, SLOPE/SPOT
7.5% 06.6'	EXISTING GRADING, SLOPE/SPOT
---	PROPOSED STORM SEWER
---	PROPOSED BOULDER RETAINING
---	PROPOSED CONCRETE/ASPHALT
DS	PROPOSED CONCRETE/ASPHALT



TOPOGRAPHIC INFORMATION WAS PROVIDED BY KIPP LAND SURVEYING

PERIODICALLY MAINTAIN STORM SEWER INLETS (MINIMUM ONCE PER YEAR). REMOVE GRATE AND VACUUM SEDIMENT/DEBRIS FROM 12" SUMP IN INLET

ALL STORM INLETS TO BE CONSTRUCTED WITH A 12" SUMP



1215 CHAMBERS AVE.
STORAGE FACILITY
EAGLE, CO

ROOF DOWNSPOUT COLLECTOR

DESIGNED	MW	REVISIONS	
DRAWN	MW	DATE	02/11/25
CHECKED	MW	NO.	C3.6
DATE	02-11-2025	BY	MCV
		REVIEW	

SHEET C3.5

Are the number of hydrants, hydrant spacing and locations consistent with the 2021 IFC.

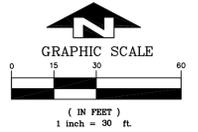
What is the max fire flow requirements for IFC appendix B.

Are all buildings sprinklered?

Has the hydrant layout been coordinated with the Fire Department?

LEGEND

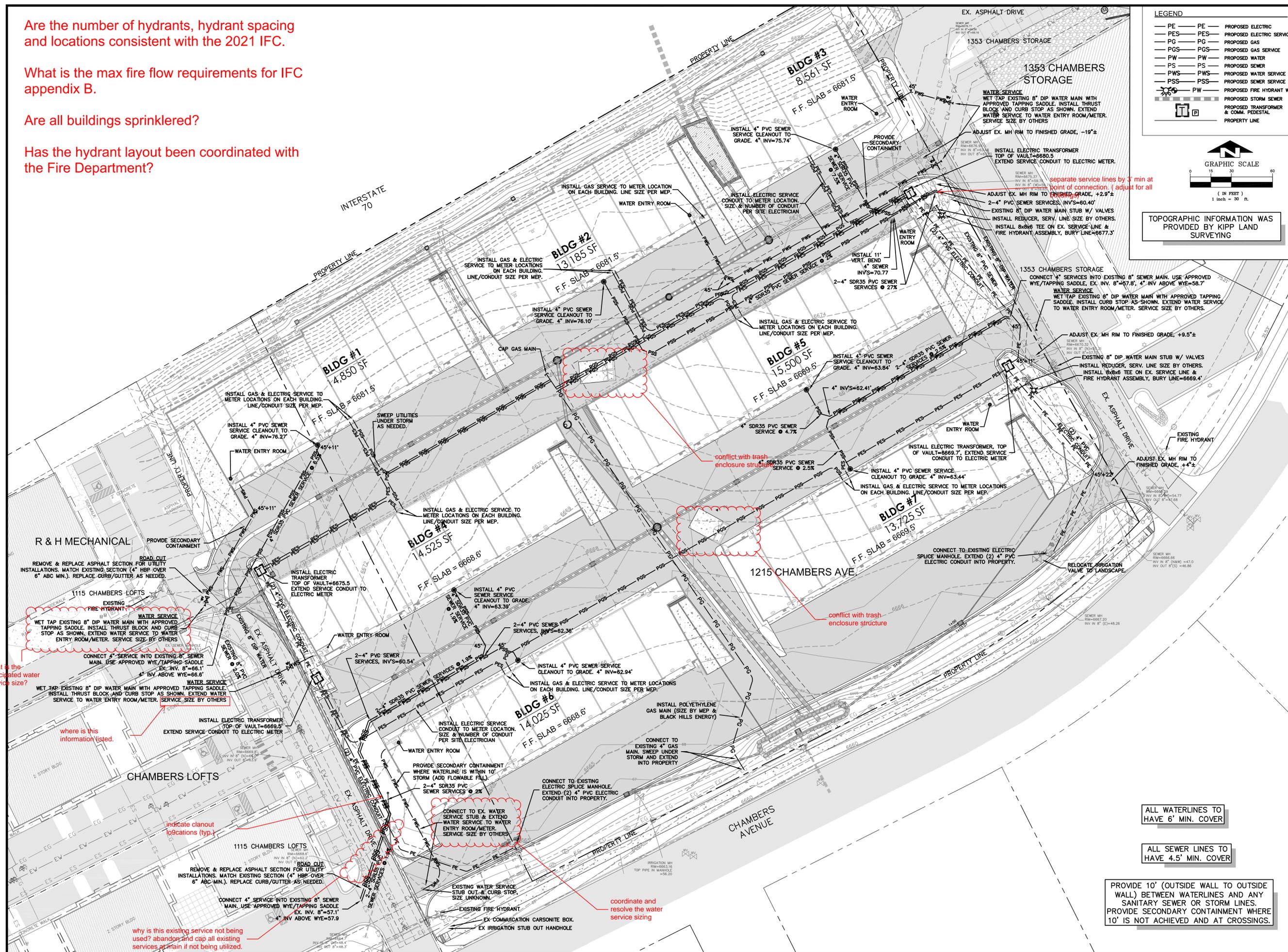
PE	PE	PROPOSED ELECTRIC
PES	PES	PROPOSED ELECTRIC SERVICE
PG	PG	PROPOSED GAS
PGS	PGS	PROPOSED GAS SERVICE
PW	PW	PROPOSED WATER
PS	PS	PROPOSED SEWER
PWS	PWS	PROPOSED WATER SERVICE
PSS	PSS	PROPOSED SEWER SERVICE
PW	PW	PROPOSED FIRE HYDRANT W/GV
		PROPOSED STORM SEWER
		PROPOSED TRANSFORMER & COMM. PEDESTAL
		PROPERTY LINE



TOPOGRAPHIC INFORMATION WAS PROVIDED BY KIPP LAND SURVEYING



1215 CHAMBERS AVE.
STORAGE FACILITY
EAGLE, CO
UTILITY PLAN



what is the anticipated water service size?

where is this information listed.

Indicate cleanout locations (typ.)

why is this existing service not being used? abandon and cap all existing services at main if not being utilized.

conflict with trash enclosure structure

conflict with trash enclosure structure

coordinate and resolve the water service sizing

ALL WATERLINES TO HAVE 6" MIN. COVER

ALL SEWER LINES TO HAVE 4.5" MIN. COVER

PROVIDE 10' (OUTSIDE WALL TO OUTSIDE WALL) BETWEEN WATERLINES AND ANY SANITARY SEWER OR STORM LINES. PROVIDE SECONDARY CONTAINMENT WHERE 10' IS NOT ACHIEVED AND AT CROSSINGS.

NO.	DATE	REVISIONS	BY
	02/11/25	REVIEW	MCW

DESIGNED	MW	DRAWN	MW	CHECKED	MW	JOB NO.	DATE
							02-11-2025

SHEET C4.0

C:\p\1215 Chambers Storage\2021\1215 Chambers Storage.dwg - 1215 Chambers Storage.dwg 2/11/2025 10:02:38 AM Larkspur

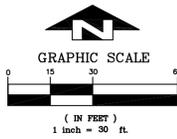
LEGEND

— W —	EROSION LOG WATTLES
— SLT —	SILT FENCE
	STABILIZED CONSTRUCTION ENTRANCE
	SILT SACK INLET PROTECTION
	EROSION LOG AT INLET
	DITCH EROSION LOG

CONTRACTOR SHALL DEVELOP A MEANS AND METHODS TO CONTROL SEDIMENT DURING CONSTRUCTION TO ASSURE THAT NO SEDIMENT IS DISCHARGED OFF-SITE.

PERIODICALLY MAINTAIN STORM SEWER INLETS (MINIMUM ONCE PER YEAR). REMOVE GRATE AND VACUUM SEDIMENT/DEBRIS FROM 12" SUMP IN INLET

ALL DISTURBED AREAS MUST BE REVEGETATED (RE: LANDSCAPE)



GENERAL NOTES FOR SEDIMENT CONTROL

- CONTRACTOR SHALL SUBMIT A CONSTRUCTION STAGING & MANAGEMENT PLAN IDENTIFYING CONSTRUCTION FENCING, STAGING, STORAGE & CONSTRUCTION TRAILER LOCATION PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- INSTALL AND MAINTAIN SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THESE PLANS AND AS NEEDED TO PREVENT SEDIMENT FROM DISCHARGING OFF-SITE OR ENTERING THE RIVER.
- ALL PROPOSED SEDIMENT CONTROL MEASURES ARE TEMPORARY MEASURES UNLESS SPECIFIED OTHERWISE ON PLANS.
- SEDIMENT CONTROL MEASURES MAY REQUIRE FIELD ADJUSTMENTS AT THE TIME OF CONSTRUCTION TO INSURE THAT THEIR INTENDED PURPOSE IS ACCOMPLISHED.
- PROVIDE REGULAR INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES TO INSURE THAT SEDIMENT CONTROL EFFICIENCY IS OBTAINED UNTIL FINAL STABILIZATION OF SITE HAS TAKEN PLACE.
- INSTALL SEDIMENT CONTROL MEASURES AT THE ONSET OF GRADING OPERATIONS SO THAT EFFECTIVE SEDIMENT CONTROL CAN BE ACHIEVED DURING THE ENTIRE CONSTRUCTION PERIOD.
- STABILIZE ALL POINTS OF INGRESS AND EGRESS WITH TRACKING PAD DURING CONSTRUCTION TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.
- FOR TEMPORARY STOCKPILES APPLY SEED, HYDROMULCH AND TACKIFIER IMMEDIATELY AFTER THEY ARE CONSTRUCTED FOR STABILIZATION. IF EROSION OCCURS AFTER APPLICATION OF THE TACKIFIER, USE EXCELISOR O2 EROSION CONTROL FABRIC. INSTALL SILT FENCE BELOW STOCKPILES TO CAPTURE SEDIMENT.
- THE TERM 'REVEGETATION' ON THIS PLAN MEANS THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED CONTAINING THE SPECIFIED AMOUNTS OF FERTILIZER IN ACCORDANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS. REFER TO LANDSCAPE PLANS FOR SEED MIX, FERTILIZER TYPE, MULCH, TACKIFIER AND APPLICATION RATES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE APPROPRIATE MEASURES TO INSURE THAT NO SEDIMENT LADEN WATER IS DISCHARGED FROM THE SITE.
- APPROVAL SHALL BE REQUESTED UPON FINAL STABILIZATION OF ALL SITES BEFORE REMOVAL OF SEDIMENT CONTROLS.
- CONTRACTOR SHALL OBTAIN AND CONFORM TO STORMWATER DISCHARGE PERMIT AND ALL ENVIRONMENTAL PERMITS AND KEEP STREETS CLEAN AND FREE OF SEDIMENT.
- REMOVAL AND CLEANUP OF ANY SEDIMENT THAT LEAVES THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR

CONSTRUCTION SEQUENCE OF EROSION/SEDIMENT CONTROL MEASURES

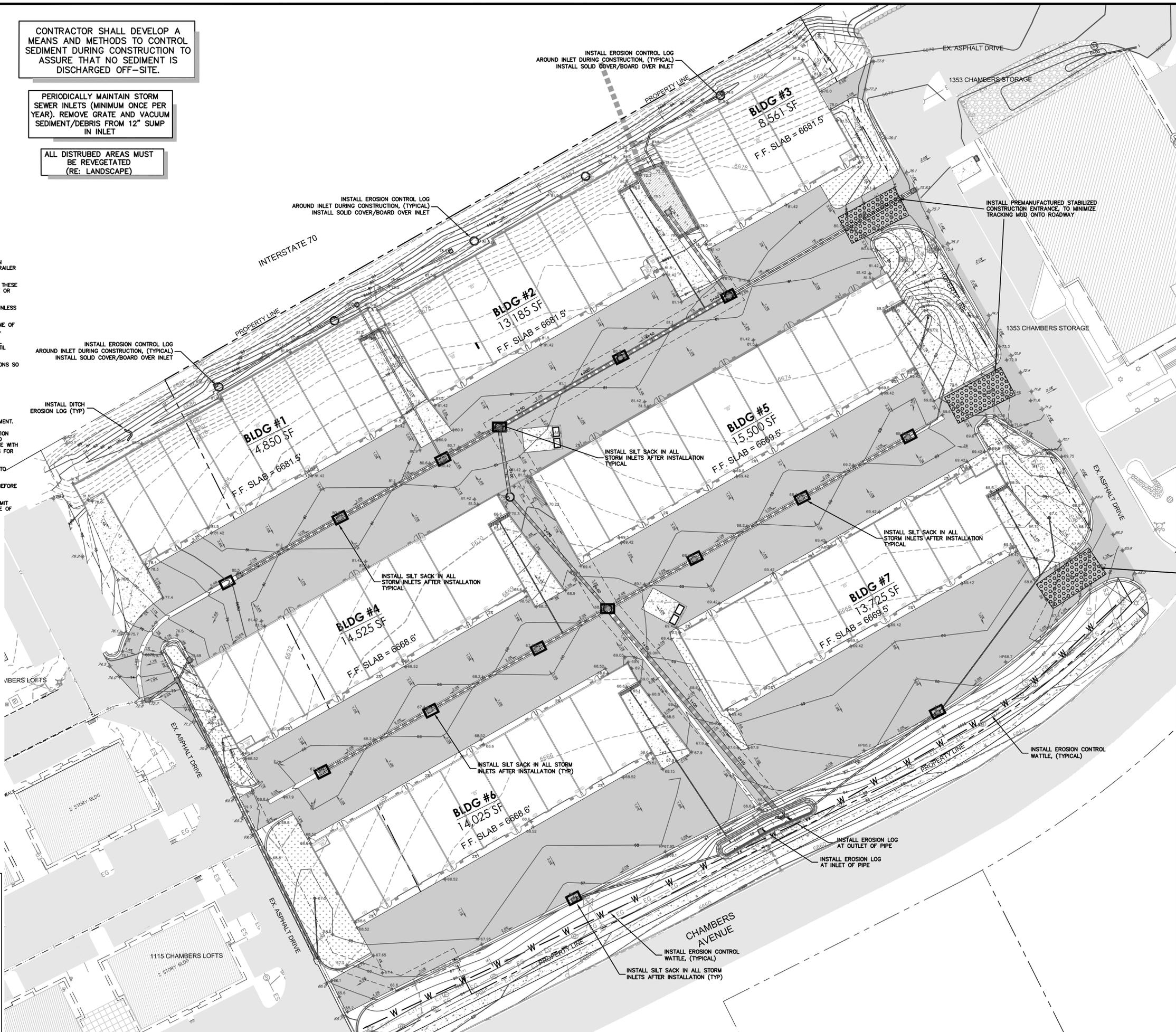
- BEFORE COMMENCING GRADING OR CONSTRUCTION
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES AT ALL POINTS OF INGRESS AND EGRESS.
 - CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ASSURE THAT NO SEDIMENT LEAVES THE SITE.
 - CONSTRUCT SILT FENCE AND WATTLES AND ALL SEDIMENT CONTROL DEVICES.
 - BEGIN DEMOLITION, EXCAVATION AND CONSTRUCTION.
 - INSTALL EROSION CONTROL MEASURES AFTER DITCHES AND SWALES HAVE BEEN CONSTRUCTED AND TOPSOIL AND SEED HAVE BEEN PLACED. INSTALL INLET PROTECTION IN ALL INLETS AS THEY ARE CONSTRUCTED.
 - TOPSOIL AND REVEGETATE ALL DISTURBED AREAS WITH APPROVED SEED MIX PER LANDSCAPE PLAN.
 - CONTRACTOR SHALL REMOVE SEDIMENT CONTROL FACILITIES AFTER FINAL STABILIZATION.

FUGITIVE DUST CONTROL

- THE CONTRACTOR IS RESPONSIBLE TO CONTROL FUGITIVE DUST AND TO INCORPORATE THE FOLLOWING:
- ALL UNPAVED ROADS AND OTHER DISTURBED AREAS ON SITE SHALL BE WATERED TO MINIMIZE FUGITIVE DUST.
 - HAUL ROADS SHALL BE TREATED WITH MAGNESIUM CHLORIDE IF WATER IS NOT CONTROLLING THE DUST.
 - ALL DISTURBED SURFACE AREAS SHALL BE REVEGETATED OR SURFACED PER THE LANDSCAPE PLAN AS SOON AS POSSIBLE.
 - MUD AND DIRT CARRYOUT ONTO PAVED SURFACES SHALL BE PREVENTED. ANY MUD AND DIRT CARRYOUT ONTO PAVED SURFACES SHALL BE CLEANED UP DAILY.

CONTRACTOR SHALL MARKUP A SITE MAP WITH SOIL STOCKPILES, DUMPSTERS, PORTABLE TOILETS, MATERIAL STORAGE AREAS, CONSTRUCTION WASTE AND THE EROSION CONTROL LOGS UTILIZED AS STOCKPILE CONTAINMENT AS THEY ARE IMPLEMENTED.
PORTABLE TOILETS ARE TO BE STAKED DOWN.

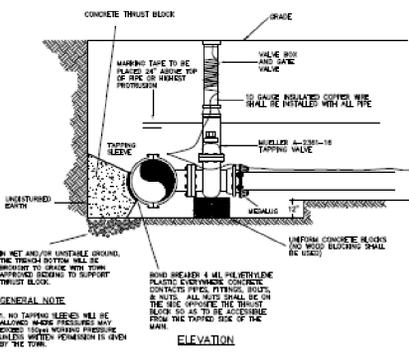
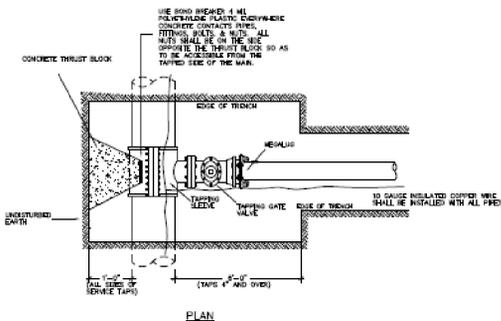
A CONCRETE WASHOUT IS TO BE USED FOR WASTE CONCRETE.
A. Direct wash water into a leak-proof container or leak-proof and lined pit designed so that no overflows can occur due to inadequate sizing or precipitation;
B. Handle washout or cleanout wastes as follows:
i. Do not dump liquid wastes in storm sewers or waters of the U.S.;
ii. Dispose of liquid wastes in accordance with applicable requirements; and
iii. Remove and dispose of hardened concrete waste consistent with your handling of other construction wastes.
C. Locate any washout or cleanout activities as far away as possible from waters of the U.S. and stormwater inlets or conveyances, and, to the extent feasible, designate areas to be used for these activities and conduct such activities only in these areas.



**1215 CHAMBERS AVE.
STORAGE FACILITY
EAGLE, CO**
EROSION CONTROL PLAN

NO.	DATE	REVISIONS
	02/11/25	REVIEW

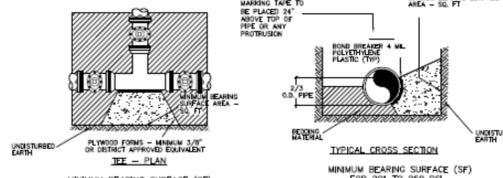
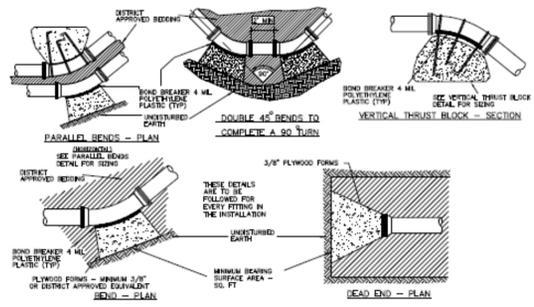
DESIGNED	DRAWN	CHECKED	JOB NO.	DATE
MW	MW	MW	-	02-11-2025



GENERAL NOTE
 1. NO TAPPING SLEEVES WILL BE ALLOWED UNDER PRESSURE UNLESS SPECIFIC PERMISSION IS GIVEN BY THE TOWN.
 2. BONDING SET & STRAINERS SHALL BE USED AS SHOWN.

Title: DETAIL - Tapping Sleeve
 Project: Public Works Manual
 Drawn: JB
 Checked: TOE Tapping Sleeve.dwg
 Date: 1/12/2018

B18



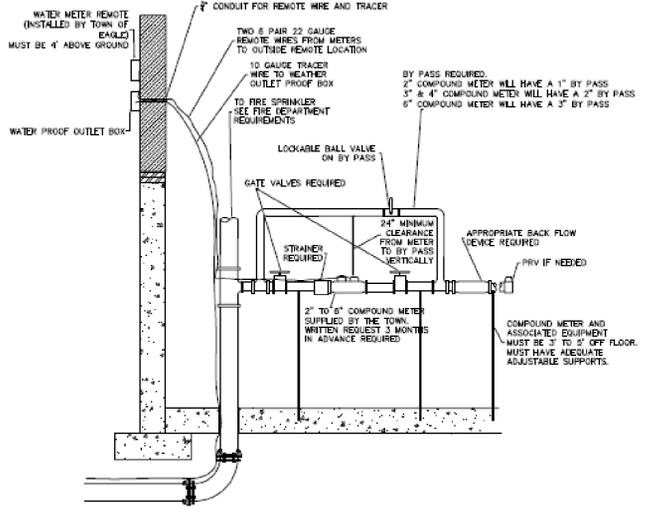
MINIMUM BEARING SURFACE (SF) FOR 200 PSI AND LESS

SIZE OF PIPE	90°	45°	30°	TEE OR DEAD END
4"	1.3	2.5	4	8.4
6"	1.3	2.5	6.0	8.4
8"	1.8	3.6	8.4	11.4
10"	2.7	5.4	11.4	15.0
12"	4.7	9.3	18.1	25.7
18"	7.2	14.3	28.0	40.8

GENERAL NOTES
 1. WEDGED RESTRAINTS SHALL BE USED IN CONJUNCTION WITH THRUSTBLOCKS.
 2. MINIMUM AREA REQUIRED SHALL BE THAT OF AN 8 INCH MAIN.
 3. ALL THRUST BLOCKS SHALL BE FORMED. THE MINIMUM THICKNESS OF MATERIAL SHALL BE 3/4" PLYWOOD OR DETRACT APPROVED EQUIVALENT.
 4. BEARING AREA BASED ON SOIL BEARING PRESSURE OF 2000 LB/SF.

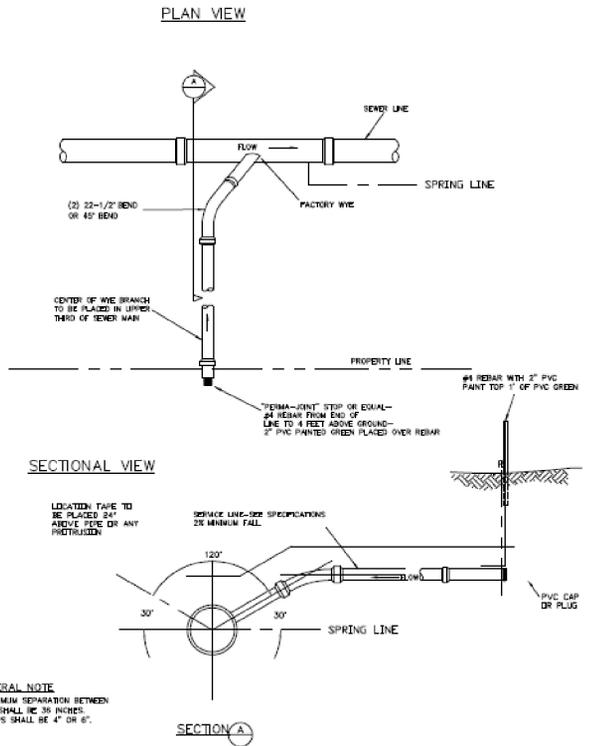
Title: DETAIL - General Thrust Blocks
 Project: Public Works Manual
 Drawn: JB
 Checked: TOE General Thrust Blocks.dwg
 Date: 1/12/2018

B21



Title: DETAIL - Compound Meter Installation
 Project: Public Works Manual
 Drawn: JB
 Checked: TOE Compound Meter Building.dwg
 Date: 1/4/18

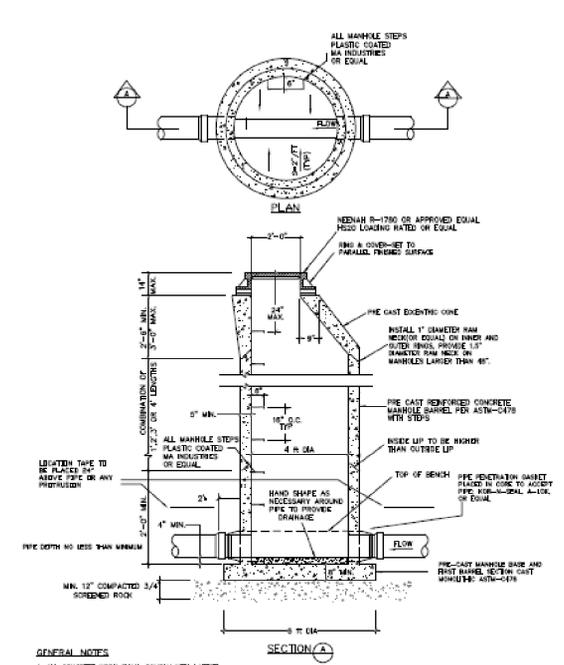
E2



GENERAL NOTE
 1. MINIMUM SEPARATION BETWEEN TAPS SHALL BE 36 INCHES.
 2. TAPS SHALL BE 4" OR 6".

Title: DETAIL - SEWER SERVICE FROM MAIN
 Project: Public Works Manual
 Drawn: JB
 Checked: SEWER SERVICE AT MAIN.DWG
 Date: 1/8/2018

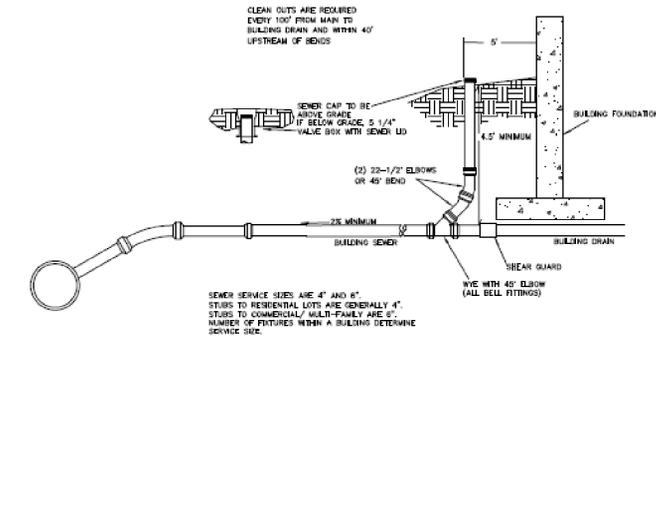
A4



GENERAL NOTES
 1. ALL CONCRETE WORK SHALL COMPLY WITH LATEST A.S.T.M. SPECIFICATIONS.
 2. MANHOLE RINGS SHALL HAVE A MINIMUM OF 2" DROP FROM ENTRANCE THROUGH OUT.
 3. FLOW CHANNEL TO BE SHAPED AS TO NOT ALLOW STANDING WATER.

Title: DETAIL - Standard Manhole
 Project: Public Works Manual
 Drawn: JB
 Checked: TOE Standard Manhole.dwg
 Date: 1/8/2018

A5



Title: DETAIL - Building Sewer Service
 Project: Public Works Manual
 Drawn: JB
 Checked: TOE Building Sewer Service.dwg
 Date: 1/4/18

E7



NO.	DATE	REVISIONS	BY
1	02/11/25	REVIEW	MCW

DESIGNED	DRAWN	CHECKED	JOB NO.	DATE
MW	MW	MW	-	02-11-2025

DRAINAGE REPORT

FOR

1215 CHAMBERS AVENUE

Eagle, Colorado

April 2025



DRAINAGE REPORT

FOR

1215 CHAMBERS AVENUE

Eagle, Colorado

April 2025

Prepared by: Alpine Engineering, Inc.
P.O. Box 97
Edwards, CO 81632
(970) 926-3373

Prepared for: Morningstar Mountain Properties
Matthew Barry
(970) 390-7730

TABLE OF CONTENTS

I. VICINITY MAP	
II. INTRODUCTION.....	1
III. SITE DESCRIPTION	1
IV. DRAINAGE BASINS	1
V. PEAK FLOW DETERMINATION.....	2
VI. DETENTION AND WATER QUALITY	2
VII. FLOODPLAIN.....	3
VIII. SEDIMENT AND EROSION CONTROL.....	3
IX. CDPHE PERMITS	3
X. SUMMARY.....	3

TABLES

- Table 1 – Detention Pond – Detention Storage Volume

APPENDICES

- Appendix A – TR55 Drainage Basin Calculations
- Appendix B – USDA-NRCS Soil Hydrologic Soil Group Survey
- Appendix C- Manning’s Equation for Offsite Volume

MAPS

- Sheet 1 – Drainage Area Map 1”=400’
- Sheet 2 – Vegetative Cover Drainage Area Map 1”=400’
- Sheet 3 – Soils Drainage Area Map 1”=400’
- Preliminary Grading Plan 1”=30’

II. INTRODUCTION

The purpose of this Drainage Report is to summarize the existing hydrologic conditions found at the 1215 Chambers Avenue development site and to evaluate the off-site and developed for the proposed project. This report contains calculations for off-site drainage and developed conditions including detention, and a description of anticipated Colorado Department of Public Health and Environment permits that will be acquired for the project. This report was completed in general conformance with the January 2018 Town of Eagle, Public Works Manual, Section 4.00, Drainage Analysis and Systems Design Criteria.

III. SITE DESCRIPTION

The proposed 1215 Chambers Avenue Parcel is located near the east end of Chambers Avenue between Interstate 70 and Chambers Avenue. The site contains 5.38 acres (Lot C-13) and an adjacent 0.98 acres (Lot C 12B) which will be absorbed into this development through lot line vacation / replat. This report addresses drainage for off-site areas north of Interstate 70 that outfalls onto this site.

Most of the existing parcel is currently a grassed field. It is Lot C-13, Kemp Subdivision of the Eagle Valley Commercial Park. The off-site area is made up of pinyon and juniper and some grass and gravel roads.

IV. DRAINAGE BASINS

The drainage on the 1215 Chambers Avenue site flows predominately from north to south through some inlets and storm pipes and to the Eagle River. There is a 184.2 acre drainage basin north of Interstate 70 that outfalls through a 42" CMP culvert onto the site. Refer to the Drainage Area Maps in this report.

Discuss Onsite basins.

V. PEAK FLOW DETERMINATION

Overall site peak flows have been calculated using TR55, "Urban Hydrology for Small Watersheds", June 1986 as prepared by the U.S. Soil Conservation Service (SCS). The 24-hr precipitation values for various frequency storms were input into WIN TR55 based upon the 24-hour precipitation (P) values taken from the NOAA Atlas 2, Volume III, Isopluvials of 24-hour precipitation maps and were found to be 1.4-, 2.0-, 2.4-, and 2.9- inches for the 2-, 10-, 25-, and 100-year storms. TR55 calculations may be found in Appendix A. The off-site drainage area map using the USGS quad sheet for topography may be found on Sheet 1 of the map section of this report.

The vegetative cover for the off-site tributary drainage area may be found on Sheet 2 of the map section of this report.

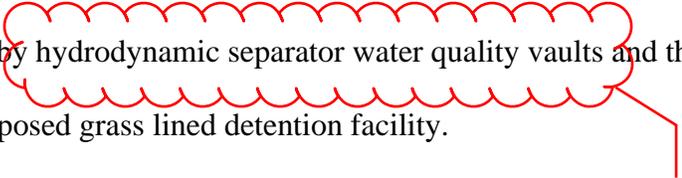
The actual hydrologic soils group has been input based on the USDA NRCS Web Soil Survey of Hydrologic Soils Group and Soils Map on Sheet 3 of the map section of this report in Appendix B and is summarized in Exhibit B.

VI. DETENTION AND WATER QUALITY

The detention volume has been calculated based upon an analysis performed in a Preliminary Drainage Study named Eagle Valley Commercial Park, A Resubdivision of Tract A, Eagle Valley Commercial Park, dated December 1, 1995 by Johnson & Kunkel Associates of Eagle Colorado. In it, it explains that some regional detention has been provided for the subdivision but each development lot will also need to provide 218 cu. ft. per acre of storage. This calculates to 5.38 acres (lot area) x 218 cu. ft. per acre = 1,173 cu. ft. Table 1 shows the

pond storage shown preliminarily on the plan will provide the required storage at approximately elevation 6663 feet.

Initial water quality treatment will be provided by a concrete settling basin at the outfall of the existing 42” Interstate culvert. Any mud or sediment from large storm events will deposit in the basin and be cleaned out after storm events. Additional water quality treatment will be provided by hydrodynamic separator water quality vaults and through settlement and infiltration in the proposed grass lined detention facility.



where are these located on the site.

VII. FLOODPLAIN

There is no FEMA 100-year floodplain that is impacted by the development of this site.

VIII. SEDIMENT AND EROSION CONTROL

A sediment and erosion control plan has been developed for the project to limit the transport of sediments and contaminants off-site during construction. Devices to be used during construction to prevent sediment laden runoff from leaving the site include stabilized construction entrances, silt fence, wattles, straw bales, perimeter ditches, stone outlet structures and inlet protection.

IX. CDPHE PERMITS

The Colorado Department of Public Health and Environment (CDPHE) requires that proposed developments disturbing more than 1 acre of ground obtain a Colorado NPDES Stormwater Discharge Associated with Construction Activity permit from them. It is anticipated that a Stormwater Management/Best Management Practices (SWM/BMP) plan and permit application will be prepared for the development.

X. SUMMARY

The 1215 Chambers Avenue project will have off-site stormwater passed through the site in a storm sewer pipe that will connect to an existing storm sewer inlet in Chambers Avenue. The 100 year flowrate for the offsite basin was found to be 10.64 cfs (Appendix A). The 100 year volume will be piped through the project in a 24" HDPE storm culvert to the proposed detention facility. Calculations for the offsite pipe sizing can be found in Appendix C. The drive aisle between all buildings has a reverse "crown" and drain to a centerline pan. The reverse crown of the drive and parking areas provides storage volume in the event that all stormwater inlets become clogged. The drive and parking cross-section can contain an average of 16 cfs, larger than the 100 year storm volume of the offsite drainage. Detention will be provided by a combination of regional stormwater management and some on-site detention.

A Concrete settling basin, hydrodynamic separator water quality vaults and grass lined detention pond with a riser inlet and orifice will provide water quality treatment of stormwater.

Sediment and erosion control will be addressed by the Stormwater Management/Best Management Practices Plan and permit application prepared for the site.

TABLES

TABLE 1

1215 Chambers

DETENTION POND - DETENTION STORAGE VOLUME

POND 1

Elevation	Area (ft ²)	Avg. Area (ft ²)	Depth (ft)	Volume (ft ³)	Cumulative Volume (ft ³)	Cumulative Volume (Ac-ft)	Cumulative Volume (Gallons)
6661	26	0	0	0	0	0.000	0
6662	581	304	1	304	304	0.007	2,270
6663	1,298	940	1	940	1,243	0.029	9,298
6664	2,071	1,685	1	1,685	2,928	0.067	21,898

APPENDIX A
TR55 Drainage Basin Calculations

Where are the on site
basin calculations pre an
post development?

WinTR-55 Current Data Description

--- Identification Data ---

User: HM Date: 8/19/2021
 Project: 1215 Chambers Units: English
 SubTitle: Flow to existing I-70 42'' Culvert Areal Units: Acres
 State: Colorado
 County: Eagle
 Filename: O:\Eagle\1215 Chambers Storage-2021\dwg\Drainage\TR55\1215 Chambers-fair-good.w55

--- Sub-Area Data ---

Name	Description	Reach	Area (ac)	RCN	Tc
1A	1a	Outlet	184.2	56	0.453

Total area: 184.20 (ac)

--- Storm Data --

Rainfall Depth by Rainfall Return Period

100-Yr (in)	50-Yr (in)	25-Yr (in)	10-Yr (in)	5-Yr (in)	2-Yr (in)	0-Yr (in)
2.9	2.8	2.4	2.0	1.8	1.4	.0

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

=====

HM 1215 Chambers
 Flow to existing I-70 42'' Culvert
 Eagle County, Colorado

Watershed Peak Table

Sub-Area or Reach Identifier	Peak Flow by Rainfall Return Period				
	100-Yr (cfs)	50-Yr (cfs)	25-Yr (cfs)	10-Yr (cfs)	2-Yr (cfs)
SUBAREAS					
1A	10.64	7.95	1.90	0.44	.00
REACHES					
OUTLET	10.64	7.95	1.90	0.44	.00

=====

HM 1215 Chambers
 Flow to existing I-70 42'' Culvert

Eagle County, Colorado

Sub-Area Summary Table

Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number	Receiving Reach	Sub-Area Description
1A	184.20	0.453	56	Outlet	1a
Total Area: 184.20 (ac)					

HM 1215 Chambers
Flow to existing I-70 42'' Culvert
Eagle County, Colorado

Sub-Area Time of Concentration Details

Sub-Area Identifier/	Flow Length (ft)	Slope (ft/ft)	Mannings's n	End Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/sec)	Travel Time (hr)
1A							
SHEET	100	0.3400	0.400				0.174
SHALLOW	1048	0.2600	0.050				0.035
CHANNEL	3977	0.0580	0.050	3.00	6.00	4.528	0.244
Time of Concentration							0.453

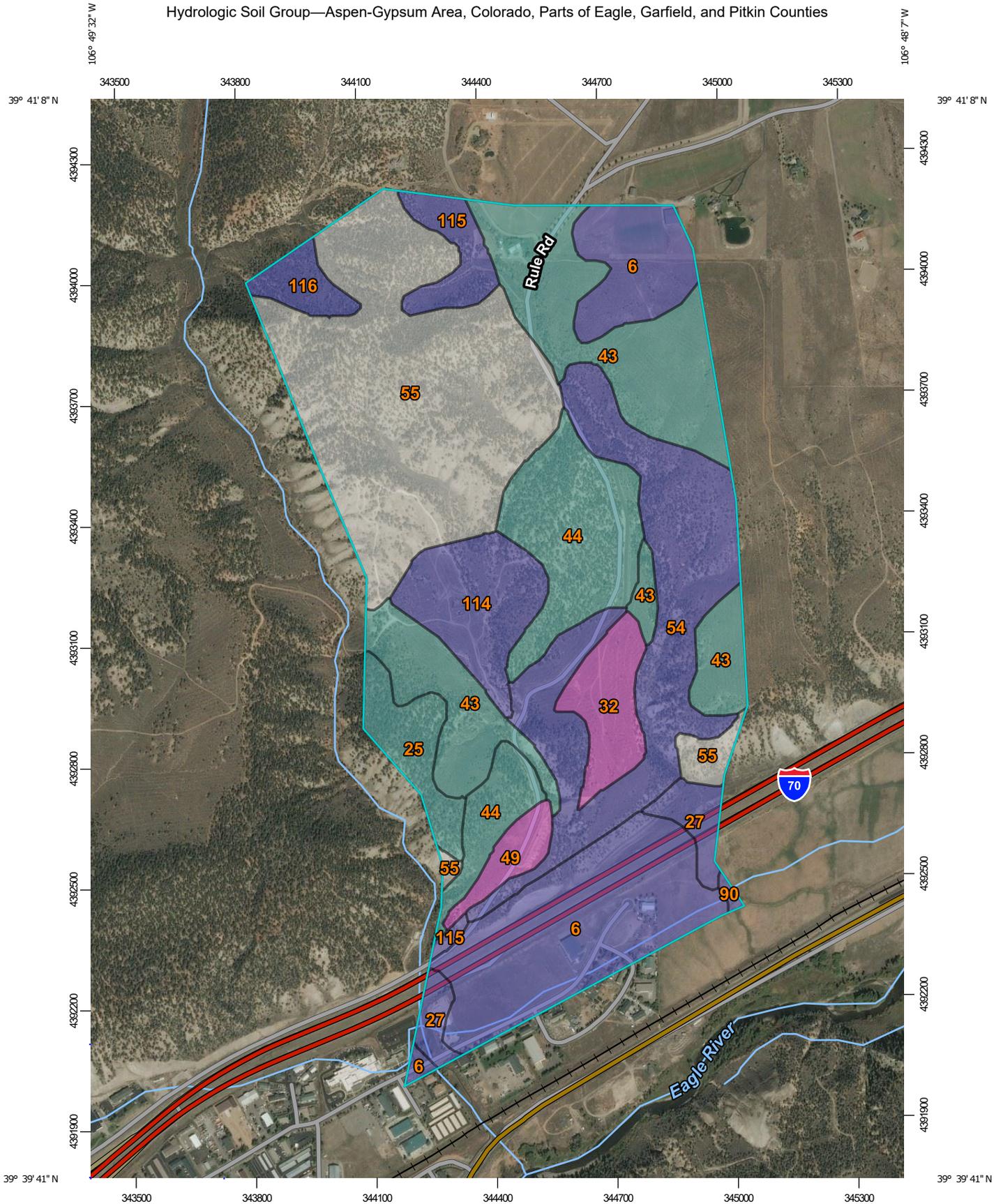
HM 1215 Chambers
Flow to existing I-70 42'' Culvert
Eagle County, Colorado

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
1A	Open space; grass cover > 75%	(good) B	1.6	61
	Paved parking lots, roofs, driveways	B	2	98
	Gravel (w/ right-of-way)	A	1.09	76
	Gravel (w/ right-of-way)	B	.34	85
	Gravel (w/ right-of-way)	C	.06	89
	Gravel (w/ right-of-way)	D	.37	91
	Pinyon - juniper (fair)	D	34.74	80
	Pinyon - juniper (good)	B	19.3	41
	Pinyon - juniper (good)	C	41.74	61
	Sagebrush (w/ grass understory) (fair)	D	17.28	70
	Sagebrush (w/ grass understory) (good)	B	48.37	35
	Sagebrush (w/ grass understory) (good)	C	17.31	47
Total Area / Weighted Curve Number			184.2	56

APPENDIX B
USDA-NRCS Soil Hydrologic Soil Group Survey

Hydrologic Soil Group—Aspen-Gypsum Area, Colorado, Parts of Eagle, Garfield, and Pitkin Counties



Map Scale: 1:13,100 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 13N WGS84



Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

7/20/2021
Page 1 of 4

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

Soil Rating Polygons

 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines

 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points

 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available

Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Aspen-Gypsum Area, Colorado, Parts of Eagle, Garfield, and Pitkin Counties
 Survey Area Data: Version 11, Jun 5, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 15, 2012—Sep 24, 2015

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
6	Almy loam, 1 to 12 percent slopes	B	72.3	16.1%
25	Cushool-Rentsac complex, 15 to 65 percent slopes	C	12.9	2.9%
27	Dahlquist-Southace complex, 12 to 25 percent slopes	B	10.1	2.2%
32	Dotsero sandy loam, 1 to 12 percent slopes	A	14.5	3.2%
43	Forelle-Brownsto complex, 6 to 12 percent slopes	C	73.5	16.4%
44	Forelle-Brownsto complex, 12 to 25 percent slopes	C	43.2	9.6%
49	Goslin fine sandy loam, 3 to 6 percent slopes	A	6.6	1.5%
54	Grotte gravelly loam, 25 to 65 percent slopes	B	66.4	14.8%
55	Gypsum land-Gypsiorthids complex, 12 to 65 percent slopes		107.7	24.0%
90	Mussel loam, 6 to 12 percent slopes	B	0.7	0.2%
114	Yamo loam, 1 to 6 percent slopes	B	23.6	5.3%
115	Yamo loam, 6 to 12 percent slopes	B	10.6	2.4%
116	Yamo loam, 12 to 25 percent slopes	B	6.7	1.5%
Totals for Area of Interest			448.8	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

APPENDIX C
Manning's Equation Pipe Sizing

24" HDPE storm: 4% pipe slope = 6.5 inch full

Manning Pipe Calculator

Given Input Data:
Shape Circular
Solving for Depth of Flow
Diameter 24.0000 in
Flowrate 10.6400 cfs
Slope 0.0400 ft/ft
Manning's n 0.0090

Computed Results:
Depth 6.5491 in
Area 3.1416 ft²
Wetted Area 0.6946 ft²
Wetted Perimeter 26.3826 in
Perimeter 75.3982 in
Velocity 15.3181 fps
Hydraulic Radius 3.7912 in
Percent Full 27.2879 %
Full flow Flowrate 65.3536 cfs
Full flow velocity 20.8027 fps

24" HDPE storm: 2% pipe slope = 8 inch full

Manning Pipe Calculator

Given Input Data:
Shape Circular
Solving for Depth of Flow
Diameter 24.0000 in
Flowrate 10.6400 cfs
Slope 0.0200 ft/ft
Manning's n 0.0090

Computed Results:
Depth 7.8323 in
Area 3.1416 ft²
Wetted Area 0.8904 ft²
Wetted Perimeter 29.1863 in
Perimeter 75.3982 in
Velocity 11.9496 fps
Hydraulic Radius 4.3931 in
Percent Full 32.6346 %
Full flow Flowrate 46.2120 cfs
Full flow velocity 14.7097 fps

what are the values
for the minimum pipe
slope of 1.0% shown
in the profiles.

MAPS

O:\Eagle\1215 Chambers Storage-2021\dwg\Drainage\1215-Chambers.dwg, 01-DAM, 7/21/2021 9:32:22 AM, Mues, Mues



1215 CHAMBERS AVENUE
 STORAGE FACILITY - EAGLE, COLORADO
 DRAINAGE AREA MAP

NO.	DATE	REVISIONS	BY

DESIGNED MCW
 DRAWN MCW
 CHECKED MCW
 JOB NO. -
 DATE 07.20.2021

SHEET
1

O:\Eagle\1215 Chambers Storage-2021\dwg\Drainage\1215-Chambers.dwg, 02-DAM-COVER, 8/2/2021 3:14:58 PM, Mues, Mues

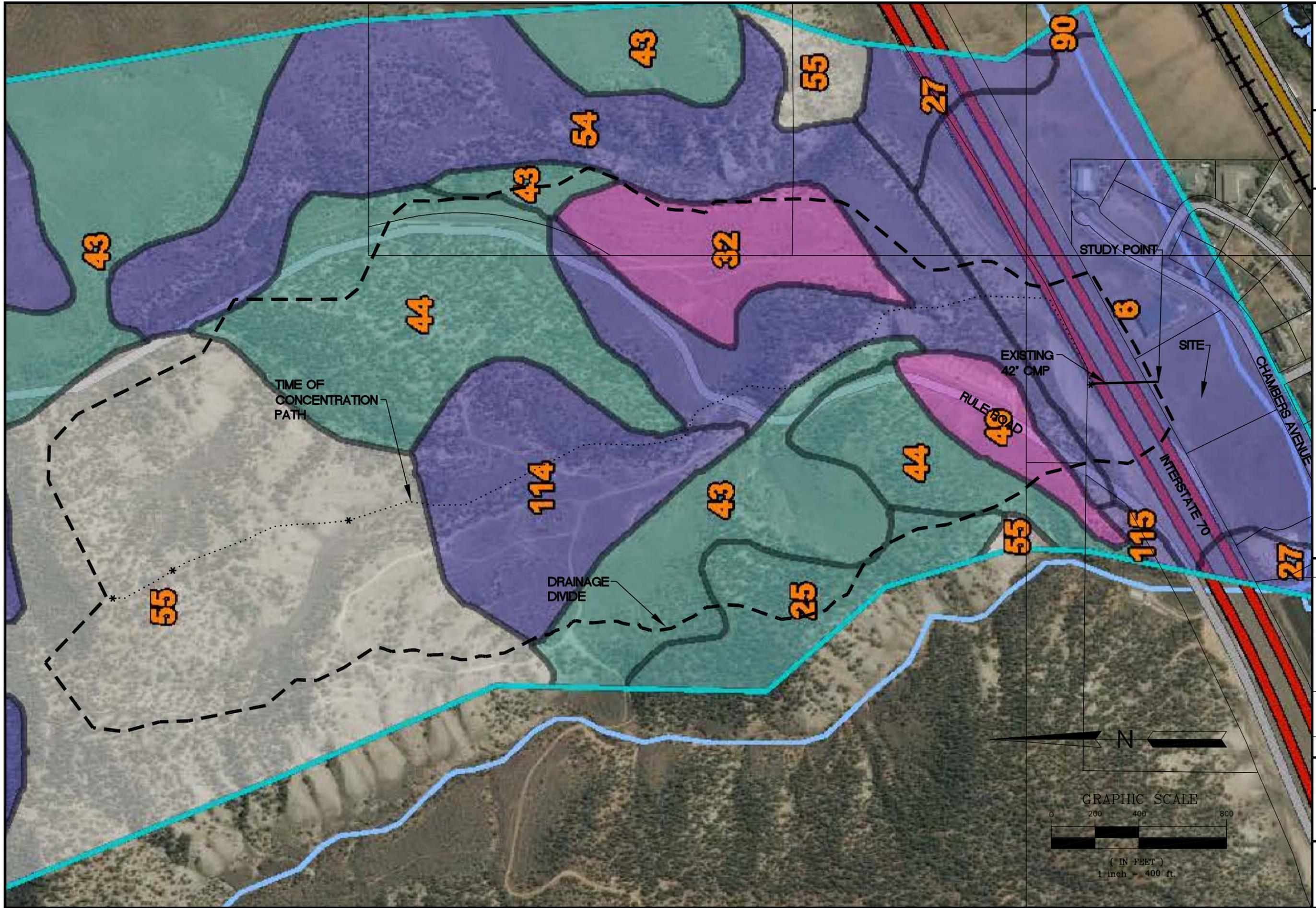


**1215 CHAMBERS AVENUE
 STORAGE FACILITY - EAGLE, COLORADO
 VEGETATIVE COVER DRAINAGE AREA MAP**

NO.	DATE	REVISIONS	BY

DESIGNED MCW	
DRAWN MCW	
CHECKED MCW	
JOB NO.	
DATE	07.20.2021

O:\Eagle\1215 Chambers Storage-2021\dwg\Drainage\1215-Chambers.dwg, 03-DAM-SOILS, 7/21/2021 9:34:43 AM, Mues, Mues



1215 CHAMBERS AVENUE
STORAGE FACILITY - EAGLE, COLORADO
SOILS DRAINAGE AREA MAP

NO.	DATE	REVISIONS	BY

DESIGNED MCW
DRAWN MCW
CHECKED MCW
JOB NO. -
DATE 07.20.2021

SHEET
3

SECOND AMENDED FINAL PLAT
TROTTER MINOR SUBDIVISION

A CONSOLIDATION OF LOT C-13, AMENDED FINAL PLAT, KEMP
 SUBDIVISION AND LOT C-12B, AMENDED FINAL PLAT, TROTTER MINOR
 SUBDIVISION AND AMENDMENT TO LOT C-12C, AMENDED FINAL PLAT
 TROTTER MINOR SUBDIVISION
 Town of Eagle, County of Eagle, State of Colorado

INTERSTATE 70
 VARIABLE R.O.W.

BASIS OF BEARINGS
 N60° 23' 33" E 585.75'

25' DITCH & UTILITY EASEMENT &
 SETBACK, REC. NO. 746022

OLD LOT C-13
 A.F.P. KEMP SUBDIVISION
 REC. NO. 201103742

C.L. 15' DRAINAGE &
 UTILITY EASEMENT
 REC. NO. 201610457

OLD LOT C-12B
 A.F.P. TROTTER MINOR SUBD.
 REC. NO. 201722061

LOT LINE AND DRAINAGE, SETBACK AND
 UTILITY EASEMENT, REC. NO. 746022
 TO BE VACATED BY THIS PLAT

STORM SEWER
 EASEMENT
 CREATED BY
 THIS PLAT

LOT C-12C
 1.367 Acres +-
 (1119)

CESS EASEMENT
 DEDICATED TO
 LOT C-13A
 (SOLID HATCH)

R=50.00'
 L=32.58'
 H.B.=S82°00'49"W
 CH.L.=32.01'
 A=37°20'02"

CHAMBERS LOFTS
 CONDOMINIUMS
 REC. NO. 201807938
 CHAMBERS LOFTS, LLC

TERLINE 26' ACCESS,
 DRAINAGE EASEMENT
 REC. NO. 201722061

TERLINE 15' DRAINAGE
 & UTILITY EASEMENT
 REC. NO. 201610457

UTILITY EASEMENT
 REC. NO. 201722061

UTILITY EASEMENT
 CREATED BY
 THIS PLAT

UTILITY EASEMENT
 CREATED BY
 THIS PLAT

UTILITY EASEMENT
 CREATED BY
 THIS PLAT

Easement are
 depicted on the civil
 drawing is in conflict
 with the buildings,
 and the storm sewer
 is located outside of
 it. revise accordingly
 if necessary.

The town will not own
 and maintain the
 private infrastructure
 (pipes and manholes,
 etc.) within the
 easement. Is the
 easement necessary?

LOT C-13A
 (1215)
 6.384 acres

LOT C-14A
 A.F.P. KEMP SUBD.
 REC. NO. 202006657
 1353 CHAMBERS, LLC

UTILITY EASEMENT
 REC. NO. 202006656

DRAINAGE &
 UTILITY EASEMENT
 RECEPTION NO. 201103742

ACCESS EASEMENT
 REC. NO. 202006657

UTILITY EASEMENT
 CREATED BY THIS
 PLAT (HATCH AREA)

UTILITY EASEMENT
 AND SETBACK
 REC. NO. 746022

is the access
 connectivity on this
 site already within an
 access easement?

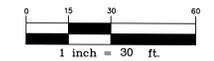
LEGEND:

- DENOTES SET SURVEY MONUMENT, 2" ALUMINUM CAP ON #5 REBAR LS #38079
- DENOTES FOUND SURVEY MONUMENT 1" BRASS SHINER, IN ASPHALT LS #38079
- DENOTES FOUND SURVEY MONUMENT 1.5" ALUMINUM CAP, ON #5 REBAR LS #23089
- DENOTES EASEMENT ANGLE POINT OR INTERSECTION
- DENOTES BOUNDARY LINE
- - - DENOTES ADJOINER/ROW PROPERTY LINE
- · - · - DENOTES EASEMENT LINE AS NOTED
- · - · - DENOTES EASEMENT LINE AS NOTED
- DENOTES UTILITY EASEMENT
- · - · - DENOTES EASEMENT CREATED BY THIS PLAT

Line #	Direction	Length
L1	N63° 20' 48"E	13.00'
L2	N26° 39' 15"W	224.13'
L3	S26° 39' 12"E	42.81'
L4	S26° 39' 12"E	224.13'
L5	N26° 39' 12"W	15.76'

Curve #	Radius	Arc Length	Delta	Chord Bearing	Chord Length
C1	77.00'	45.40'	33°46'52"	N43°32'38"W	44.74'

D=20'16"58"
 R=560.00'
 L=198.24'
 CH.B.=S53°12'19"W
 CH.L.=197.21'



CHAMBERS AVENUE
 80' R.O.W.

MARMOT LANE
 60' R.O.W.

SECOND AMENDED FINAL PLAT
 TROTTER MINOR SUBDIVISION
 CONSOLIDATION LOT C-13, A.F.P. KEMP SUBDIVISION
 AND LOT C-12B A.F.P. TROTTER SUBDIVISION
 Town of Eagle, County of Eagle, State of Colorado

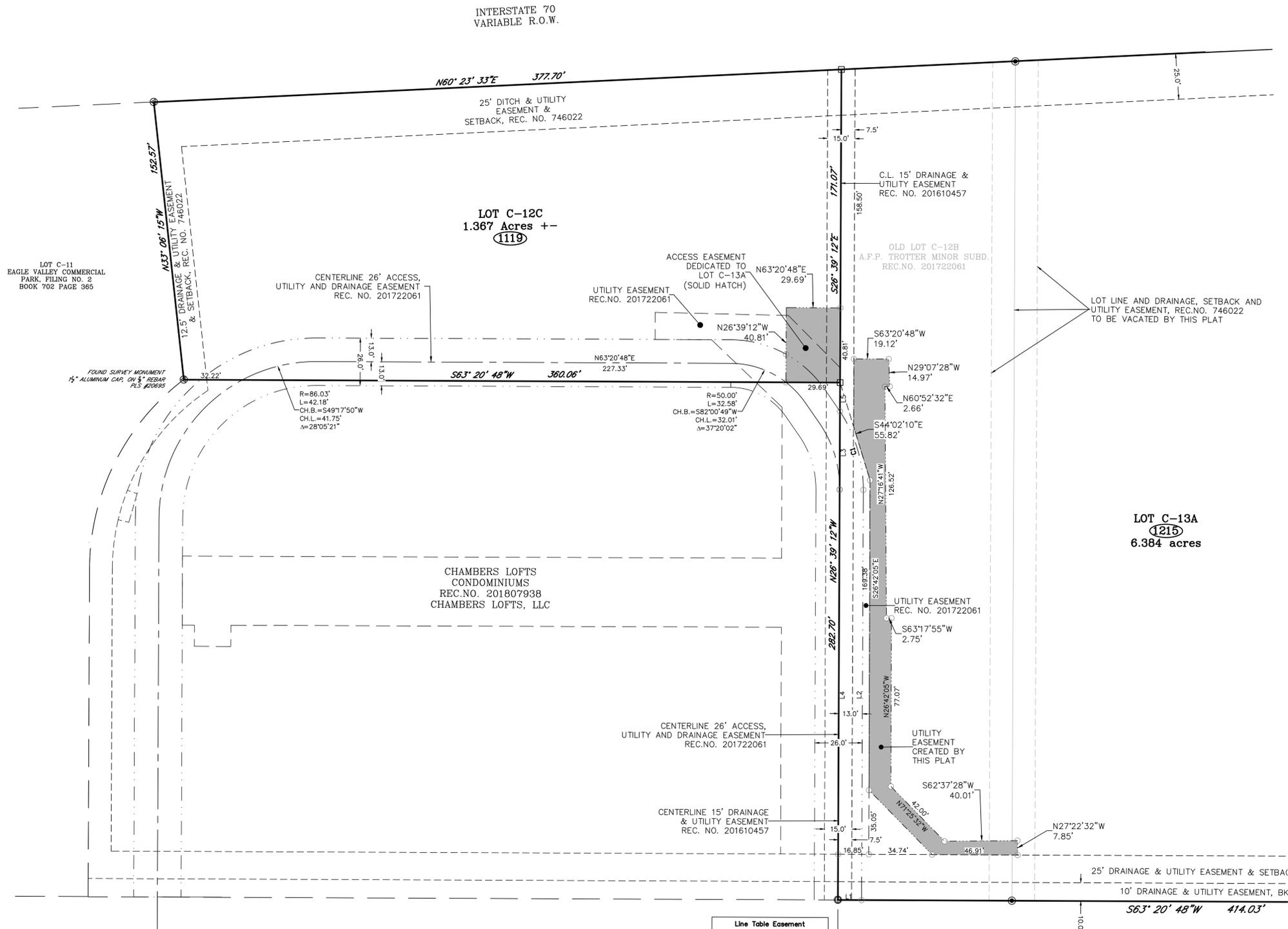
JOB NO.: 211013 DATE: 02-24-2025

SHEET 2 OF 3 DWG NAME: 211013-AFP2 TROTT-KEMP

KIPP LAND SURVEYING

RANDY KIPP P.L.S.
 P.O. Box 3154
 Eagle, CO 81631
 (970) 390-9540
 email: randy@kipplandsurveying.com
 web: kipplandsurveying.com

SECOND AMENDED FINAL PLAT
TROTTER MINOR SUBDIVISION
 A CONSOLIDATION OF LOT C-13, AMENDED FINAL PLAT, KEMP
 SUBDIVISION AND LOT C-12B, AMENDED FINAL PLAT, TROTTER MINOR
 SUBDIVISION AND AMENDMENT TO LOT C-12C, AMENDED FINAL PLAT
 TROTTER MINOR SUBDIVISION
 Town of Eagle, County of Eagle, State of Colorado



- LEGEND:**
- DENOTES SET SURVEY MONUMENT, 2" ALUMINUM CAP ON #5 REBAR LS #38079
 - DENOTES FOUND SURVEY MONUMENT 1" BRASS SHINER, IN ASPHALT LS #38079
 - DENOTES FOUND SURVEY MONUMENT 1.5" ALUMINUM CAP, ON #5 REBAR LS #23089
 - ⊙ DENOTES FOUND SURVEY MONUMENT 1.5" ALUMINUM CAP, ON #5 REBAR LS #20695
 - DENOTES EASEMENT ANGLE POINT OR INTERSECTION
 - DENOTES BOUNDARY LINE
 - - - DENOTES ADJOINER/ROW PROPERTY LINE
 - · - · - DENOTES EASEMENT LINE AS NOTED
 - · · · · - DENOTES EASEMENT LINE AS NOTED
 - · - · - DENOTES UTILITY EASEMENT
 - · · · · - DENOTES EASEMENT CREATED BY THIS PLAT

Line #	Direction	Length
L1	N63° 20' 48"E	13.00'
L2	N26° 39' 12"W	224.13'
L3	S26° 39' 12"E	42.81'
L4	S26° 39' 12"E	224.13'
L5	N26° 39' 12"W	15.76'

Curve #	Radius	Arc Length	Delta	Chord Bearing	Chord Length
C1	77.00'	45.40'	33°46'52"	N43°32'38"W	44.74'

SECOND AMENDED FINAL PLAT
 TROTTER MINOR SUBDIVISION
 CONSOLIDATION LOT C-13, A.F.P. KEMP SUBDIVISION
 AND LOT C-12B A.F.P. TROTTER SUBDIVISION
 Town of Eagle, County of Eagle, State of Colorado

JOB NO.: 211013 DATE: 02-24-2025

SHEET 3 OF 3 DWG NAME: 211013-AFP2 TROTT-KEMP

KIPP LAND SURVEYING

RANDY KIPP P.L.S.
 P.O. Box 3154
 Eagle, CO 81631
 (970) 390-9540
 email: randy@kipplandsurveying.com
 web: kipplandsurveying.com