

ANNEXATION PLAT
HENRY PARCEL 1 AND PARCEL 2
ANNEXATION TO THE TOWN OF EAGLE

SITUATED IN TRACT 43 AND 45, SECTION 5, TOWNSHIP 5 SOUTH
RANGE 84 WEST, OF THE 6TH P.M.
COUNTY OF EAGLE, STATE OF COLORADO

CERTIFICATION OF DEDICATION AND OWNERSHIP:

KNOW ALL MEN BY THESE PRESENTS THAT KATHY R. CHANDLER HENRY AND GEORGE R. HENRY, BEING SOLE OWNER IN FEE SIMPLE, MORTGAGEE OR LIENHOLDER OF ALL THAT REAL PROPERTY SITUATED IN COUNTY OF EAGLE, COLORADO, DESCRIBED AS FOLLOWS:

PARCEL 1 - BOOK 598 PAGE 184
THAT PART OF THE E½ OF THE NE¼ OF SECTION 5, IN TOWNSHIP 5 SOUTH, RANGE 84 WEST OF THE 6TH P.M. AS ORIGINALLY DESCRIBED AND PATENTED, DESIGNATED AND BECOMING A PART OF TRACTS 43 AND 45 OF THE INDEPENDENT RESURVEY OF SAID TOWNSHIP AND RANGE, APPROVED BY THE U.S. SURVEYOR GENERAL JUNE 20, 1922, AND ACCEPTED BY THE GENERAL LAND OFFICE JUNE 6, 1923, MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT ON THE SOUTH RIGHT OF WAY OF SIXTH STREET IN THE TOWN OF EAGLE, COLORADO, WHENCE THE TRUE POSITION OF CORNER NO. 1 OF TRACT NO. 43, IDENTICAL WITH CORNER NO. 4 OF TRACT NO. 45, CORNER NO. 3 OF TRACT NO. 40 AND CORNER NO. 2 OF TRACT NO. 42 (THE WITNESS CORNER WHEREOF BEING LOCATED S. 89°48' W. 17.82 FEET DISTANT), BEARS S. 74°43'46" E., 831.39 FEET DISTANT, THENCE, CONFORMING WITH THE EAST RIGHT OF WAY OF THE CAPITOL STREET AND THE SOUTH RIGHT OF WAY OF SIXTH STREET, ALONG THE EAST RIGHT OF WAY OF CAPITAL STREET S. 19°06' E. 98.32 FEET TO THE P.C.; THENCE ALONG A CURVE TO THE RIGHT, RADIUS 430.78 FEET, 396.68 FEET, CHORD BEARING S 7 16' 49" W, CHORD LENGTH OF 382.81 FEET TO THE P.T.; THENCE S. 33°43' 00" W. 218.97 FEET; THENCE N. 89°36' E. 54.62 FEET. TO THE WEST BOUNDARY OF THE EAGLE CEMETERY ASSOCIATION PROPERTY; THENCE, CONFORMING THERETO, N. 30°35' E. 258.14 FEET; THENCE N. 30°18' E. 381.86 FEET; THENCE S. 89°27' W. 60.52 FEET; THENCE NORTH 104.77 FEET, TO THE SOUTH RIGHT OF WAY OF SAID SIXTH STREET IN THE TOWN OF EAGLE, COLORADO; THENCE CONFORMING THERETO, S. 89°27' W. 180.22 FEET TO THE PLACE OF BEGINNING, CONTAINING AN AREA OF 1.3827 ACRES, MORE OR LESS.

AND

PARCEL 2 - BOOK 598 PAGE 184
THAT PART OF THE EAST HALF OF THE NORTHEAST QUARTER (E½/NE¼) OF SECTION 5, TWP. 5 S., R. 84 W., 6TH P.M., AS ORIGINALLY DESCRIBED AND PATENTED, DESIGNATED AND BECOMING A PART OF TRACT 45 OF THE INDEPENDENT RESURVEY OF SAID TOWNSHIP AND RANGE APPROVED BY THE U. S. SURVEYOR GENERAL JUNE 20, 1922, AND ACCEPTED BY THE GENERAL LAND OFFICE JUNE 6, 1923, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTH RIGHT OF WAY OF SIXTH STREET IN THE TOWN OF EAGLE, COLORADO, WHENCE THE TRUE POSITION OF CORNER NO. 1 OF TRACT 43, IDENTICAL WITH CORNER NO. 4 OF TRACT 45, CORNER NO. 3 OF TRACT 40 AND CORNER NO. 2 OF TRACT 42 (THE WITNESS CORNER WHEREOF BEING LOCATED S. 89°48' W. 17.82 FEET DISTANT) BEARS S. 70°27'33" E. 659.83 FEET DISTANT; THENCE, N. 89°27' E. 95.02 FEET; THENCE S. 10°35' W. 68.89 FEET; THENCE S. 30°18' W. 43.30 FEET; THENCE S. 89°27' W. 60.52 FEET; THENCE NORTH 104.77 FEET TO THE PLACE OF BEGINNING, CONTAINING AN AREA OF 0.1986 ACRES, MORE OR LESS.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME AS SHOWN HEREON AND DESIGNATE THE SAME AS, ANNEXATION PLAT, HENRY PARCEL 1 AND PARCEL 2, ANNEXATION TO THE TOWN OF EAGLE, EAGLE COUNTY, COLORADO.

EXECUTED THIS ____ DAY OF _____, A.D. 20__.

OWNER: _____ AND _____
KATHY R. CHANDLER HENRY GEORGE S. HENRY

ADDRESS: P.O. BOX 1647
EAGLE, CO 81631

STATE OF COLORADO)
) SS
COUNTY OF EAGLE)

THE FOREGOING CERTIFICATE OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 20__ BY _____.

MY COMMISSION EXPIRES: _____

WITNESS MY HAND AND SEAL. _____

NOTARY PUBLIC

BOARD OF TRUSTEES CERTIFICATE - (ANNEXATION PLAT)

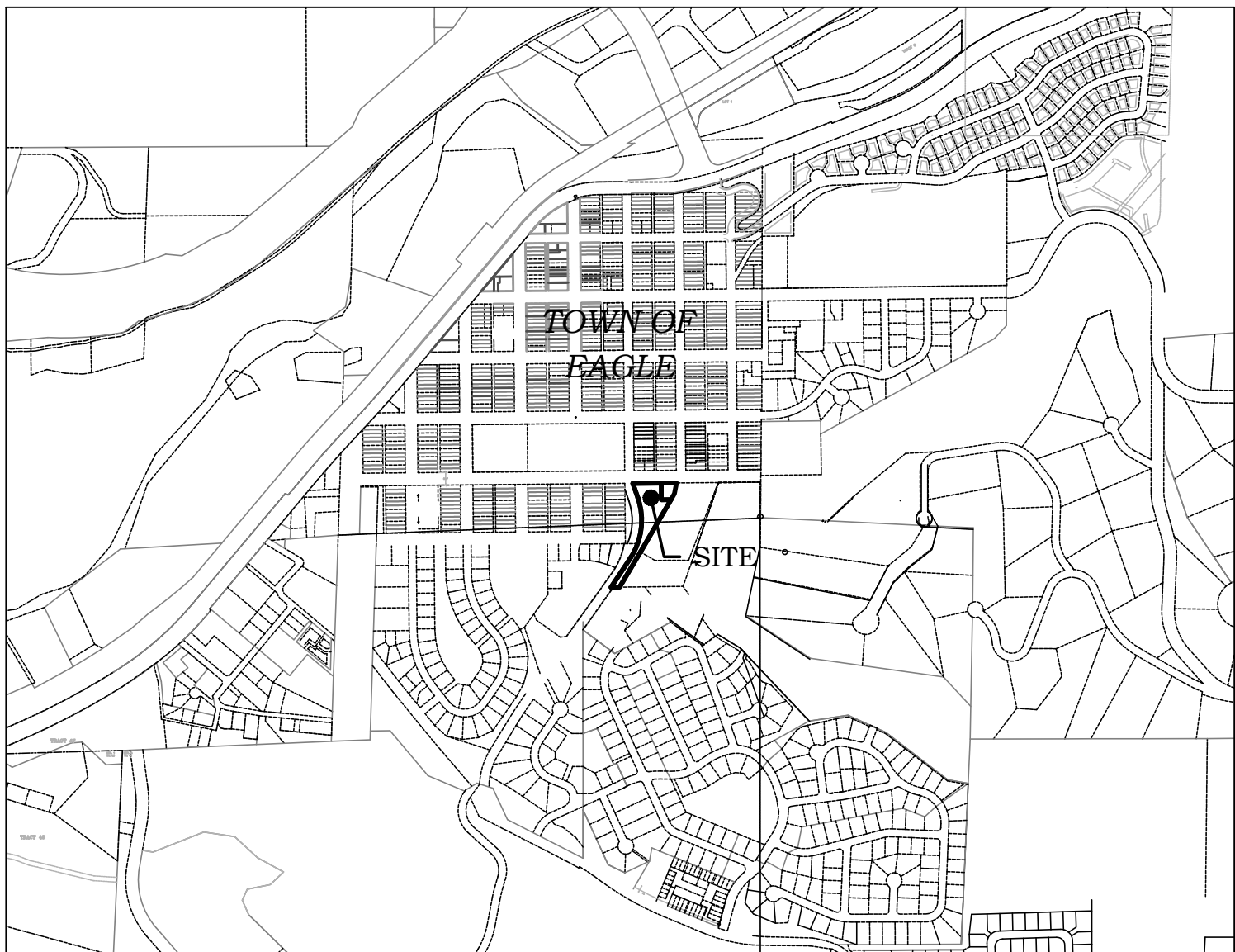
THE BOARD OF TRUSTEES OF THE TOWN OF EAGLE, COLORADO, BY RESOLUTION NUMBER _____, DULY ADOPTED _____ DAY OF _____, 20__, FOUND AND DETERMINED THAT ANNEXATION OF THE PROPERTY DESIGNATED HEREIN COMPLIES WITH THE REQUIREMENTS CONTAINED IN ARTICLE 12, TITLE 31, C.R.S., AS AMENDED, AND THAT SAID PROPERTY IS ELIGIBLE FOR ANNEXATION TO THE TOWN OF EAGLE.

THE BOARD OF TRUSTEES OF THE TOWN OF EAGLE, COLORADO, BY ORDINANCE NUMBER _____, DULY ADOPTED _____ DAY OF _____, 20__, DID ANNEX THE PROPERTY HEREIN DESCRIBED TO THE TOWN OF EAGLE, COLORADO.

MAYOR

ATTEST:

TOWN CLERK



VICINITY MAP
SCALE 1"=1000'

NOTES:

- DATE OF SURVEY: JUNE 14, 2024
- STREET ADDRESS: 220 E. SIXTH STREET (POSTED)
- LOCATION OF IMPROVEMENTS AND LOT LINES ARE BASED UPON QUITCLAIM DEED, RECORDED 12-31-92 AT BOOK 598 PAGE 184, VARIOUS PLATS AS NOTED HEREON, AND SURVEY MONUMENTS FOUND AT THE TIME OF THIS SURVEY AS SHOWN HEREON.
- LINEAR UNITS USED TO PERFORM THIS SURVEY WERE U.S. SURVEY FEET.
- BASIS OF BEARINGS: AN ASSUMED BEARING OF N 89°27' E, ALONG THE SOUTH RIGHT OF WAY OF SIXTH STREET, BETWEEN TWO FOUND 1.25" WHITE PLASTIC CAPS ON #5 REBAR, MARKING THE NORTHEAST AND NORTHWEST OF EAGLE CEMETERY ASSOCIATION, BOOK 234 PAGE 866.
- TITLE COMMITMENT PROVIDED BY: LAND TITLE GUARANTEE COMPANY, ORDER NO. V50072528, WITH AN EFFECTIVE DATE OF AUGUST 23, 2024.
- AN IMPROVEMENT SURVEY PLAT WAS PERFORMED PRIOR TO THIS ANNEXATION.
- TOTAL ANNEXATION ACREAGE = 1.5813 ACRES +/-
- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT, IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

TITLE CERTIFICATE

_____, DOES HEREBY CERTIFY THAT IT HAS EXAMINED THE TITLE TO ALL LANDS SHOWN UPON THIS PLAT AND THAT TITLE TO SUCH LANDS IS VESTED IN _____, FREE AND CLEAR OF ALL LIENS, TAXES, AND ENCUMBRANCES, EXCEPT AS FOLLOWS:

EXECUTED THIS ____ DAY OF _____, 20__.

TITLE EXAMINER

SURVEYORS CERTIFICATE - (ANNEXATION PLAT)

I, RANDALL P. KIPP, A LICENSED PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY DIRECT SUPERVISION, BASED ON A GROUND SURVEY OF BOTH PROPERTIES (PARCELS) AND THAT THE INFORMATION HERON IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT AT LEAST ONE-SIXTH (1/6) OF THE PERIMETER OF THE AREA AS SHOWN HEREON IS CONTIGUOUS WITH THE EXISTING BOUNDARIES OF THE TOWN OF EAGLE, COLORADO.



RANDALL P. KIPP
LICENSED PROFESSIONAL LAND SURVEYOR
COLORADO REGISTRATION NO. 38079

CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE EAGLE COUNTY CLERK AND RECORDER AT ____ O'CLOCK __M., ON THIS ____ DAY OF _____, 20__, AND IS DULY RECORDED IN BOOK ____ AT PAGE _____, AS RECEPTION NO. _____.

EAGLE COUNTY CLERK AND RECORDER

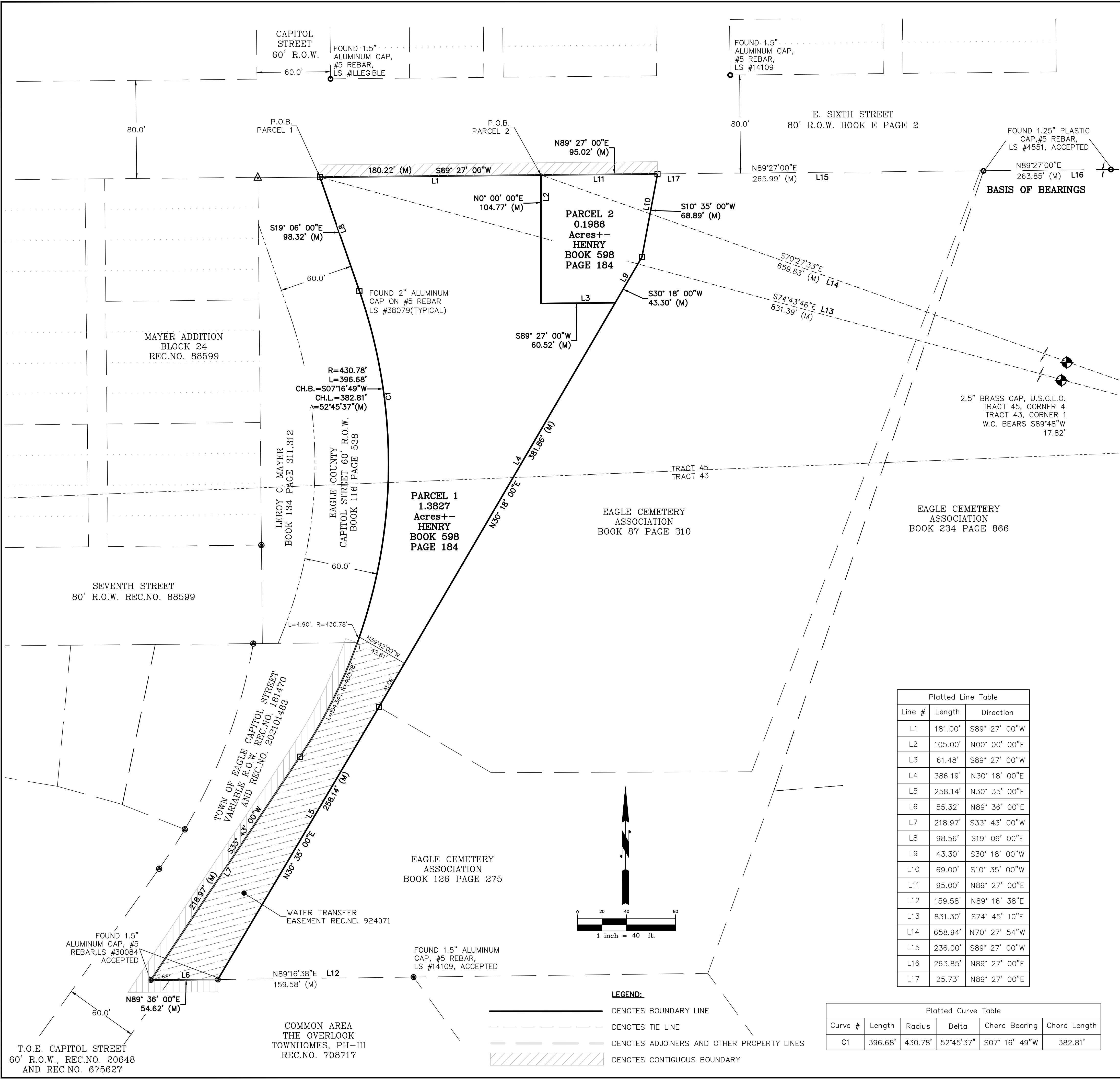
BY: _____
DEPUTY

CONTIGUOUS BOUNDARY SUMMARY TABLE - MINIMUM 1/6TH (16.67%) CONTIGUITY MET FOR BOTH PARCELS
PARCEL 1 = 503.53' CONTIGUOUS BOUNDARY OUT OF 1754.12' PERIMETER = 28.7% CONTIGUOUS, 1.3827 ACRES +/-
PARCEL 2 = 95.02' CONTIGUOUS BOUNDARY OUT OF 372.51' PERIMETER = 25.5% CONTIGUOUS, 0.1986 ACRES +/-
TOTAL ACREAGE TO BE ANNEXED = 1.5813 ACRES +/-

ANNEXATION PLAT HENRY PARCEL1 AND PARCEL 2 ANNEXATION TO THE TOWN OF EAGLE SITUATED IN TRACT 43 & TRACT 45, SECTION 5, T.5 S., R.84 W., 6TH P.M. COUNTY OF EAGLE, STATE OF COLORADO		<i>KIPP LAND SURVEYING</i>	
JOB NO.: 241011	DATE: 12-04-2025	RANDY KIPP, P.L.S. P.O. Box 3154 Eagle, CO 81631 (970) 390-9540	
SHEET 1 OF 2	DWG NAME: 241015- 220 E.SIXTH AX	email: randy@kipplandsurveying.com web: kipplandsurveying.com	

ANNEXATION PLAT
HENRY PARCEL 1 AND PARCEL 2
ANNEXATION TO THE TOWN OF EAGLE

SITUATED IN TRACT 43 AND 45, SECTION 5, TOWNSHIP 5 SOUTH
RANGE 84 WEST, OF THE 6TH P.M.
COUNTY OF EAGLE, STATE OF COLORADO



Platted Line Table		
Line #	Length	Direction
L1	181.00'	S89° 27' 00"W
L2	105.00'	N00° 00' 00"E
L3	61.48'	S89° 27' 00"W
L4	386.19'	N30° 18' 00"E
L5	258.14'	N30° 35' 00"E
L6	55.32'	N89° 36' 00"E
L7	218.97'	S33° 43' 00"W
L8	98.56'	S19° 06' 00"E
L9	43.30'	S30° 18' 00"W
L10	69.00'	S10° 35' 00"W
L11	95.00'	N89° 27' 00"E
L12	159.58'	N89° 16' 38"E
L13	831.30'	S74° 45' 10"E
L14	658.94'	N70° 27' 54"W
L15	236.00'	S89° 27' 00"W
L16	263.85'	N89° 27' 00"E
L17	25.73'	N89° 27' 00"E

Platted Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	396.68'	430.78'	52°45'37"	S07° 16' 49"W	382.81'



RANDALL P. KIPP
LICENSED PROFESSIONAL LAND SURVEYOR
COLORADO REGISTRATION NO. 38079

ANNEXATION PLAT HENRY PARCEL 1 AND PARCEL 2 ANNEXATION TO THE TOWN OF EAGLE SITUATED IN TRACT 43 & TRACT 45, SECTION 5, T.5 S., R.84 W., 6TH P.M. COUNTY OF EAGLE, STATE OF COLORADO	
JOB NO.: 241011	DATE: 12-04-2025
SHEET 2 OF 2	DWG NAME: 241015- 220 E.SIXTH AX

KIPP LAND SURVEYING

RANDY KIPP, P.L.S.
P.O. Box 3154
Eagle, CO 81631
(970) 390-9540
email: randy@kipplandsurveying.com
web: kipplandsurveying.com