

MCDONALD'S EAGLE  
LOT 2B, BLOCK 3, EBY CREEK SUBDIVISION  
SITUATED IN THE EAST ½ OF SECTION 32, TOWNSHIP 4 SOUTH, RANGE 84 WEST OF THE PRINCIPLE MERIDIAN, TOWN OF  
EAGLE, COUNTY OF EAGLE, STATE OF COLORADO  
CONSTRUCTION DOCUMENTS

CONTACTS:

DEVELOPER:  
MCDONALD'S USA, LLC  
110 NORTH CARPENTER STREET  
CHICAGO, IL 60607  
TEL: (206) 348-4374  
CONTACT: ROBERT YAGUSESKY

ARCHITECT:  
ARRIS ARCHITECTURE, LLC  
285 COMMANDER DR.  
ERIE, CO 80516  
TEL: (970) 988-6302  
CONTACT: COREY STINAR

ENGINEER  
KIMLEY-HORN AND ASSOCIATES, INC.  
2 NORTH NEVADA AVE., SUITE 900  
COLORADO SPRINGS, CO 80903  
TEL: (719) 453-0180  
CONTACT: JESSICA MCCALLUM, P.E.

SURVEYOR:  
ENGINEERING SERVICE COMPANY  
14190 EAST EVANS AVE.  
AURORA, CO 80014  
TEL: (303) 337-1393  
CONTACT: JEFFREY MILLER, P.L.S.  
PROJECT NO.: 337.140 (DATED NOVEMBER 2025)

LANDSCAPE ARCHITECT  
KIMLEY-HORN AND ASSOCIATES, INC.  
2 NORTH NEVADA AVE., SUITE 900  
COLORADO SPRINGS, CO 80903  
TEL: (719) 453-0180  
CONTACT: JEREMY POWELL, P.L.A.

GEOTECHNICAL ENGINEER:  
UES PROFESSIONAL SOLUTIONS, LLC  
4480 WEST HACIENDA AVE., SUITE 104  
LAS VEGAS, NV 89118  
CONTACT: LEE MITCHELL, P.E.  
PROJECT NO.: A25170.01259.000 (DATED 10/02/25)

OWNER  
ANB BANK  
3033 EAST 1ST AVE., SUITE 300  
DENVER, CO 80206

BENCHMARK:

NGS CONTROL POINT DESIGNATION 6602 - 3"UNITED STATES GEOLOGICAL SURVEY CAP, STAMPED "6602", SET VERTICALLY IN THE BRICK WALL AT THE NORTHWEST CORNER OF THE BUILDING LOCATED AT 108 2ND STREET, EAGLE COLORADO, APPROXIMATELY 2 FEET ABOVE THE SIDEWALK ELEVATION.  
ELEVATION: 6604.84 FEET (NAVD 1988 DATUM).

BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE WEST LINE OF AMENDED FINAL PLAT, A RESUBDIVISION OF LOT 2, BLOCK 3, EBY CREEK SUBDIVISION HAVING A GRID BEARING OF N08°22'16"W AS MEASURED AND BOUNDED BY A FOUND REBAR WITH 1-1/2"ALUMINUM CAP, STAMPED "PLS 30116", FLUSH WITH GRADE ON THE SOUTH END OF SAID LINE AND BY A FOUND REBAR WITH 2"ALUMINUM CAP, STAMPED "LS 23506", 0.2' ABOVE GRADE AT THE NORTH END OF SAID LINE.

FLOODPLAIN NOTE:

BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND IN ZONE A (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT, WITH NO BASE FLOOD ELEVATIONS DETERMINED) ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08037C0387D WITH AN EFFECTIVE DATE OF DECEMBER 4, 2007. NO OFFICE CALCULATIONS OR FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS INFORMATION.

LEGAL DESCRIPTION:

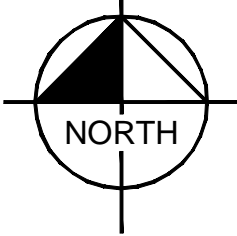
LOT 2B, BLOCK 3, AMENDED FINAL PLAT, A RESUBDIVISION OF LOT 2, BLOCK 3, EBY CREEK SUBDIVISION

SITE DATA:

ZONING	CG
SITE ACREAGE	±1.07 ACRES (46,636 SF)
DISTURBED AREA	±0.83 ACRES (36,310 SF)
SITE IMPERVIOUS AREA	30,959 SF (66.4% OF SITE AREA)



VICINITY MAP  
NOT TO SCALE



DEVELOPMENT STANDARDS:

DEVELOPMENT STANDARDS	
EXISTING ZONING	COMMERCIAL GENERAL (CG)
PROPOSED ZONING	COMMERCIAL GENERAL (CG)
EXISTING LAND USE	FAST FOOD RESTAURANT (W/ DRIVE THRU)
PROPOSED LAND USE	FAST FOOD RESTAURANT (W/ DRIVE THRU)
EXISTING GROSS BUILDING AREA	3,574 SQ. FT.
PROPOSED GROSS BUILDING AREA	4,115 SQ. FT.
EXISTING BUILDING HEIGHT	±15'-6"
PROPOSED BUILDING HEIGHT	18'-9 1/2"

DEVELOPMENT STANDARDS	PROVIDED SETBACK
FRONT (EBY CREEK RD)	143'
SIDE (NORTH / SOUTH)	27' / 33'
REAR (WEST)	69'

DEVELOPMENT STANDARDS	REQUIRED	PROVIDED
PARKING STALLS	1 STALL PER 200 SF OF BUILDING AREA - 21 STALLS	34 STALLS (2 ADA STALLS, 1 VAN ACCESSIBLE)
EV INSTALLED STALLS	5% OF TOTAL PARKING STALLS - 2 STALLS (1 UNIVERSAL CHARGING STATION ONLY)	2 STALLS (1 UNIVERSAL CHARGING STATION ONLY)
EV CAPABLE STALLS	40% OF TOTAL PARKING STALLS - 14 STALLS	14 STALLS

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C1.0	COVER SHEET
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C1.2	EXISTING CONDITIONS & DEMOLITION PLAN
C1.3	SITE PLAN
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C1.5	DETAIL SHEET
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C1.11	EROSION CONTROL PLAN - INITIAL PHASE
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C1.13	PHOTOMETRIC PLAN
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C1.16	EXISTING TREE PROTECTION
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C1.18	IRRIGATION PLAN
C1.19	IRRIGATION NOTES
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A1.0	FLOOR PLAN
A2.0	ELEVATIONS
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A2.3	ELEVATIONS

TITLE

CONSTRUCTION DOCUMENTS

DESCRIPTION

COVER SHEET

SITE ID

51052

SITE ADDRESS

291 EBY CREEK ROAD, EAGLE, CO 81631  
LOT 2B, BLOCK 3, EBY CREEK SUBDIVISION

PREPARED FOR:

McDonald's USA, LLC

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PREPARED BY:

Kimley»Horn

DRAWN BY

ANF

STD

ISSUE DATE

11/26/25

REVIEWED BY

JJM

DATE ISSUED

11/26/25

811


Know what's below.  
Call before you dig.

C1.0



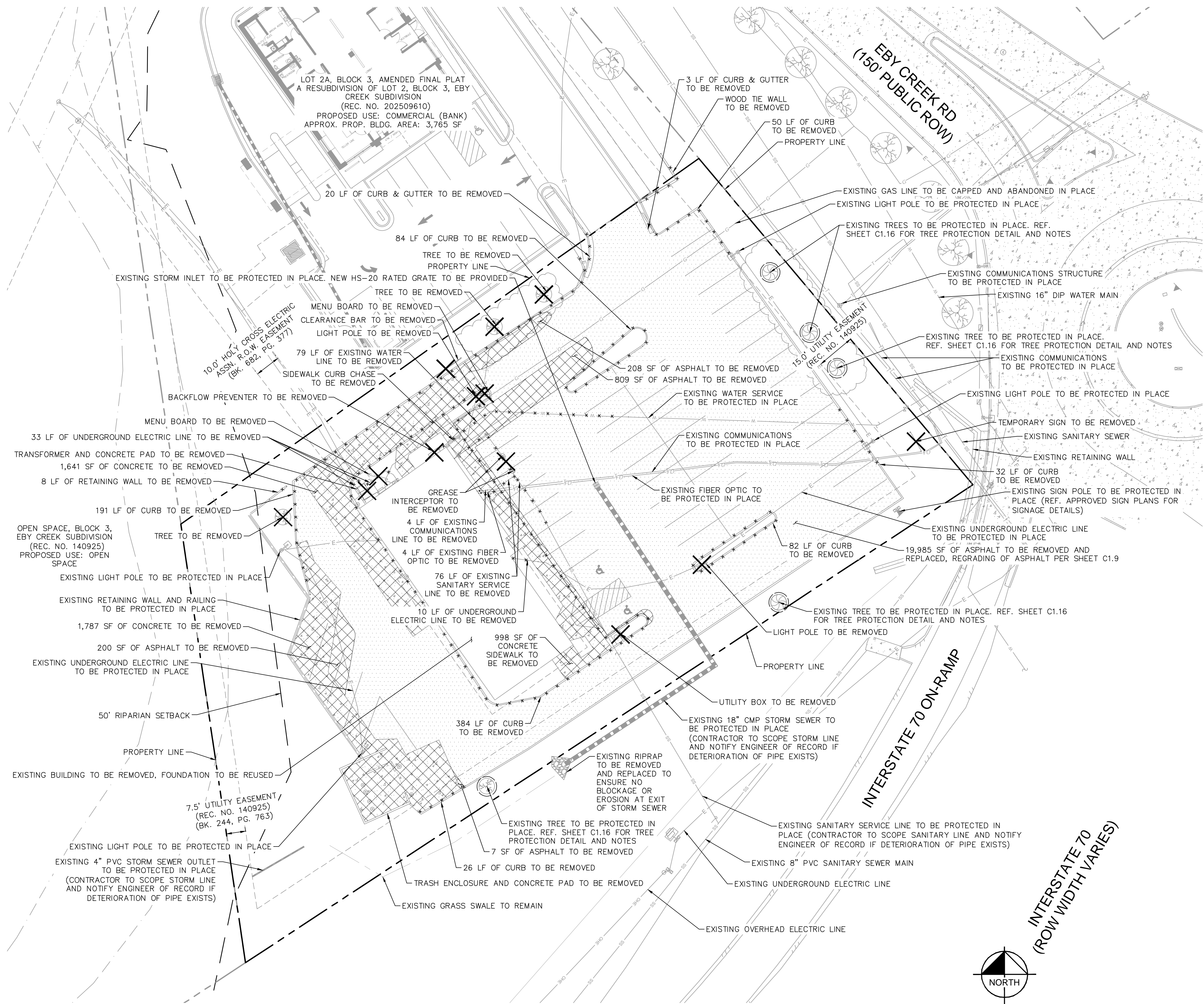
### GENERAL NOTES FOR CONTRACTOR

1. THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF THE PLANS.
2. CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING: SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL SLOPES, STREETS, UTILITIES, AND STORM SEWERS ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING THE ENGINEER OF RECORD AT (719) 453-0180. THE CONTRACTOR SHALL ALSO TAKE THE NECESSARY STEPS TO PROTECT THE PROJECT AND ADJACENT PROPERTY FROM ANY EROSION AND SILTATION THAT RESULT FROM HIS OPERATIONS BY APPROPRIATE MEANS (SAND BAGS, HAY BALES, TEMPORARY DESILTING BASINS, DIKES, SHORING, ETC.) UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND ACCEPTED FOR MAINTENANCE BY WHATEVER OWNER, AGENCY, OR ASSOCIATION IS TO BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE.
4. EXCEPT AS NOTED HEREON ALL UTILITY SERVICES WITHIN THIS DEVELOPMENT ARE UNDERGROUND INSTALLATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING WORK NEAR THEIR FACILITIES, AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. FOR UTILITY MARK-OUT SERVICE, CALL 811.
5. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS. ALL DAMAGES THERETO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND STANDARDS AT THE EXPENSE OF THE CONTRACTOR.
6. LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS TO BE CONNECTED TO SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.
7. CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES PRIORLY AND PRIOR TO CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
8. FOR ALL UTILITY TRENCHES, SOILS REPORTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY A QUALIFIED SOILS ENGINEER WHICH CERTIFY THAT TRENCH BACKFILL WAS COMPACTED AS DIRECTED BY THE SOILS ENGINEER IN ACCORDANCE WITH THE ON-SITE EARTHWORK SPECIFICATIONS.
9. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL MATERIALS TESTING WITH THE DEVELOPER'S CONSTRUCTION MATERIALS TESTING ENGINEER. ANY WORK DONE WITHOUT INSPECTION OR MATERIALS TESTING IS SUBJECT TO REMOVAL OR CORRECTION.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE ENGINEER.
11. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES, INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
12. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE PLANS, THE SOILS AND/OR GEOLOGY REPORTS, AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK.
13. SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS OR IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD BEFORE PROCEEDING WITH THE WORK IN QUESTION.
14. APPROVAL OF THESE PLANS BY THE TOWN DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
15. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE TOWN DOES NOT AUTHORIZE THE CONTRACTOR OR OWNER TO VIOLATE ANY FEDERAL, STATE OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES, INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT OF 1973 AND AMENDMENTS THERETO (16 UBC SECTION 1531 ET.SEQ.)
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. ALL MONUMENTS SHALL BE SET IN ACCORDANCE WITH COLORADO REVISED STATUTES TITLE 12, ARTICLE 25, PART 2. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE TOWN FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
17. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS THE TOWN ENGINEER APPROVES A CONSTRUCTION CHANGE OR THE TOWN/AGENCY INSPECTOR REQUIRES THE CHANGE.
18. AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE ENGINEER BY THE CONTRACTOR PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE TOWN. CONTACT THE ENGINEER FOR THE REQUIREMENTS OF THE AS-BUILT DRAWINGS.
19. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE TOWN'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT OR COLORADO DIVISION OF WILDLIFE. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
20. EXISTING TOPOGRAPHY SHOWN WAS TAKEN FROM A SURVEY PREPARED BY ENGINEERING SERVICE COMPANY DATED NOVEMBER 3, 2025.
21. NOTES AND DETAILS DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHEN NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
22. ANY TIME DURING THE GRADING OPERATION, ANY UNFAVORABLE GEOLOGICAL OR GROUNDWATER CONDITIONS ARE OBSERVED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
23. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
24. ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
25. DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
26. CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN IN THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR.
27. ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
28. SPOT GRADES ARE TO FLOWLINE OR FINISH PAVEMENT GRADE UNLESS OTHERWISE NOTED.
29. CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
30. WATER SHALL BE PROVIDED ONSITE AND USED TO CONTROL DUST DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
31. STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE DURING INTERIM CONDITIONS OF CONSTRUCTION.
32. REMAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NO LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY ENGINEER OF RECORD.
33. REFERENCE GEOTECHNICAL EXPLORATION REPORT (UES PROJECT NO. A25170.01259.000) PREPARED BY UES PROFESSIONAL SOLUTIONS, LLC, DATED OCTOBER 2, 2025.
34. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR OBTAINING THE STATE STORMWATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES AT LEAST TEN BUSINESS DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

C1.1												
TITLE		CONSTRUCTION DOCUMENTS		DRAWN BY ANF		PREPARED FOR: <div> McDonald's USA, LLC</div>		PREPARED BY:				
DESCRIPTION		STD ISSUE DATE 11/26/25		REVIEWED BY JMM		DATE ISSUED 11/26/25						
GENERAL NOTES												
SITE ID		51052										
SHEET ADDRESS:		ROAD, EAGLE CO 81631 LOT 2B, BLOCK 3, EPT, CREEK										
REV		DATE		REV		DATE		DESCRIPTION		BY		



### C1.1



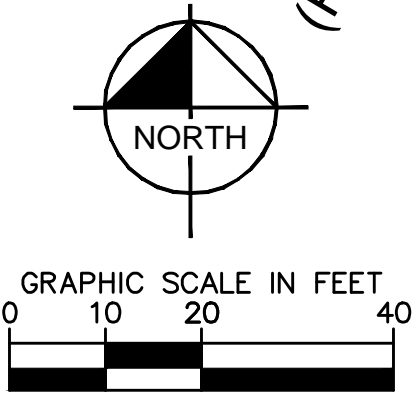
LEGEND

- ADJACENT PROPERTY LINE
- PROPERTY LINE
- SETBACK
- EXISTING RIGHT OF WAY
- EXISTING EASEMENT
- EXISTING CONCRETE
- FLOOD ZONE BOUNDARY
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING WATER LINE
- EXISTING COMMUNICATIONS
- EXISTING GAS
- EXISTING FIBER OPTIC
- EXISTING SANITARY SEWER
- EXISTING SANITARY MANHOLE
- EXISTING STORM SEWER
- EXISTING STORM INLET
- EXISTING STREET LIGHT
- EXISTING ELECTRICAL EQUIPMENT
- EXISTING IRRIGATION VALVE
- EXISTING SIGN
- EXISTING WATER VALVE
- EXISTING RETAINING WALL WITH RAILING
- EXISTING EDGE OF ASPHALT
- EXISTING CURB

- ITEM/UTILITY TO BE REMOVED
- ITEM/UTILITY TO BE REMOVED
- EXISTING PAVEMENT TO BE REMOVED
- PROPOSED REMOVAL AND REPLACEMENT OF EXISTING ASPHALT, EXISTING ASPHALT TO BE REGRADED PER SHEET C1.9
- TREE PROTECTION, REF. SHEET C1.16 FOR DETAILS AND NOTES

GENERAL NOTES

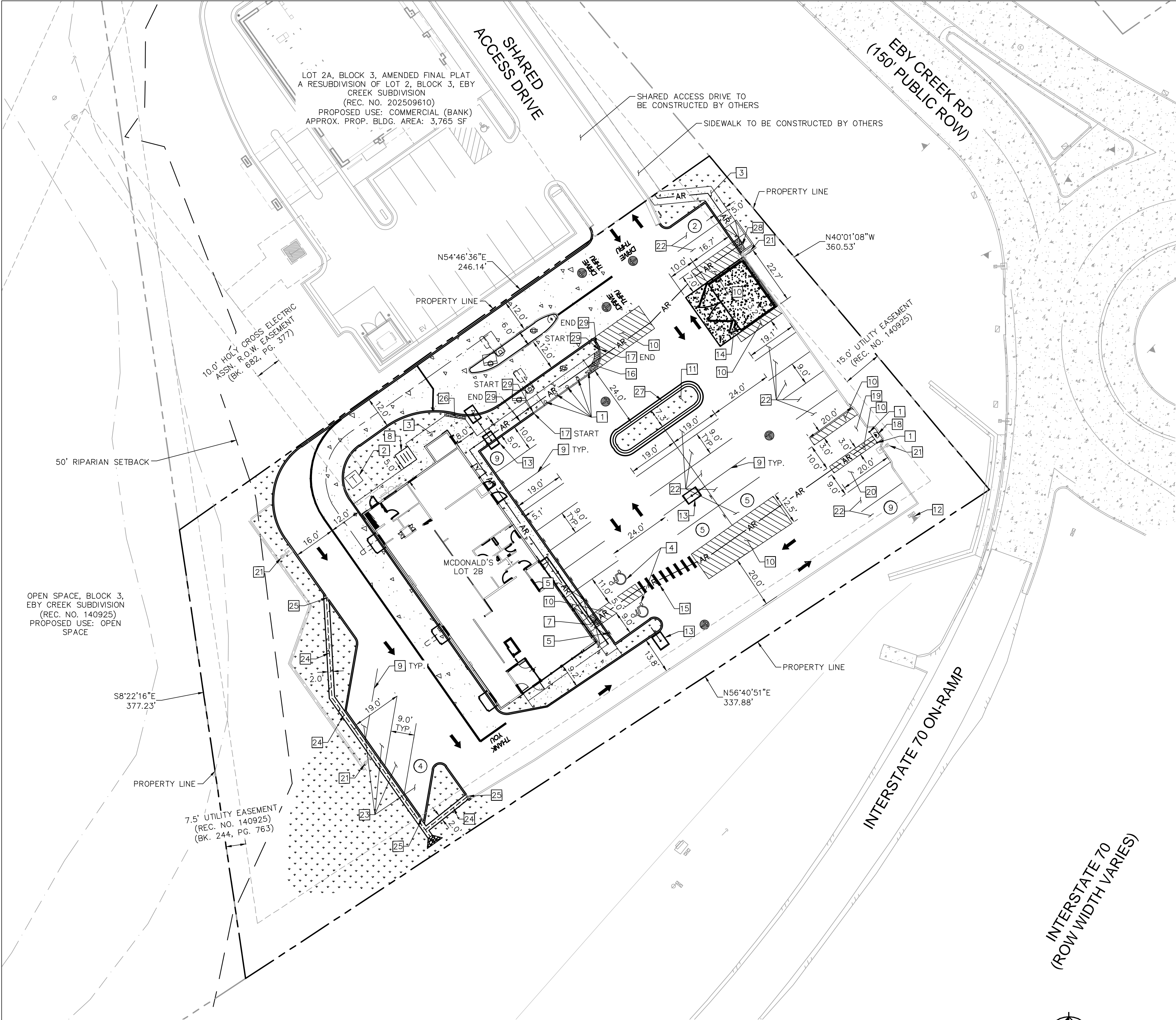
- ALL EXISTING UTILITIES AND SITE ELEMENTS TO REMAIN UNLESS OTHERWISE NOTED.
- UTILITIES TO BE REMOVED ARE TO BE CAPPED IN PLACE IN ACCORDANCE WITH LOCAL UTILITY REGULATIONS.
- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT, OR APPURTENANCE TO REMAIN THAT IS DAMAGED SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO SCOPE EXISTING STORM AND SANITARY SERVICE LINES TO REMAIN AND NOTIFY ENGINEER OF RECORD IF DAMAGE TO EXISTING UTILITIES OR DETERIORATION EXISTS.



C1.2																			
TITLE		CONSTRUCTION DOCUMENTS				DRAWN BY ANF		PREPARED FOR:		PREPARED BY:									
						STD		11/26/25		McDonald's USA, LLC		Kimley»Horn							
DESCRIPTION		EXISTING CONDITIONS & DEMOLITION PLAN				REVIEWED BY JMM		These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for the use of McDonald's USA, LLC and are not to be used for any other project. Use of these drawings for reference or example on another project requires the written consent of McDonald's USA, LLC. The contract documents for reuse on another project is not authorized.											
DATE ISSUED		11/26/25																	
SITE ID		51052																	
SITE ADDRESS:		ROND, EAGLE, CO 81611 LOT 2B, BLOCK 3, EBY CREEK SUBDIVISION																	
REV		DATE				REV		DATE										DESCRIPTION	







LEGEND	
	ADJACENT PROPERTY LINE
	PROPERTY LINE
	ACCESSIBLE ROUTE
	SETBACK
	EXISTING RIGHT OF WAY
	EXISTING EASEMENT
	EXISTING CONCRETE
	FLOOD ZONE BOUNDARY
	EXISTING STREET LIGHT
	EXISTING SIGN
	EXISTING RETAINING WALL WITH RAILING
	EXISTING EDGE OF ASPHALT
	EXISTING CURB
	PROPOSED STANDARD CURB
	PROPOSED FLUSH CURB
	PROPOSED LANDSCAPING
	PROPOSED SIDEWALK
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED STANDARD DUTY PAVEMENT
	PROPOSED TRANSFORMER
	PARKING COUNT

- KEY NOTES
- 1

PROPOSED BOLLARD
- 2

PROPOSED TRANSFORMER LOCATION
- 3

PROPOSED CONCRETE SIDEWALK (DIMENSION PER PLAN)
- 4

PROPOSED ADA SYMBOL (REF. SHEET C1.5 FOR DETAIL)
- 5

PROPOSED ADA SIGN IN BOLLARD (REF. SHEET C1.5 FOR DETAIL)
- 6

PROPOSED 6" CURB HEAD (REF. SHEET C1.5 FOR DETAIL)
- 7

PROPOSED PARALLEL ADA RAMP PER CDOT DTL M-608-1
- 8

PROPOSED BIKE RACK (3 SPACES) (REF. SHEET C1.5 FOR DETAIL)
- 9

PROPOSED 4" WIDE PARKING STRIPE
- 10

PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER
- 11

PROPOSED LANDSCAPING (REF. LANDSCAPING PLANS)
- 12

PROPOSED POLE SIGN (TO REUSE EXISTING 24' HIGH POLE, REF. APPROVED SIGN PLANS FOR DETAILS)
- 13

PROPOSED SITE LIGHT (REF. SHEET C1.13 FOR DETAILS)
- 14

PROPOSED TRASH ENCLOSURE (FRONT LOADING DUMPSTER) (REF. STRUCTURAL SHEETS FOR DETAILS)
- 15

PROPOSED CROSSWALK (REF. SHEET C1.5 FOR DETAIL)
- 16

PROPOSED DETECTABLE WARNING PER CDOT DTL M-608-1
- 17

PROPOSED FLUSH CURB
- 18

PROPOSED DUAL DCFG/LEVEL 3 EV CHARGER BY OTHERS
- 19

PROPOSED EVSE UNIVERSAL CHARGING STALL
- 20

PROPOSED EVSE STANDARD STALL
- 21

EXISTING SITE LIGHT (REF. SHEET C1.13 FOR DETAILS)
- 22

PROPOSED EV CAPABLE STALL
- 23

PROPOSED EMPLOYEE ONLY PARKING
- 24

PROPOSED 2' WIDE RECTANGULAR CONCRETE PAN
- 25

PROPOSED 2' CURB CUT (REF. SHEET C1.5 FOR DETAIL)
- 26

PROPOSED (NON-ADA) CONCRETE PAVEMENT SECTION
- 27

PROPOSED 6" MOUNTABLE CURB WITH 1" GUTTER (CURB AND GUTTER TYPE 2) PER CDOT DTL M-609-1
- 28

PROPOSED MODIFIED PARALLEL ADA RAMP PER CDOT DTL M-608-1
- 29

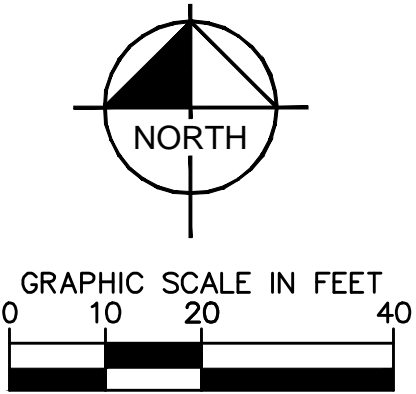
PROPOSED TRANSITION FROM FLUSH CURB TO 6" CURB


- GENERAL NOTES
1.

CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
2.

ANY EXISTING STRUCTURE, IMPROVEMENT, OR APPURTENANCE THAT IS DAMAGED AND TO REMAIN SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
3.

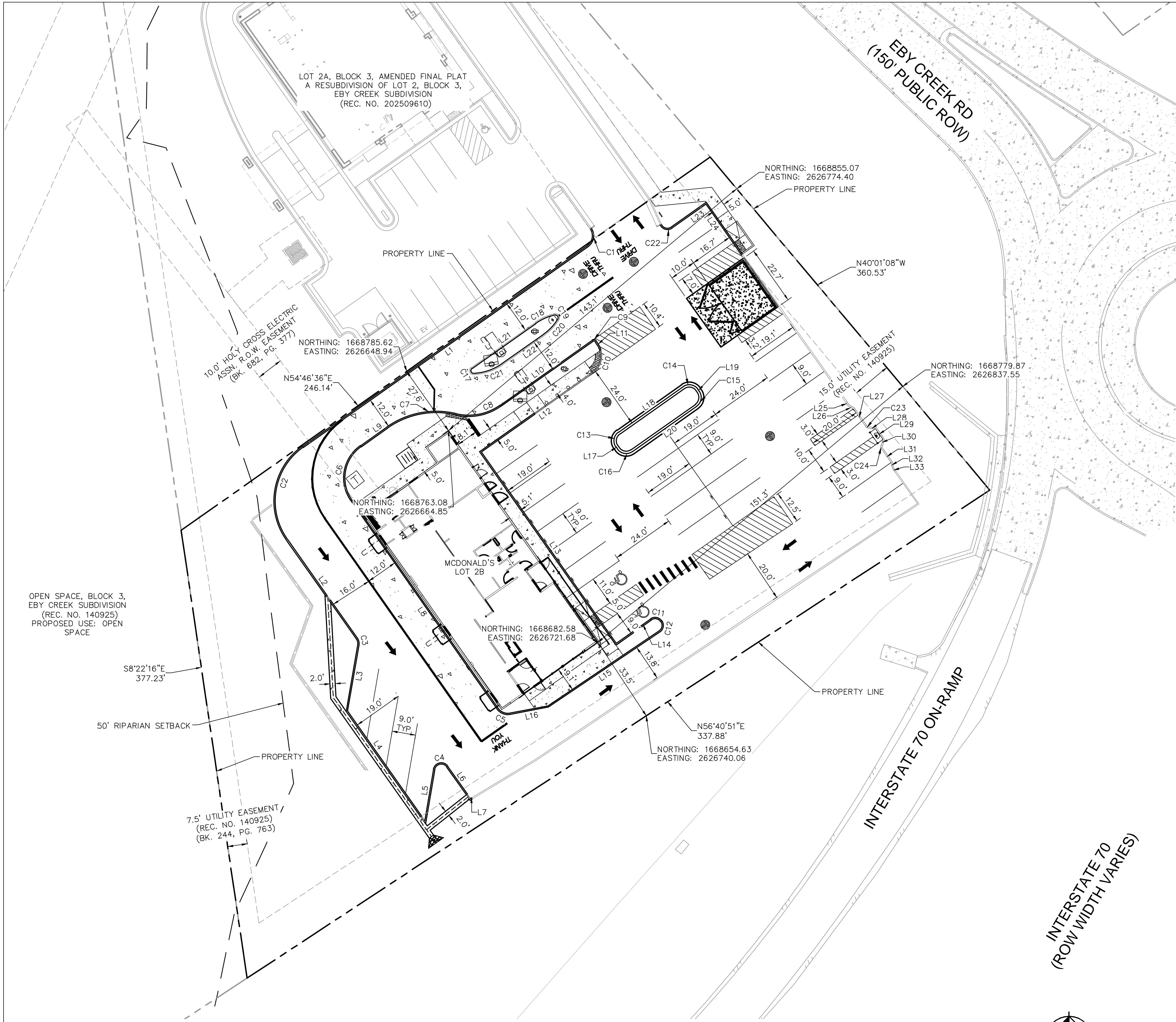
CONTRACTOR TO REFER TO MCDONALD'S APPROVED SIGN PACKAGE FOR SITE SIGNAGE DETAILS.



TITLE	CONSTRUCTION DOCUMENTS					DRAWN BY ANF	STD 11/26/25	DATE 11/26/25	REVIEWED BY JUM	DATE ISSUED 11/26/25	SITE ADDRESS: 291 EBY CREEK ROAD, EAGLE, CO 81631 LOT 2B, BLOCK 3, EBY CREEK SUBDIVISION	SITE ID 51052	DESCRIPTION	BY
	SITE PLAN													
C1.3														
PREPARED FOR:														
 <b>McDonald's USA, LLC</b>														
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Kimley»»Horn														
PREPARED BY:														
</														







LEGEND

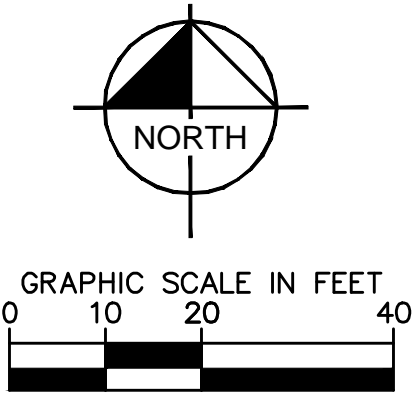
- ADJACENT PROPERTY LINE
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- EXISTING RETAINING WALL WITH RAILING
- EXISTING EDGE OF ASPHALT
- EXISTING CURB
- PROPOSED STANDARD CURB
- PROPOSED FLUSH CURB
- PROPOSED SIDEWALK
- PROPOSED STANDARD DUTY CONCRETE PAVEMENT
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED STANDARD DUTY PAVEMENT
- PROPOSED TRANSFORMER

LINE TABLE		
LINE	LENGTH	BEARING
L1	132.55	S54°47'24.20"W
L2	46.36	S35°12'36.96"E
L3	25.63	S9°47'23.04"W
L4	50.91	S35°12'36.96"E
L5	19.63	N9°47'23.04"E
L6	14.90	S35°12'36.96"E
L7	0.54	S58°56'27.45"W
L8	96.78	S35°03'54.69"E
L9	12.40	S54°47'24.20"W
L10	42.98	S54°47'24.20"W
L11	1.54	N34°14'24.74"W
L12	51.98	N54°46'34.63"E
L13	89.00	N35°13'25.37"W
L14	16.00	S54°46'34.63"W
L15	51.04	N55°59'33.29"E
L16	14.74	N79°12'30.17"E
L17	1.00	S35°13'25.37"E
L18	30.00	S54°46'34.63"W
L19	1.00	N35°13'25.37"W
L20	30.00	N54°46'34.63"E
L21	29.48	N54°47'24.20"E
L22	19.35	S54°47'24.20"W
L23	15.75	N54°46'34.63"E
L24	23.50	S35°07'53.86"E
L25	2.00	N35°10'30.38"W
L26	2.20	N59°50'45.61"W
L27	8.05	N35°13'25.37"W
L28	2.23	N86°46'26.51"W
L29	5.00	N35°13'25.37"W
L30	2.25	N15°54'23.66"E
L31	6.03	N35°13'25.37"W
L32	2.19	N10°57'04.22"W
L33	2.00	N35°12'19.43"W

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	5.00'	7.86'	S9°47'00"W	7.07'	90°00'49"	5.00'
C2	25.00'	39.27'	S9°47'24"W	35.36'	90°00'01"	25.00'
C3	3.00'	2.36'	S12°42'37"E	2.30'	45°00'00"	1.24'
C4	3.00'	7.07'	N77°17'23"E	5.54'	135°00'00"	7.24'
C5	5.00'	5.74'	S67°55'42"E	5.43'	65°43'35"	3.23'
C6	15.00'	23.52'	S9°51'45"W	21.19'	89°51'19"	14.96'
C7	32.50'	27.61'	S79°07'33"W	26.79'	48°40'17"	14.70'
C8	20.50'	17.41'	S79°07'33"W	16.90'	48°40'17"	9.27'
C9	1.00'	1.59'	N79°43'30"W	1.43'	90°58'11"	1.02'
C10	8.00'	12.43'	N10°16'05"E	11.22'	89°00'59"	7.86'
C11	3.00'	4.71'	N80°13'25"W	4.24'	90°00'00"	3.00'
C12	3.00'	4.78'	N10°23'04"E	4.29'	91°12'59"	3.06'
C13	4.00'	6.28'	S9°46'35"W	5.66'	90°00'00"	4.00'
C14	4.00'	6.28'	N80°13'25"W	5.66'	90°00'00"	4.00'
C15	4.00'	6.28'	N9°46'35"E	5.66'	90°00'00"	4.00'
C16	4.00'	6.28'	S80°13'25"E	5.66'	90°00'00"	4.00'
C17	1.51'	2.47'	N11°56'06"E	2.21'	94°03'07"	1.62'
C18	20.50'	8.20'	N66°15'03"E	8.15'	22°55'12"	4.16'
C19	1.50'	3.51'	S35°12'33"E	2.76'	134°09'37"	3.55'
C20	20.50'	8.20'	S43°19'52"W	8.15'	22°55'09"	4.16'
C21	20.50'	11.68'	S71°06'31"W	11.52'	32°38'13"	6.00'
C22	3.00'	5.27'	S74°52'54"E	4.62'	100°41'02"	3.62'
C23	2.00'	1.80'	N60°59'56"W	1.74'	51°33'01"	0.97'
C24	2.00'	1.78'	N9°39'31"W	1.73'	51°07'49"	0.96'

GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT, OR APPURTENANCE TO REMAIN SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.



TITLE

CONSTRUCTION DOCUMENTS

DESCRIPTION

HORIZONTAL CONTROL PLAN

SITE ADDRESS

291 EBY CREEK ROAD, EAGLE, CO 81631

SITE ID

51052

PREPARED FOR:

McDonald's USA, LLC

PREPARED BY:

Kimley»Horn

DRAWN BY:

ANF

STD ISSUE DATE

11/26/25

REVIEWED BY:

JJM

DATE ISSUED

11/26/25

REV

DATE

DESCRIPTION

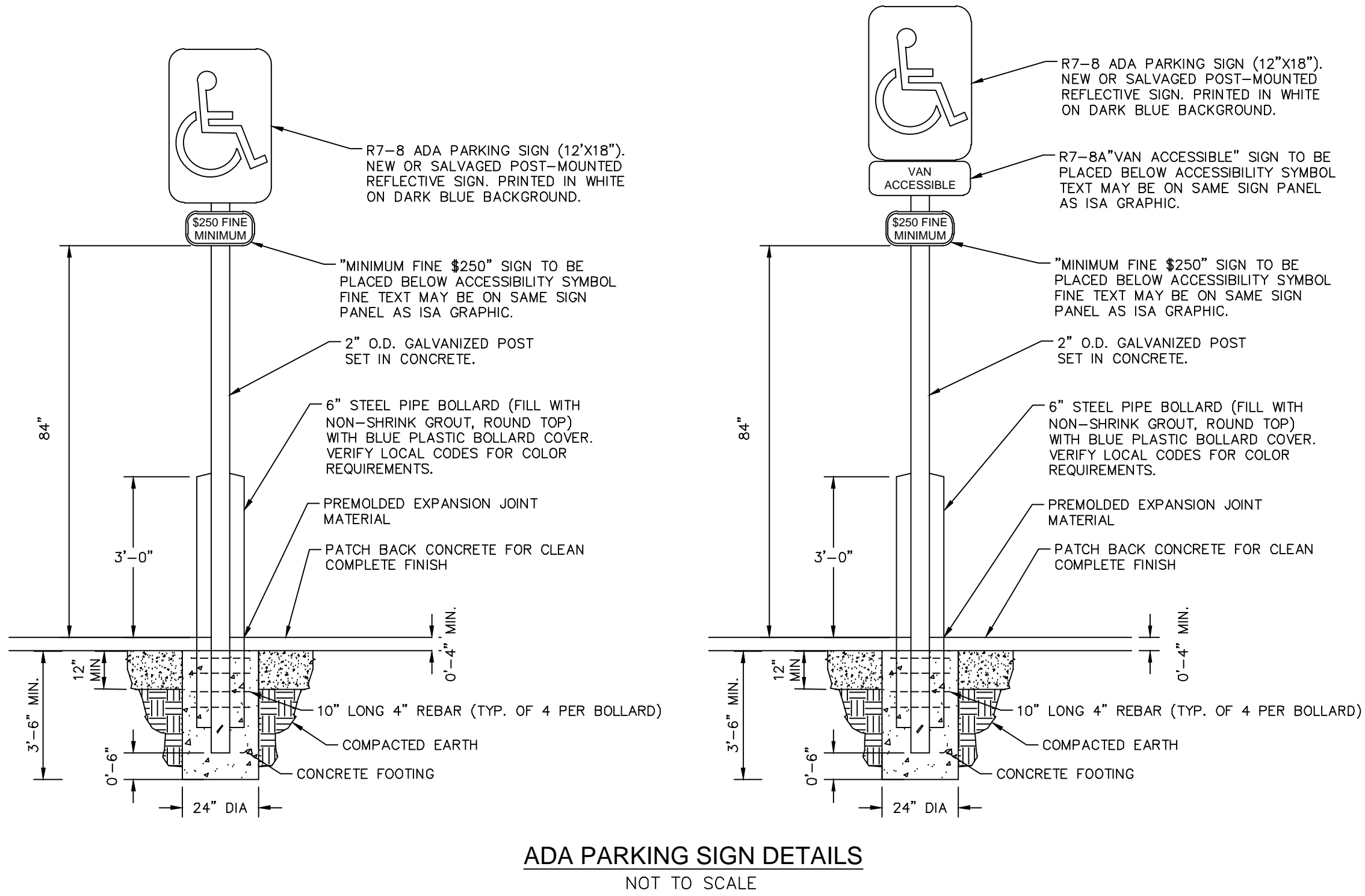
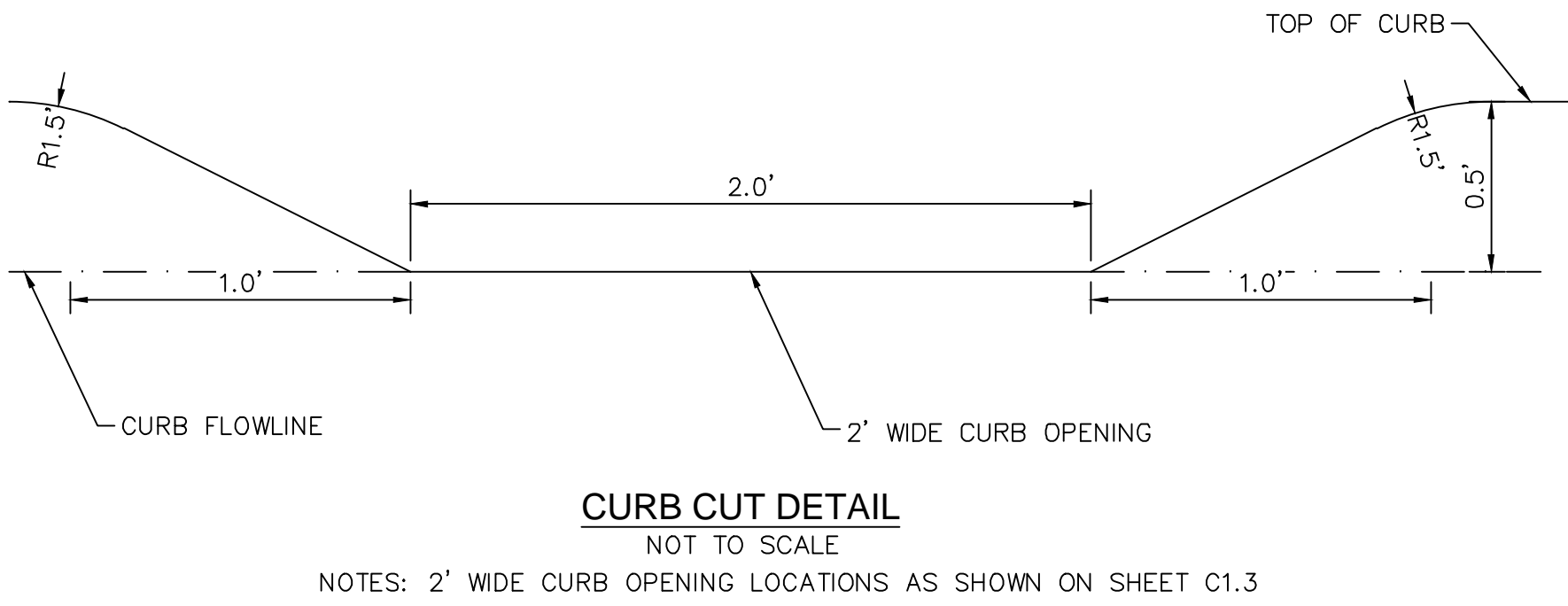
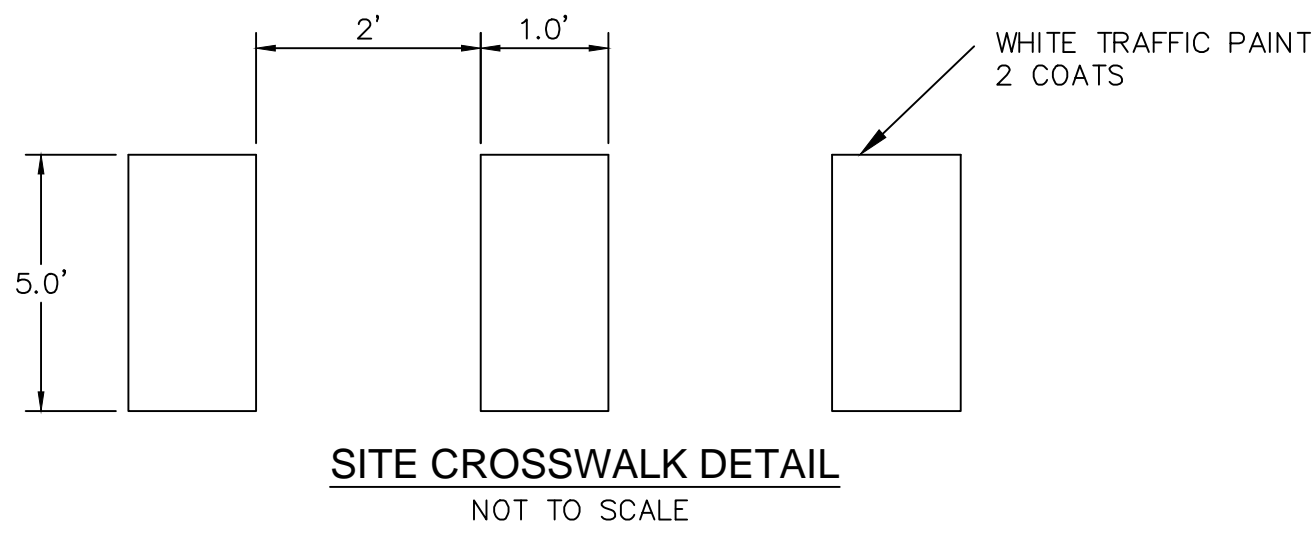
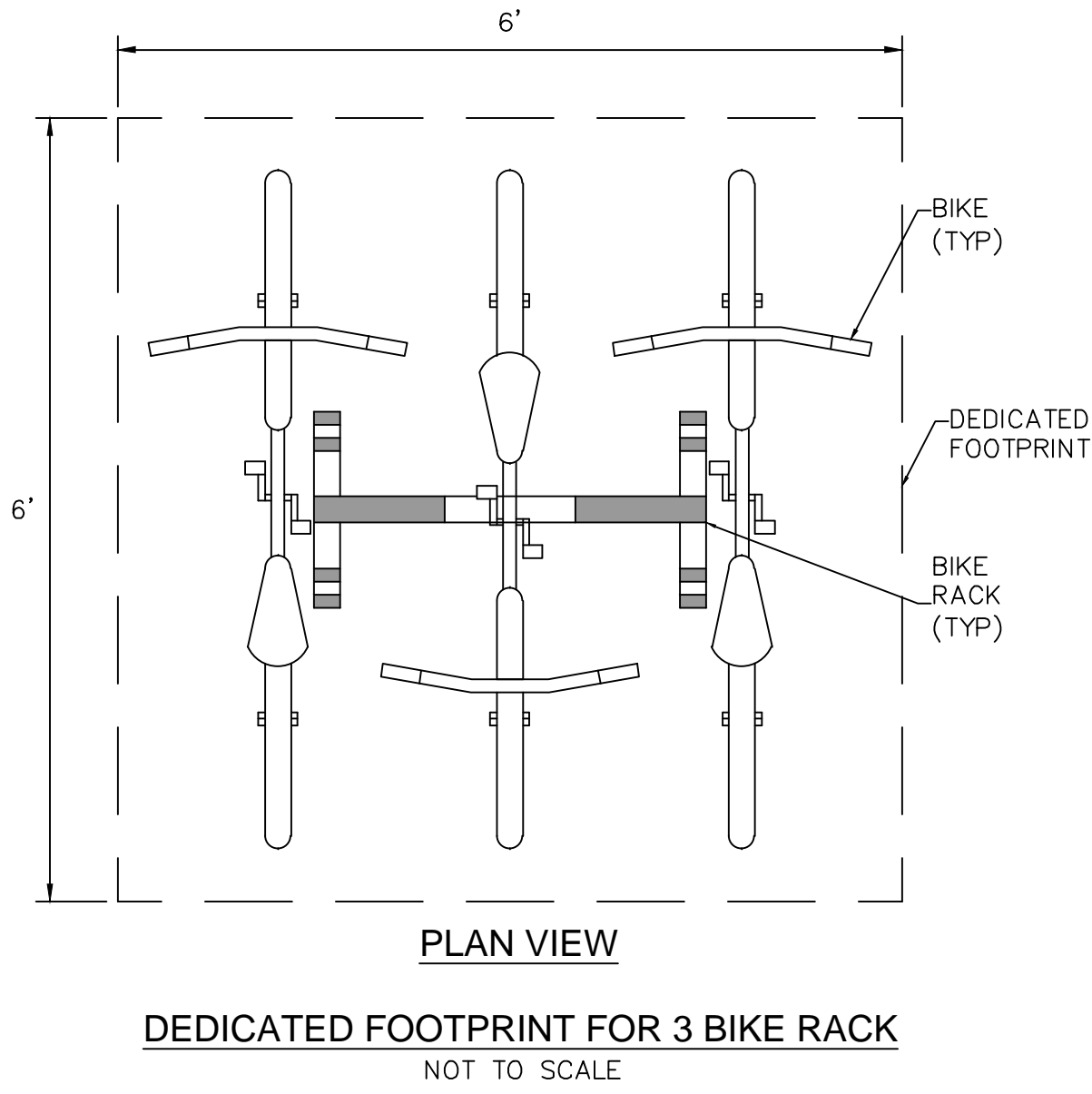
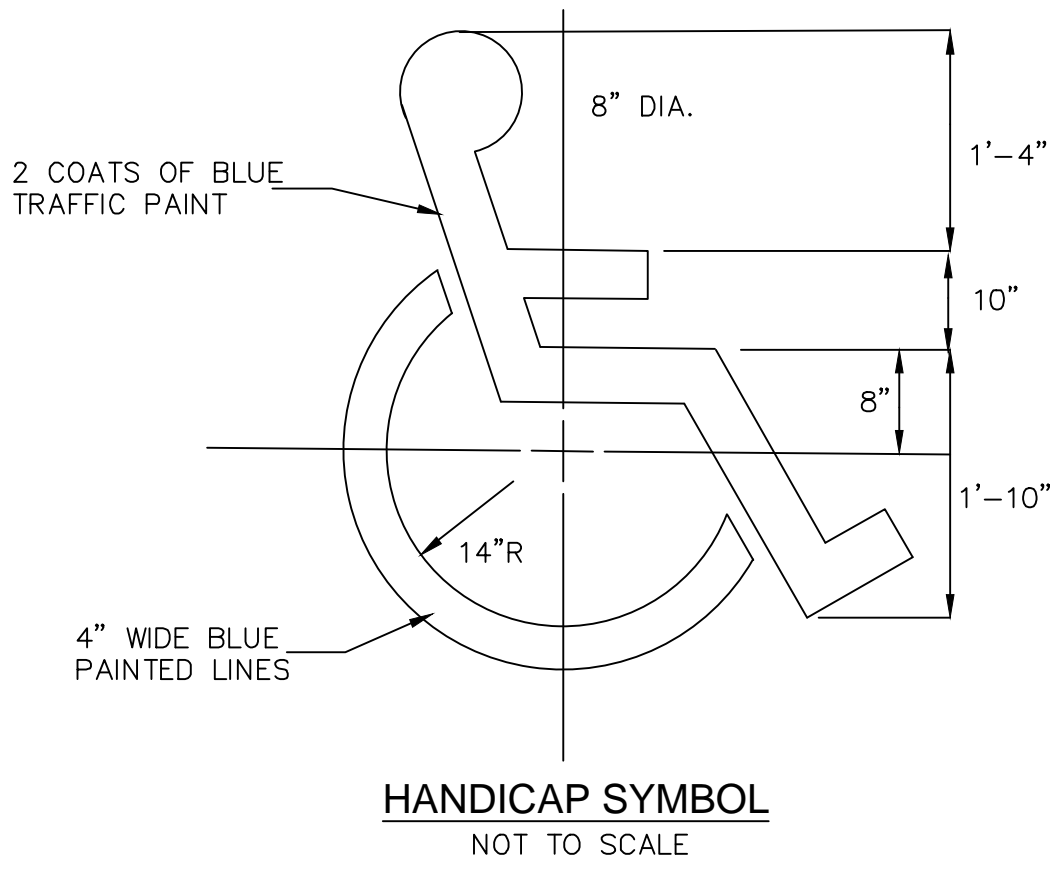
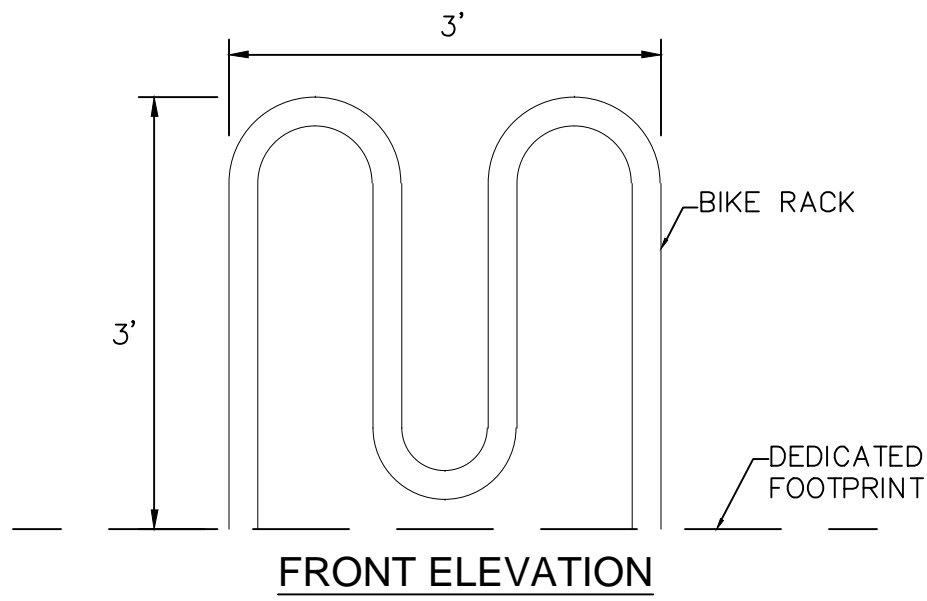
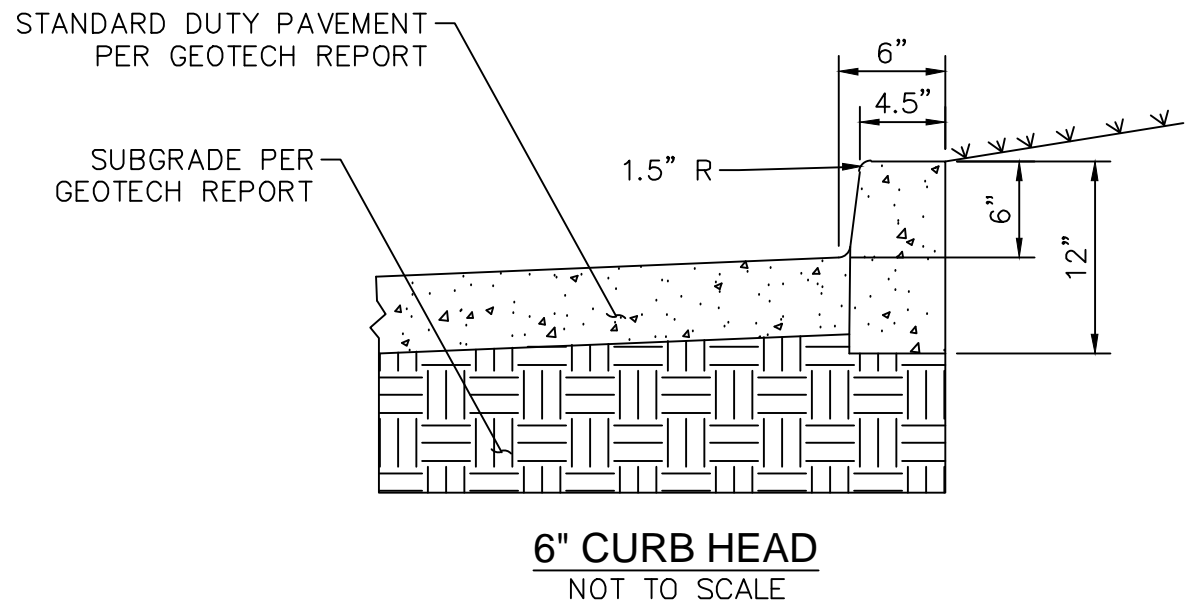
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Know what's below. Call before you dig.

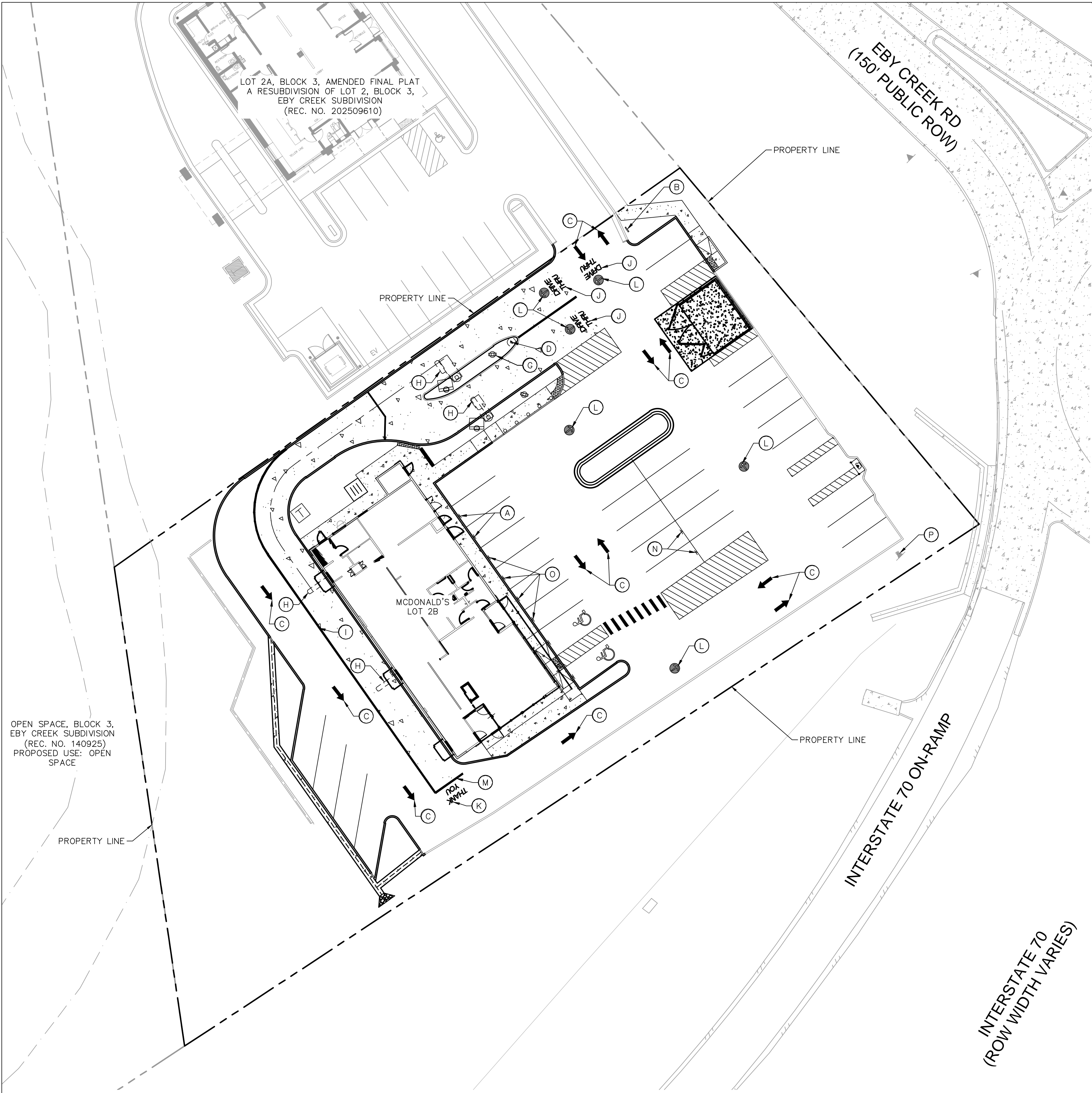
C1.4





C1.5	TITLE	CONSTRUCTION DOCUMENTS		DRAWN BY ANF	PREPARED FOR:	 McDonald's USA, LLC	PREPARED BY:																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
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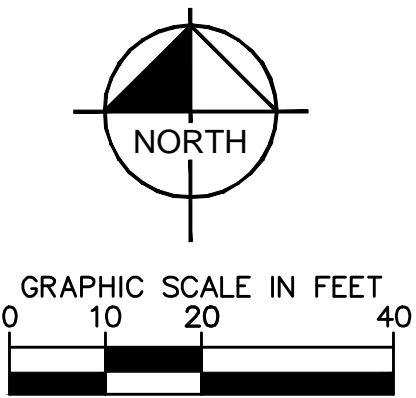
- ADJACENT PROPERTY LINE
- PROPERTY LINE
- EXISTING RIGHT OF WAY
- EXISTING CONCRETE
- FLOOD ZONE BOUNDARY
- EXISTING STREET LIGHT
- EXISTING SIGN
- EXISTING RETAINING WALL WITH RAILING
- EXISTING EDGE OF ASPHALT
- EXISTING CURB
- PROPOSED STANDARD CURB
- PROPOSED SIDEWALK
- PROPOSED STANDARD DUTY CONCRETE PAVEMENT
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED STANDARD DUTY PAVEMENT


KEY NOTES

- (A) MCDelivery SIGN WITHIN 6" BOLLARD
- (B) DIRECTIONAL SIGN
- (C) DIRECTIONAL ARROW, WHITE, REFERENCE SHEET C1.7 FOR DETAIL
- (D) DOUBLE GATEWAY ARM
- (E) PRE-SELL BOARD
- (F) DRIVE-THRU CANOPY WITH BUILT IN COD
- (G) DIGITAL MENU BOARD
- (H) LOOP DETECTOR
- (I) PMS 123 YELLOW 6" DRIVE-THRU LANE STRIPING
- (J) DRIVE-THRU TEXT STRIPING, REFERENCE SHEET C1.7 FOR DETAIL
- (K) THANK YOU TEXT STRIPING, REFERENCE SHEET C1.7 FOR DETAIL
- (L) MCDONALD'S STANDARD TRAFFIC ARROW, REFERENCE SHEET C1.7 FOR DETAIL
- (M) PMS 123 YELLOW 8" DRIVE-THRU LANE STRIPING
- (N) PULL FORWARD SIGN WITHIN 6" BOLLARD
- (O) MOBILE ORDER SIGN WITHIN 6" BOLLARD
- (P) POLE SIGN — TO USE EXISTING 24' TALL POLE (REF. APPROVED SIGNAGE PLANS)

GENERAL NOTES

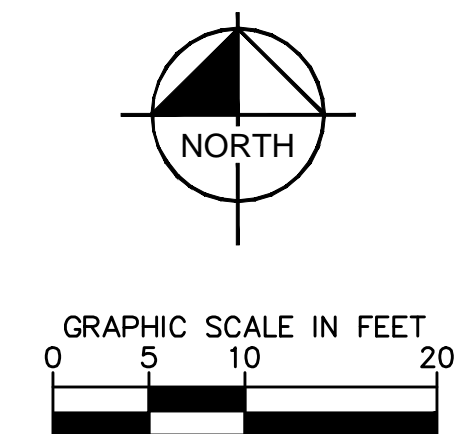
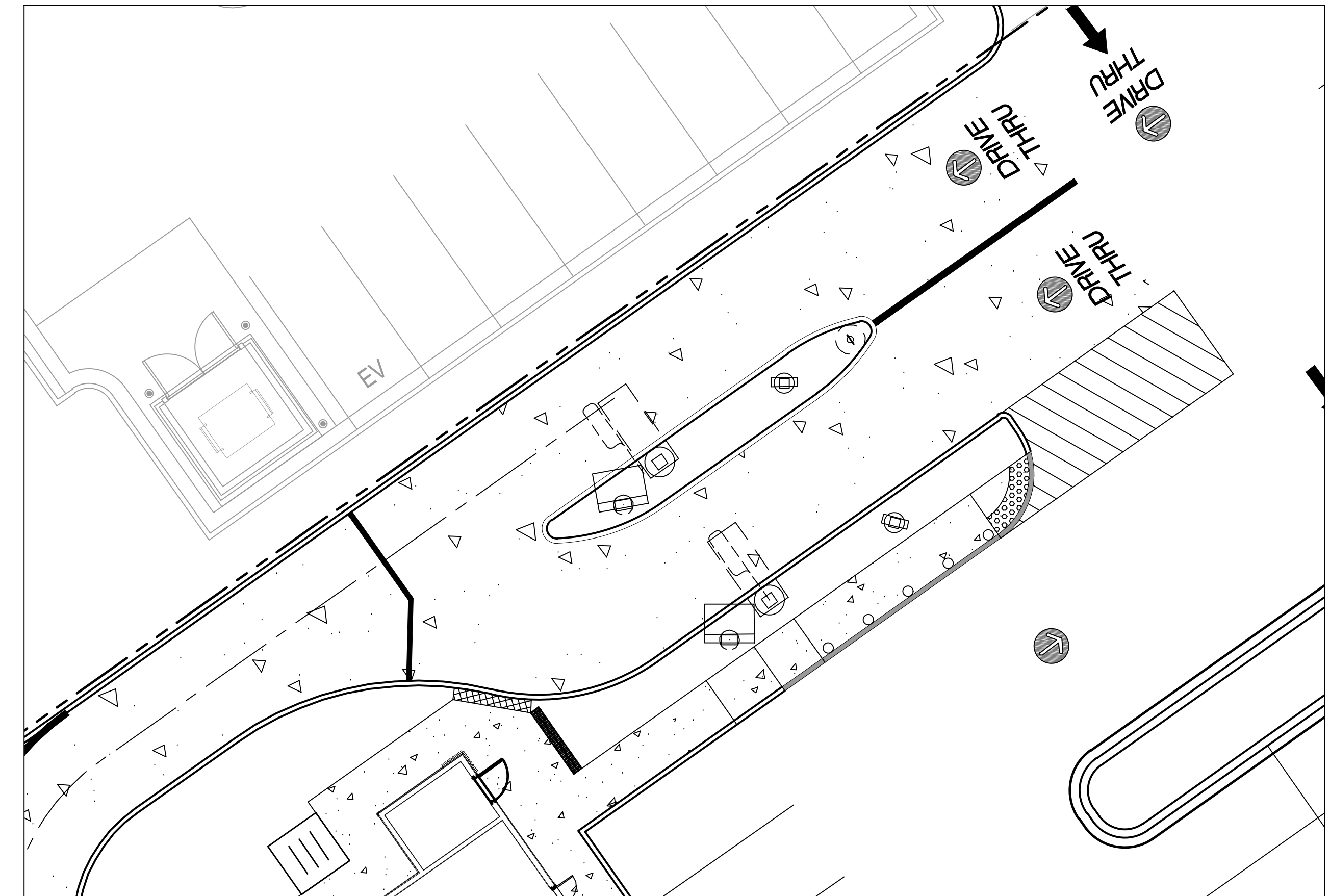
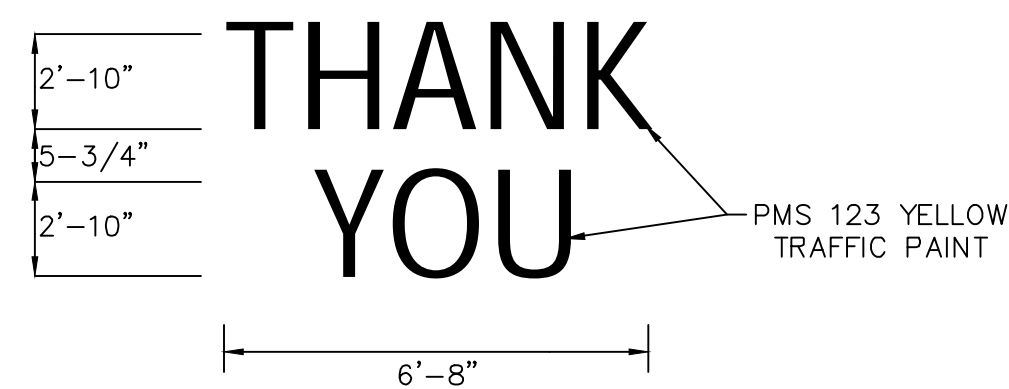
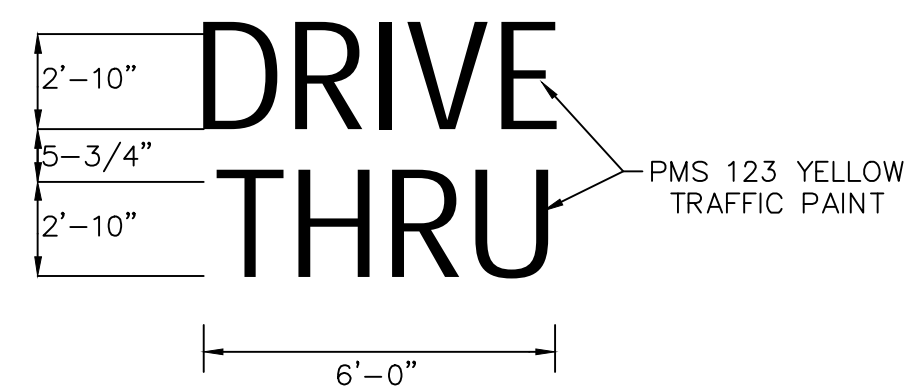
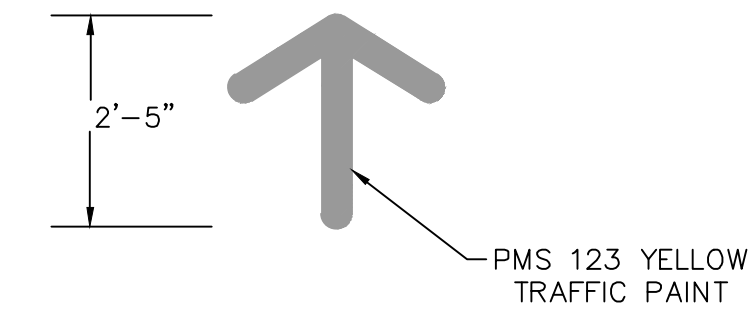
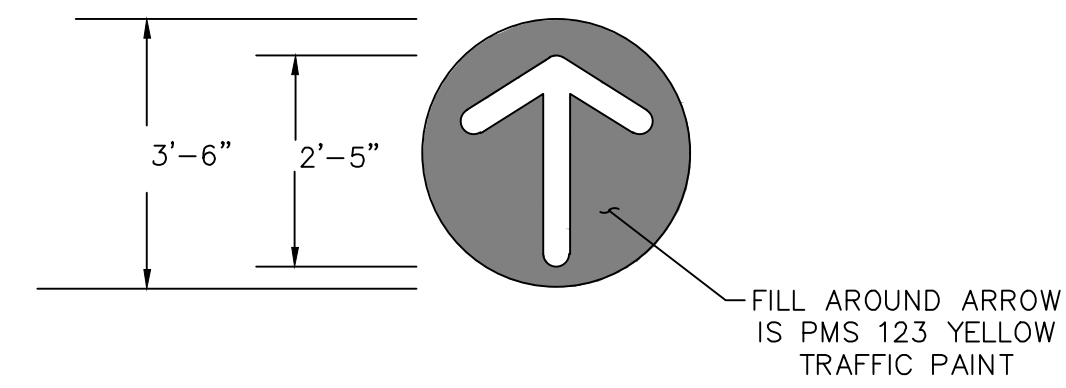
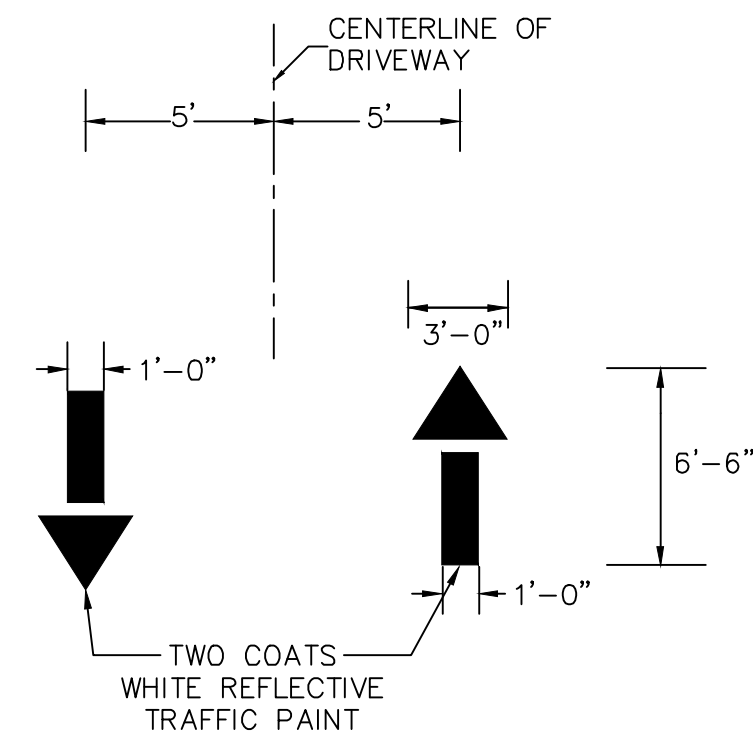
1. ALL SIGNS ARE REVIEWED UNDER SEPARATE PERMIT.




C1.6									
TITLE	CONSTRUCTION DOCUMENTS			DRAWN BY ANF	PREPARED FOR:  McDonald's USA, LLC		PREPARED BY:		
DESCRIPTION	MCDONALD'S SIGNAGE AND STRIPING PLAN			STD 11/26/25	These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by Kimley-Horn and Associates, Inc. in accordance with the contract documents for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the approval of Kimley-Horn and Associates, Inc. and the use of the contract documents for reuse on another project is not authorized.		Kimley»»Horn		
SITE ID	SITE ADDRESS: ROND, EAGLE, CO 81631 LOT 2B, BLOCK 3, EBY CREEK SUBDIVISION			REVIEWED BY JMM	DATE ISSUED 11/26/25		REV		DATE
51052							DESCRIPTION		BY

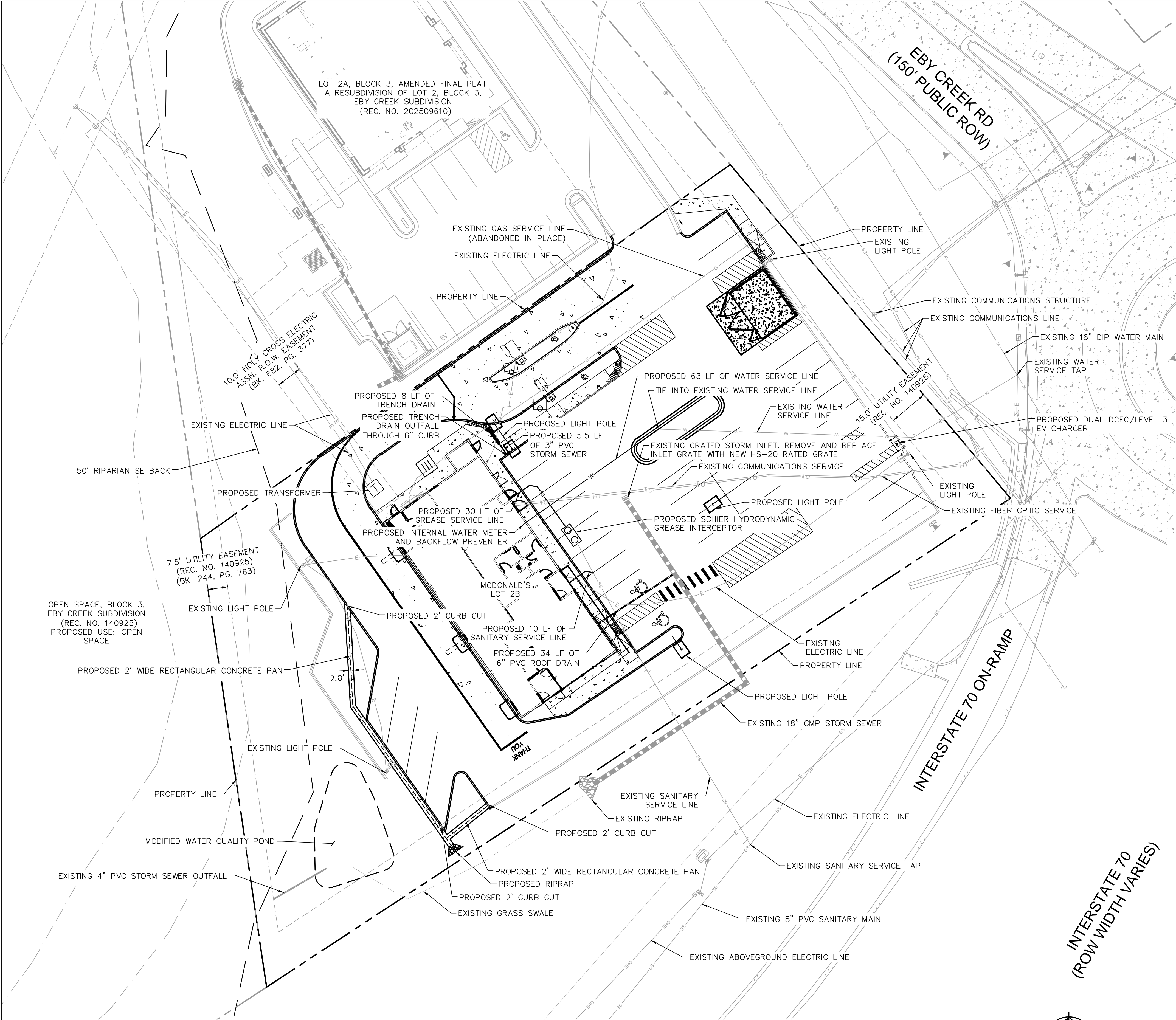






C1.7	CONSTRUCTION DOCUMENTS		ANF STD ISSUE DATE 11/28/25	 McDonald's USA, LLC  These drawings and specifications are the confidential and proprietary information of McDonald's USA, LLC. The contract documents were prepared without written authorization. The contract documents were prepared for use on this specific site, in conjunction with its issue date and are not to be used on any other project. Reproduction of these drawings for use on any other project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.	Kimley»»Horn	RCV	DATE	BY
	DESCRIPTION							
	MCDONALD'S SIGNAGE AND STRIPING DETAILS							
	SITE ID	311 ADDRESS 51052 LOT 2B, BLOCK 3, EBV CREEK SUBDIVISION 201 EBV CREEK ROAD, EAGLE CO #1631						

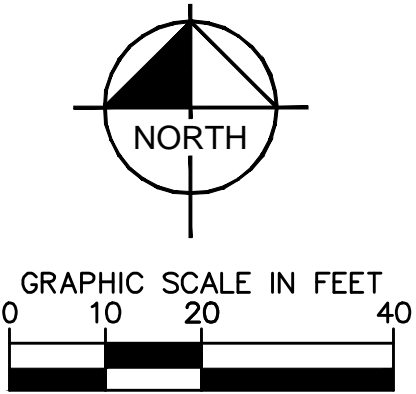




LEGEND	
	ADJACENT PROPERTY LINE
	PROPERTY LINE
	SETBACK
	EXISTING RIGHT OF WAY
	EXISTING EASEMENT
	EXISTING CONCRETE
	FLOOD ZONE BOUNDARY
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING WATER LINE
	EXISTING COMMUNICATIONS
	EXISTING GAS
	EXISTING FIBER OPTIC
	EXISTING SANITARY SEWER
	EXISTING SANITARY MANHOLE
	EXISTING STORM SEWER
	EXISTING STORM INLET
	EXISTING STREET LIGHT
	EXISTING ELECTRICAL EQUIPMENT
	EXISTING IRRIGATION VALVE
	EXISTING SIGN
	EXISTING WATER VALVE
	EXISTING RETAINING WALL WITH RAILING
	EXISTING EDGE OF ASPHALT
	EXISTING CURB
	PROPOSED STANDARD CURB
	PROPOSED SIDEWALK
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED STANDARD DUTY PAVEMENT
	PROPOSED DOMESTIC WATER SERVICE LINE
	PROPOSED SANITARY SEWER SERVICE LINE
	PROPOSED GREASE INTERCEPTOR
	PROPOSED TRANSFORMER
	PROPOSED STORM SEWER
	PROPOSED FLUSH CURB

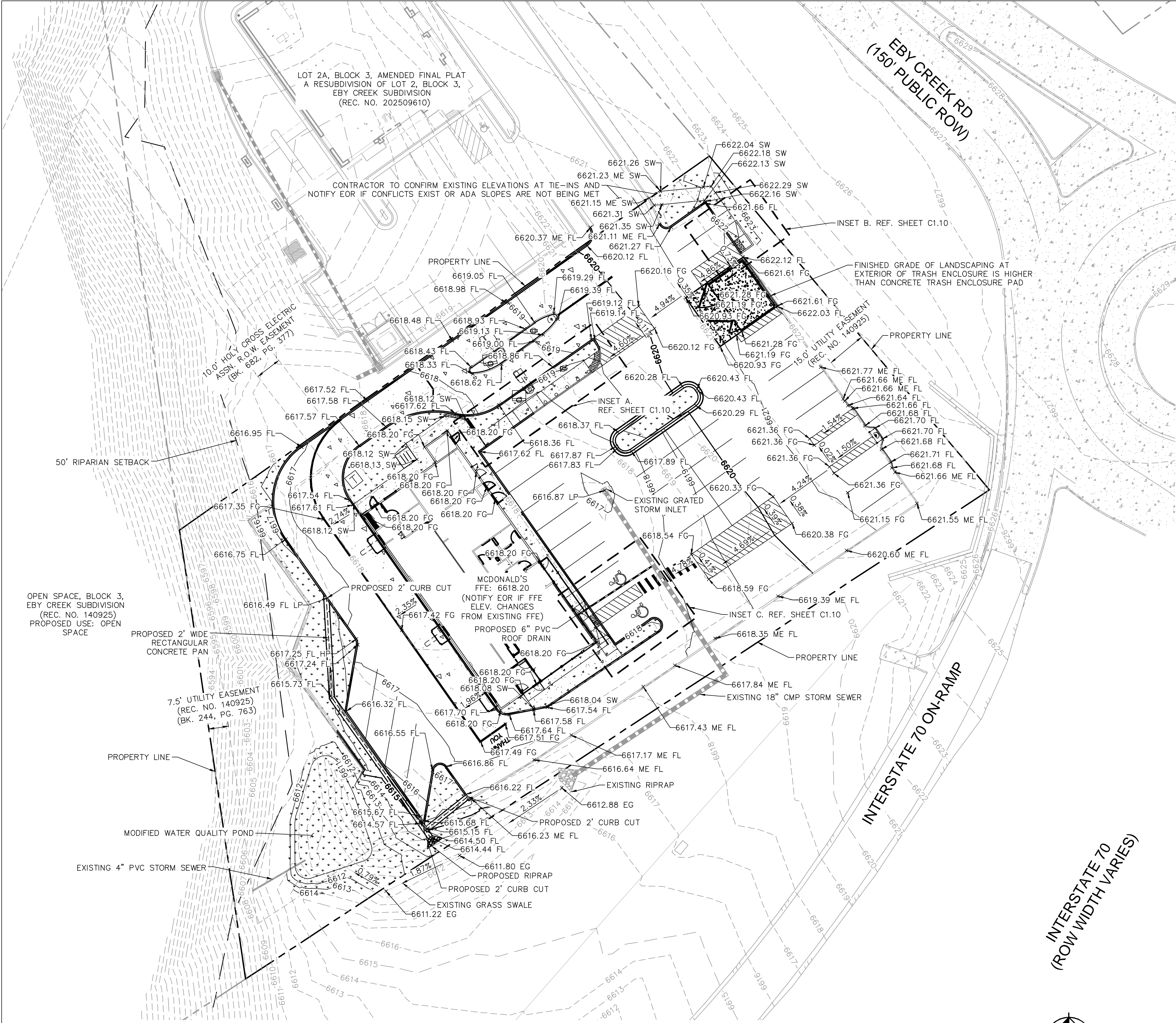
GENERAL NOTES

- ALL EXISTING UTILITIES TO REMAIN UNLESS OTHERWISE NOTED.
- UTILITIES TO BE REMOVED ARE TO BE CAPPED IN PLACE IN ACCORDANCE WITH LOCAL UTILITY REGULATIONS.
- CONTRACTOR TO VERIFY EXISTING UTILITY SIZES, MATERIALS, AND LOCATIONS AND CONTACT ENGINEER OF RECORD IF ANY DISCREPANCIES EXIST.
- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT, OR APPURTENANCE TO REMAIN SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.



TITLE	CONSTRUCTION DOCUMENTS				DRAWN BY ANF	PREPARED FOR:				PREPARED BY:																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
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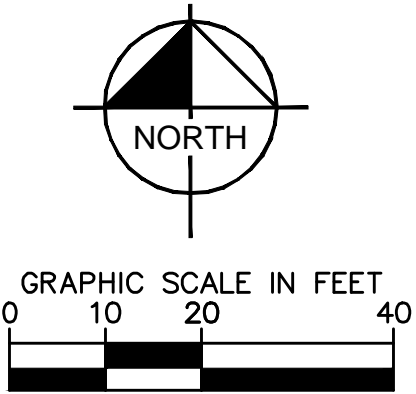


LEGEND

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	PROPERTY LINE
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	EXISTING RIGHT OF WAY
	EXISTING EASEMENT
	EXISTING CONCRETE
	FLOOD ZONE BOUNDARY
	EXISTING STORM SEWER
	EXISTING STORM INLET
	EXISTING RETAINING WALL WITH RAILING
	EXISTING EDGE OF ASPHALT
	EXISTING CURB
	PROPOSED STANDARD CURB
	PROPOSED LANDSCAPING
	PROPOSED SIDEWALK
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED STANDARD DUTY PAVEMENT
	PROPOSED (NON-ADA) CONCRETE PAVEMENT SECTION
	PROPOSED STORM SEWER
	PROPOSED FLUSH CURB
ME FL	MATCH EXISTING FLOWLINE ELEVATION
ME SW	MATCH EXISTING SIDEWALK ELEVATION
EG	EXISTING GRADE ELEVATION
FG	FINISHED GRADE ELEVATION
FL	PROPOSED FLOWLINE ELEVATION
SW	PROPOSED SIDEWALK ELEVATION
FFE	PROPOSED FINISH FLOOR ELEVATION
FL HP	PROPOSED FLOWLINE HIGH POINT ELEVATION
FL LP	PROPOSED FLOWLINE LOW POINT ELEVATION
LP	PROPOSED LOW POINT ELEVATION
-6620-	EXISTING MAJOR CONTOUR
-6621-	EXISTING MINOR CONTOUR
-6620-	PROPOSED MAJOR CONTOUR
-6621-	PROPOSED MINOR CONTOUR

GENERAL NOTES

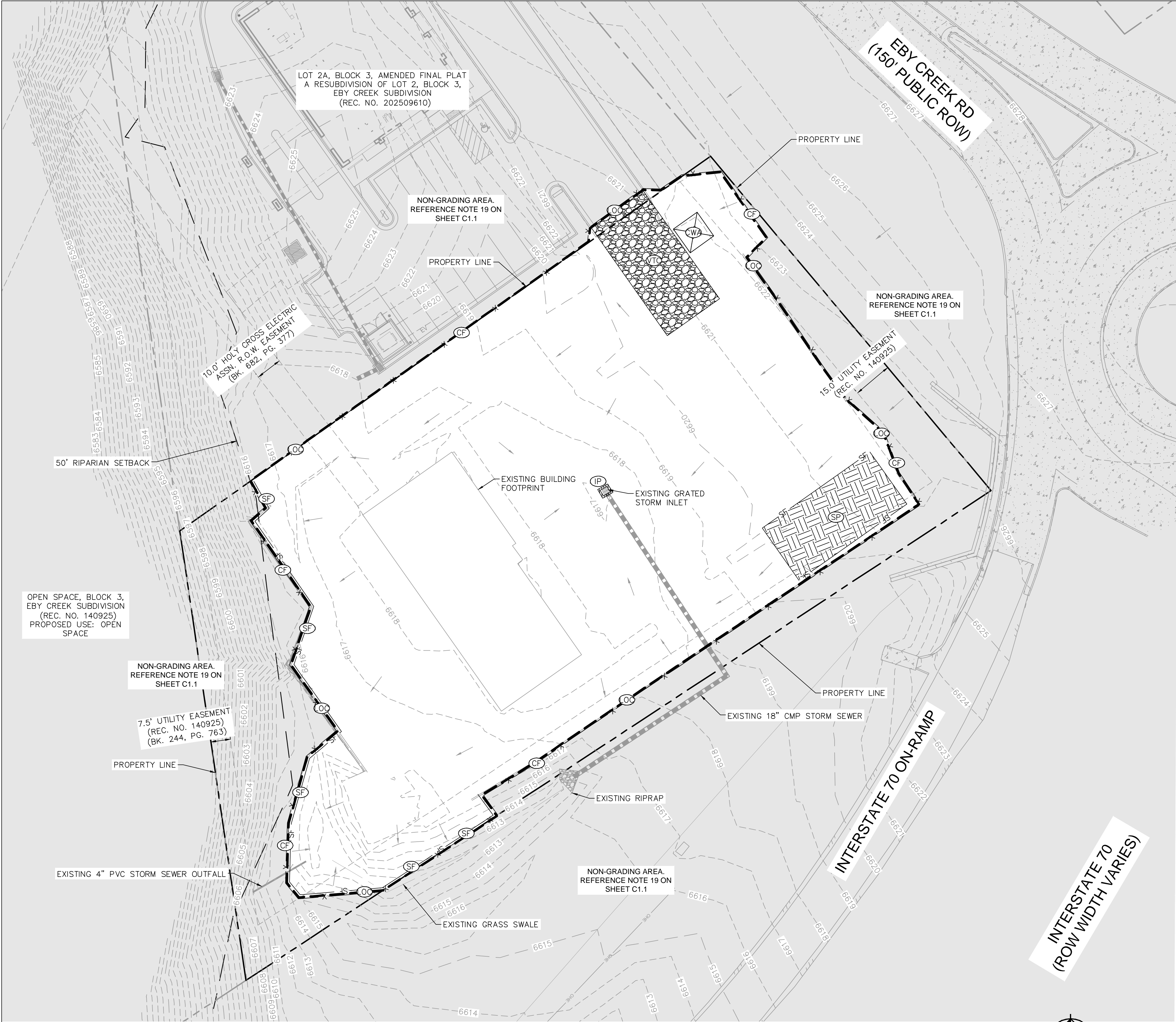
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- ANY EXISTING STRUCTURE, IMPROVEMENT, OR APPURTENANCE TO REMAIN SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.



C1.9	TITLE	CONSTRUCTION DOCUMENTS				DRAWN BY	PREPARED FOR:		PREPARED BY:	REV	DATE	DESCRIPTION	BY	
						ANF	McDonald's USA, LLC							
	DESCRIPTION					STD ISSUE DATE	These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for the use of the project described herein and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the approval of McDonald's USA, LLC. The contractor shall not use the contract documents for reuse on another project is not authorized.							
						11/26/25								
	GRADING PLAN					REVIEWED BY	Kimley»Horn							
						JUN								
						DATE ISSUED								
						11/26/25								
	SITE ID	SITE ADDRESS: 291 EBY CREEK ROAD, EAGLE, CO. 81631 LOT 2B, BLOCK 3, EBY CREEK SUBDIVISION												
	51052													

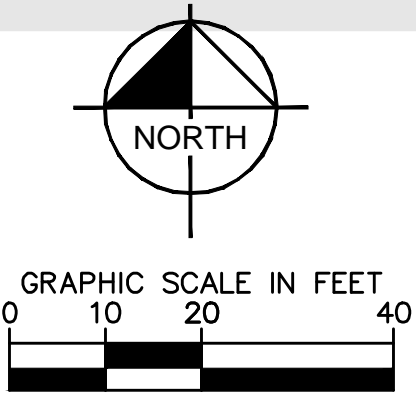






GENERAL NOTES

1. CONTRACTOR TO VERIFY EXISTING GRADES AT TIE IN POINTS AND CONTACT ENGINEER OF RECORD IF ANY DISCREPANCIES EXIST.
2. CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
3. CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
4. ANY EXISTING STRUCTURE, IMPROVEMENT, OR APPURTENANCE TO REMAIN SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

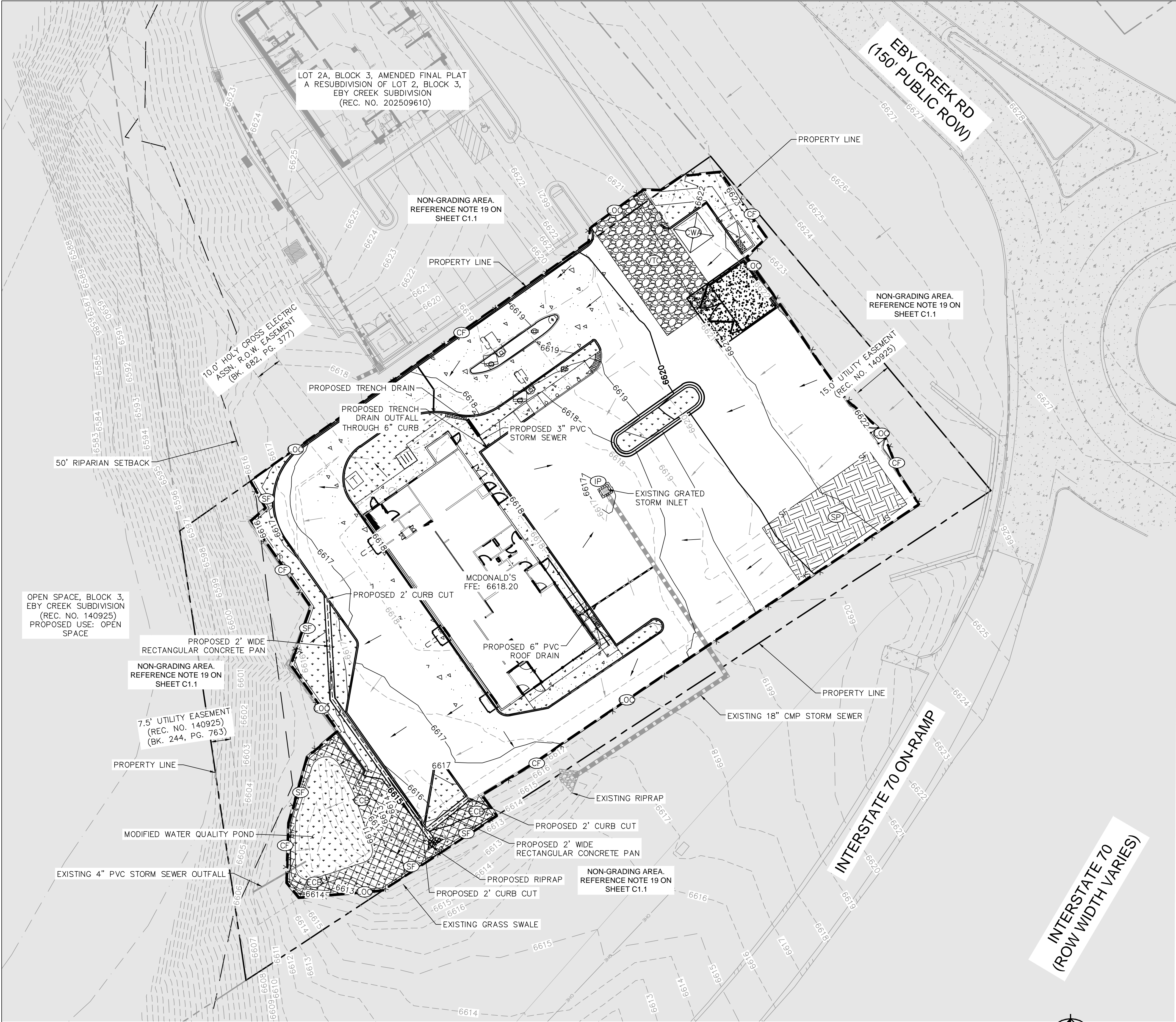


LEGEND

- ADJACENT PROPERTY LINE
- PROPERTY LINE
- SETBACK
- EXISTING RIGHT OF WAY
- EXISTING EASEMENT
- EXISTING CONCRETE
- FLOOD ZONE BOUNDARY
- EXISTING STORM SEWER
- EXISTING STORM INLET
- EXISTING RETAINING WALL WITH RAILING
- EXISTING EDGE OF ASPHALT
- EXISTING CURB
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- LIMITS OF CONSTRUCTION
- CONSTRUCTION FENCE
- SILT FENCE
- STABILIZED STAGING AREA
- CONCRETE WASHOUT
- VEHICLE TRACKING CONTROL
- SOIL STOCKPILE
- EROSION CONTROL BLANKET
- INLET PROTECTION
- FLOW ARROW
- NON-GRADING AREA. REFERENCE NOTE 19 ON SHEET C1.1

C1.11	CONSTRUCTION DOCUMENTS	EROSION CONTROL PLAN - INITIAL PHASE	SITE ID 51052 SITE ADDRESS: 291 EBY CREEK ROAD, EAGLE, CO 81631 LOT 2B, BLOCK 3, EBY CREEK SUBDIVISION	DRAWN BY	PREPARED FOR:		PREPARED BY:																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
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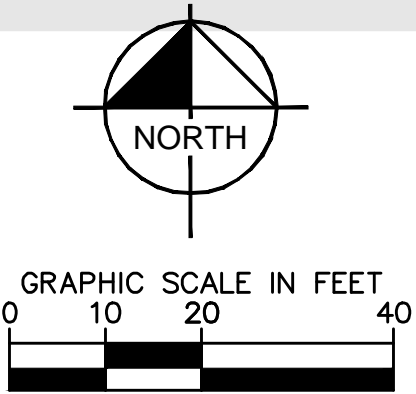
LEGEND

- ADJACENT PROPERTY LINE
- PROPERTY LINE
- SETBACK
- EXISTING RIGHT OF WAY
- EXISTING EASEMENT
- EXISTING CONCRETE
- FLOOD ZONE BOUNDARY
- EXISTING STORM SEWER
- EXISTING STORM INLET
- EXISTING RETAINING WALL WITH RAILING
- EXISTING EDGE OF ASPHALT
- EXISTING CURB
- PROPOSED STANDARD CURB
- PROPOSED LANDSCAPING
- PROPOSED SIDEWALK
- PROPOSED STANDARD DUTY CONCRETE PAVEMENT
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED STANDARD DUTY PAVEMENT
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- INLET PROTECTION
- FLOW ARROW
- NON-GRADING AREA. REFERENCE NOTE 19 ON SHEET C1.1

KEY NOTES

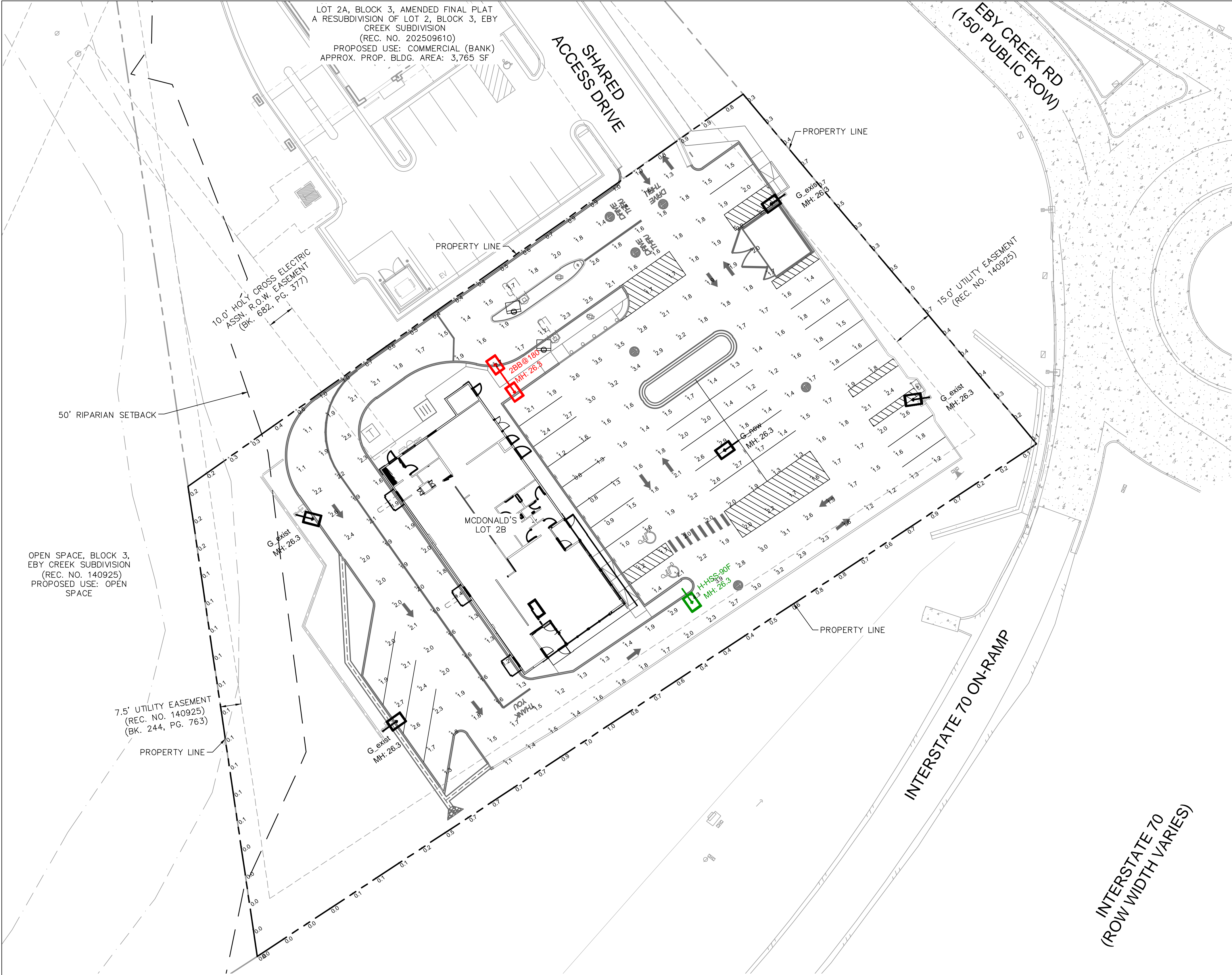
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C1.12	CONSTRUCTION DOCUMENTS	DRAWN BY	PREPARED FOR:		PREPARED BY:																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
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LEGEND

- ADJACENT PROPERTY LINE
- PROPERTY LINE

NOTES

- THE FOOTCANDLE LEVELS AS SHOWN SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
- DISTANCE BETWEEN READINGS: 10'
- POLE FIXTURES ARE FULL CUTOFF TILT=0
- CALCULATION GRIDS ARE AT GRADE
- POLE LIGHT MOUNTING HEIGHT=26.3FT (25' POLE + 1.3' BASE)
- THIS DRAWING MEETS OR EXCEEDS MCDONALD'S CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	1.88	4.3	0.8	2.35	5.38
PROPERTY LINE READINGS	Illuminance	Fc	0.45	1.0	0.0	N.A.	N.A.

Local Ordinance:  
3000K full cutoff, shielded  
0.3fc max spill residential, otherwise 1.0fc max  
10000 initial lumens

Calc shown at initial  
Retrofit lights on 6 poles existing/relocate with 1 new pole/light on  
matching existing pole mounting height 26.3ft

Luminaire Schedule

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Lum. Lumens	EPA	Mtg Height	Pole Type
	1	2BB@180	Back-Back	1.000	VP-1-160L-160-3K7-2-BC-UNV-A-PSS existing pole	158	9908	1.214	26.3	existing pole
	4	G_exist	Single	1.000	VP-1-160L-75-3K7-4F-UNV-A-PSS existing pole	72	9261	0.607	26.3	existing pole
	1	G_new	Single	1.000	VP-1-160L-75-3K7-4F-UNV-A-PSS on new pole	72	9261	0.607	26.3	SES-18-40-1-TA-GL-xx (4")
	1	H-HSS-90F	Single	1.000	VP-1-160L-100-3K7-2-UNV-A-PSS-HSS-90F existing pole	92	8284	0.607	26.3	existing pole

PREPARED BY:

McDonald's USA, LLC

DRAWN BY:

ANF

STD ISSUE DATE

11/26/25

REVIEWED BY:

JJM

DATE ISSUED

11/26/25

TITLE

CONSTRUCTION DOCUMENTS

DESCRIPTION

PHOTOMETRIC PLAN

SITE ADDRESS

291 EBY CREEK ROAD, EAGLE, CO 81631

SITE ID

51052

LOT 2B, BLOCK 3, EBY CREEK SUBDIVISION

Kimley»Horn

REV

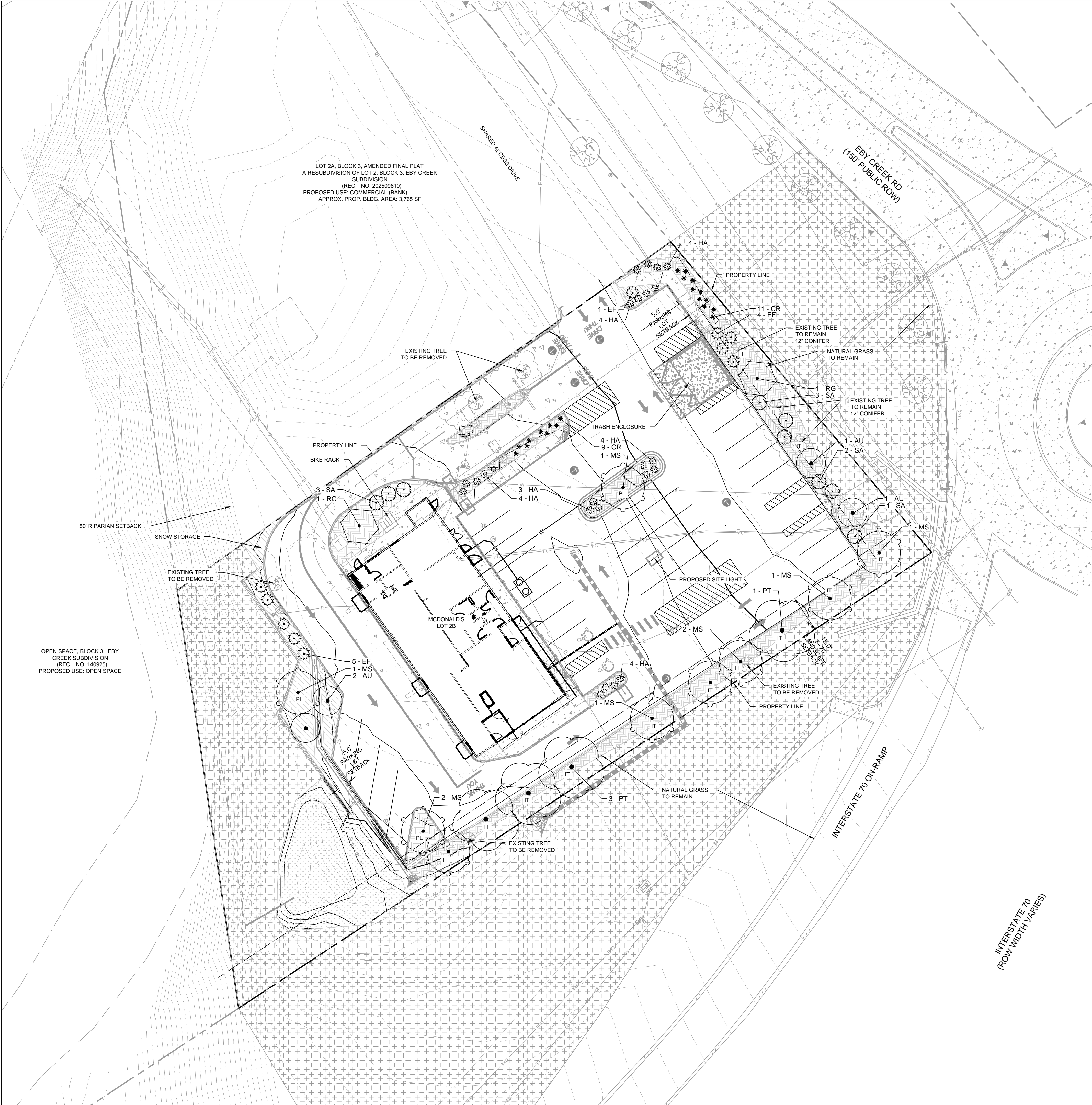
DATE

DESCRIPTION

BY

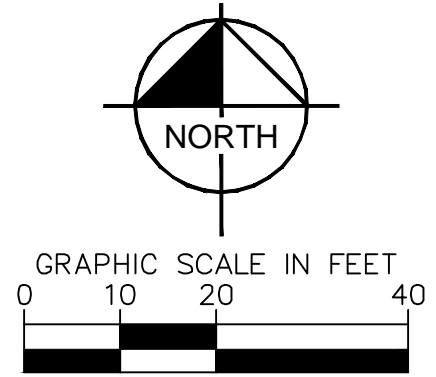
C1.13





PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE / CAL	WIDTH	HEIGHT
DECIDUOUS TREES							
	PT	4	POPULUS TREMULOIDES QUAKING ASPEN	B & B	3" CAL MIN	10'-30'	20'-50'
ORNAMENTAL TREES							
	MS	9	MALUS X 'SPRING SNOW' SPRING SNOW CRABAPPLE	B & B	3" CAL MIN	10'-25'	18'-20'
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE/WTR USE	SPACING	WIDTH	HEIGHT
DECIDUOUS SHRUBS							
	AU	4	AMELANCHIER UTAHENSIS UTAH SERVICEBERRY	5 GAL		10'-15'	10'-15'
	EF	10	EUONYMUS FORTUNEI WINTERCREEPER	5 GAL		4'-6'	3'-5'
	RG	2	RHUS GLABRA SMOOTH SUMAC	5 GAL		10'-15'	10'-15'
	SA	9	SYMPHORICARPOS ALBUS COMMON SNOWBERRY	5 GAL		3'-6'	3'-6'
PERENNIALS							
	CR	20	COREOPSIS X 'BALUPTeam' UPTICK™ CREAM TICKSEED	5 GAL		1'-2'	1'-2'
	HA	23	HEMEROCALLIS X 'APPLE TART' APPLE TART DAYLILY	5 GAL		2'-3'	2'-3'
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.
GROUND COVERS							
	ROCK	4,414,459	2" - 6" COLORADO ROSE ROCK MULCH INSTALLED AT A MINIMUM DEPTH OF 3" OVER WEED BARRIER FABRIC. SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	ROCK MULCH	4" DEPTH	YES	PIONEER SAND
	ROCK B	4,310 SF	2"-4" DESERT SAND RIVER	ROCK MULCH	4" DEPTH	YES	C&C SAND
	SEED	2,163 SF	PBSI NATIVE LAWN MIX 50% BUFFALOGRASS, 50% BLUE GRAMA	SEED			PAWNEE BUTTES SEED
			NATURAL GRASS TO REMAIN				



CONSTRUCTION DOCUMENTS

LANDSCAPE PLAN

SITE ID 51052

SITE ADDRESS 291 EBY CREEK ROAD, EAGLE, CO 81631 LOT 2B, BLOCK 3, EBY CREEK SUBDIVISION

PREPARED FOR: McDonald's USA, LLC

PREPARED BY: Kimley»Horn

DRAWN BY: ANF

STD ISSUE DATE: 11/26/25

REVIEWED BY: JUM

DATE ISSUED: 11/26/25

DESCRIPTION

LANDSCAPE PLAN

SITE ID 51052

SITE ADDRESS 291 EBY CREEK ROAD, EAGLE, CO 81631 LOT 2B, BLOCK 3, EBY CREEK SUBDIVISION

BY:

REV. DATE

DESCRIPTION

C1.14



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE / CAL	WIDTH	HEIGHT
DECIDUOUS TREES							
	PT	4	POPULUS TREMULOIDES QUAKING ASPEN	B & B	3" CAL MIN	10'-30'	20'-50'
ORNAMENTAL TREES							
	MS	9	MALUS X 'SPRING SNOW' SPRING SNOW CRABAPPLE	B & B	3" CAL MIN	10'-25'	18'-20'
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE/WTR USE	SPACING	WIDTH	HEIGHT
DECIDUOUS SHRUBS							
	AU	4	AMELANCHIER UTAHENSIS UTAH SERVICEBERRY	5 GAL		10'-15'	10'-15'
	EF	10	EUONYMUS FORTUNEI WINTERCREEPER	5 GAL		4'-6'	3'-5'
	RG	2	RHUS GLABRA SMOOTH SUMAC	5 GAL		10'-15'	10'-15'
	SA	9	SYMPHORICARPOS ALBUS COMMON SNOWBERRY	5 GAL		3'-6'	3'-6'
PERENNIALS							
	CR	20	COREOPSIS X 'BALUPTeam' UPTICK™ CREAM TICKSEED	5 GAL		1'-2'	1'-2'
	HA	23	HEMEROCALLIS X 'APPLE TART' APPLE TART DAYLILY	5 GAL		2'-3'	2'-3'
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.
GROUND COVERS							
	ROCK	4,414,459	2" - 6" COLORADO ROSE ROCK MULCH INSTALLED AT A MINIMUM DEPTH OF 3" OVER WEED BARRIER FABRIC. SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	ROCK MULCH	4" DEPTH	YES	PIONEER SAND
	ROCK B	4,310 SF	2"-4" DESERT SAND RIVER	ROCK MULCH	4" DEPTH	YES	C&C SAND
	SEED	2,163 SF	PBSI NATIVE LAWN MIX 50% BUFFALOGRASS, 50% BLUE GRAMA	SEED			PAWNEE BUTTES SEED
			NATURAL GRASS TO REMAIN				

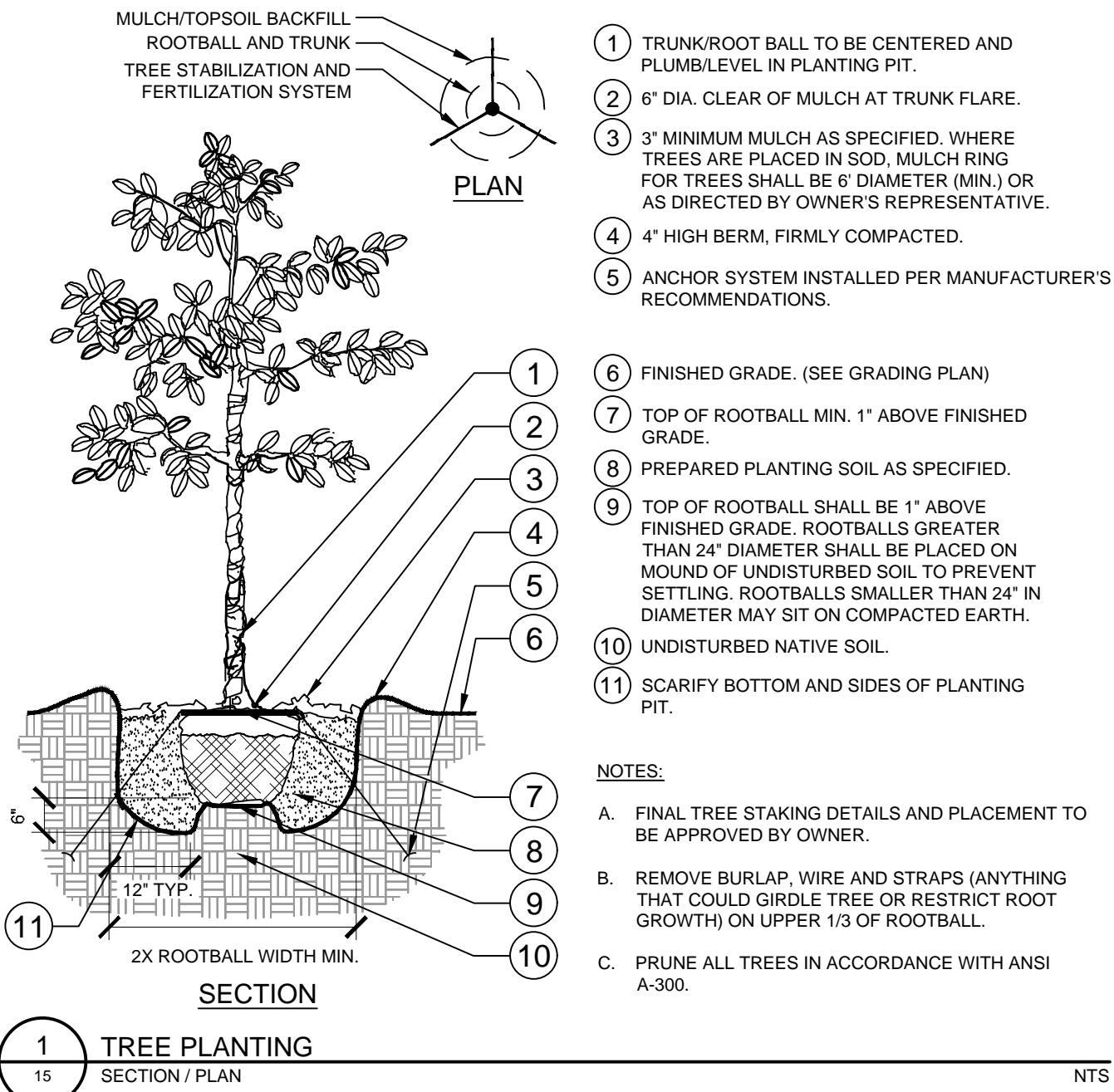
LANDSCAPE SETBACKS AND BUFFERS

STREET NAME OR BOUNDARY:	I-70
ZONE DISTRICT BOUNDARY:	NO
STREET CLASSIFICATION:	FREEWAY
SETBACK DEPTH REQUIRED / PROVIDED:	15'/15'
LINEAR FOOTAGE:	338'
TREE PER FEET REQ.:	1 TREE PER 25 LF
NUMBER OF TREES REQ. / PROV.	14/14 (3 EXISTING)
EVERGREEN TREES REQ. / PROV.	N/A
SHRUB SUBSTITUTES REQ. / PROV.	N/A
ORN. GRASS SUBSTITUTES REQ. / PROV.	N/A
OPAQUE SCREEN REQ. / PROV.	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	IT
% GROUND PLANE VEG. REQ. / PROV.	50% / 50%

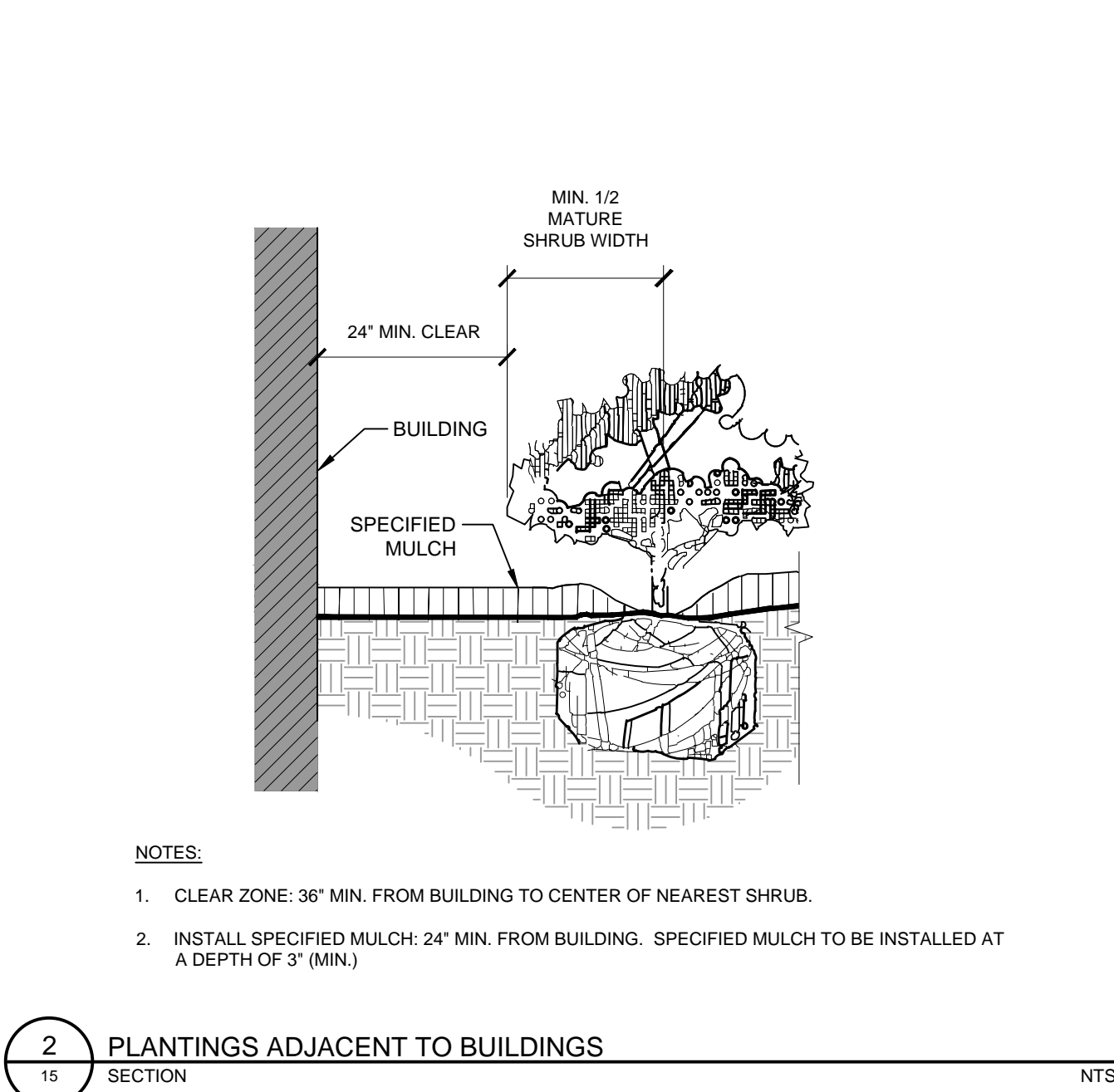
IMPERVIOUS SURFACE: 30,319 SF (65% OF SITE)

PARKING LOT LANDSCAPING

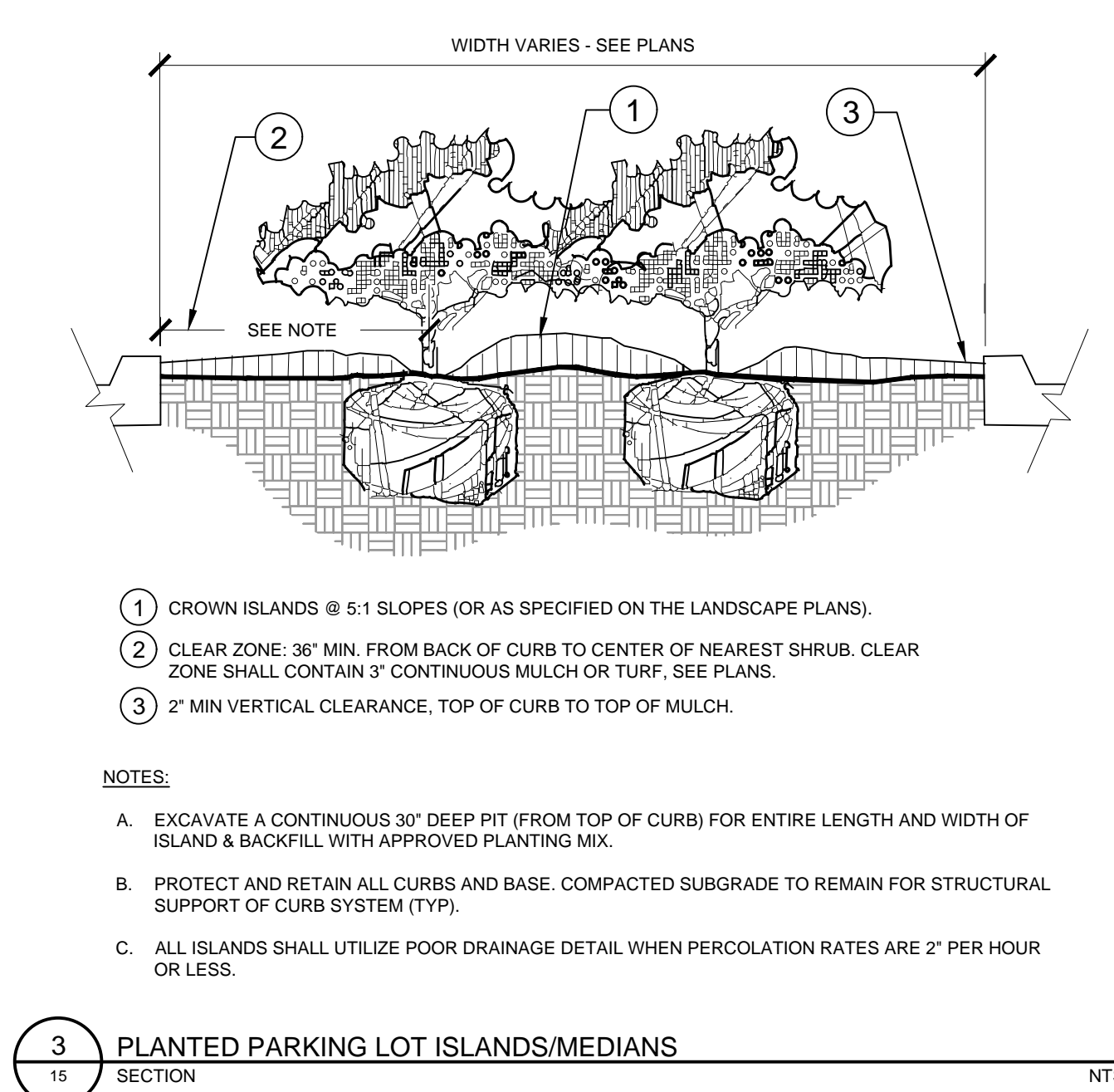
NUMBER OF VEHICLE SPACES PROVIDED:	34		
SHADE TREES REQUIRED:	1 TREE PER 10 STALLS		
SHADE TREES REQ. / PROV.:	3		
PARKING LOT FRONTAGES:	NORTH	EAST	WEST
LENGTH OF FRONTAGE:	140'	120'	159'
SETBACK DEPTH REQUIRED/PROVIDED	5'/5'	5'/5'	5'/5'
LENGTH OF SCREENING PLANTS PROV.:	140'	120'	159'
LENGTH OF BERM OR FENCE REQ. / PROV.:	N/A	N/A	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	PL		



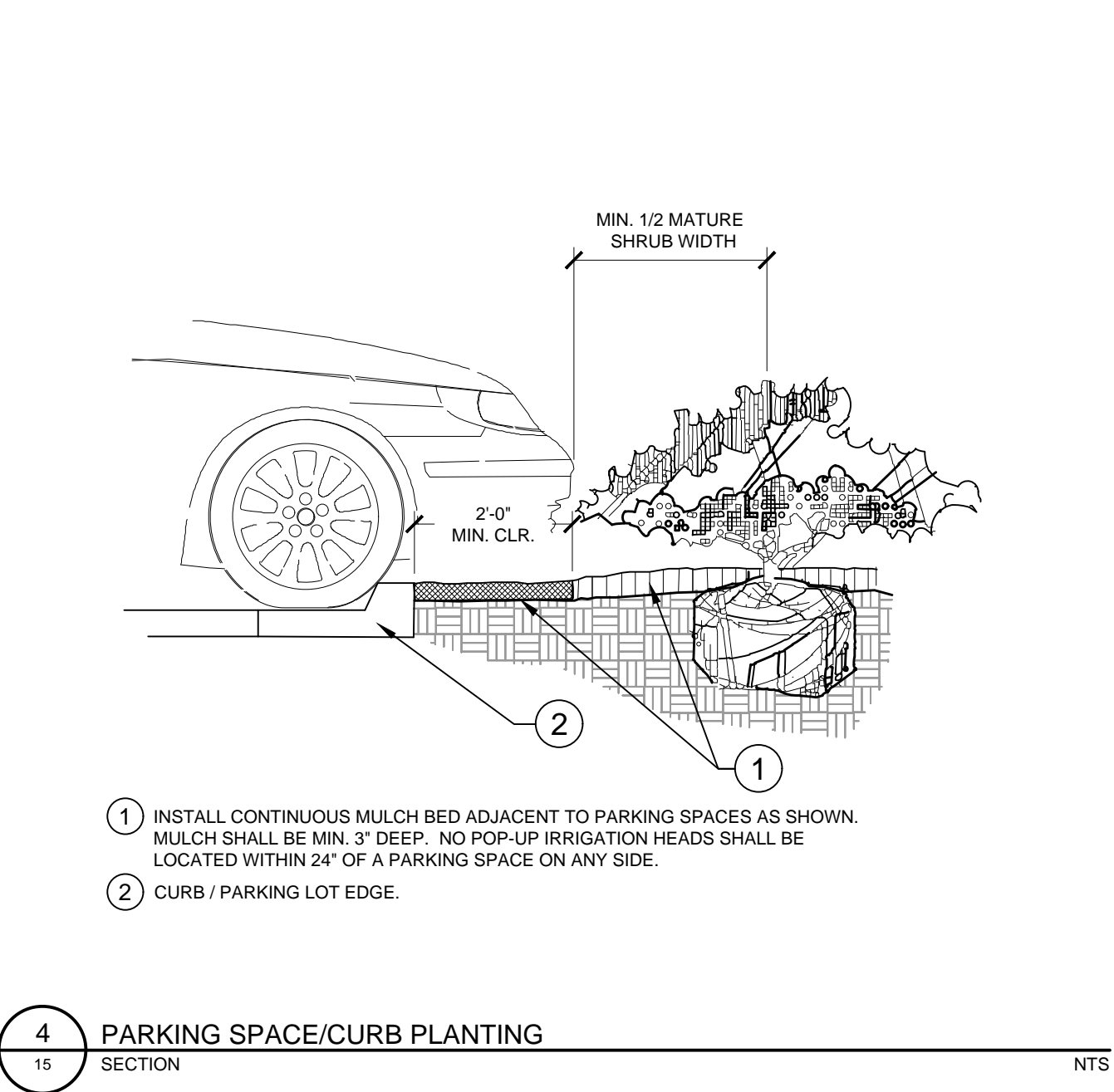
1 TREE PLANTING  
15 SECTION / PLAN NTS



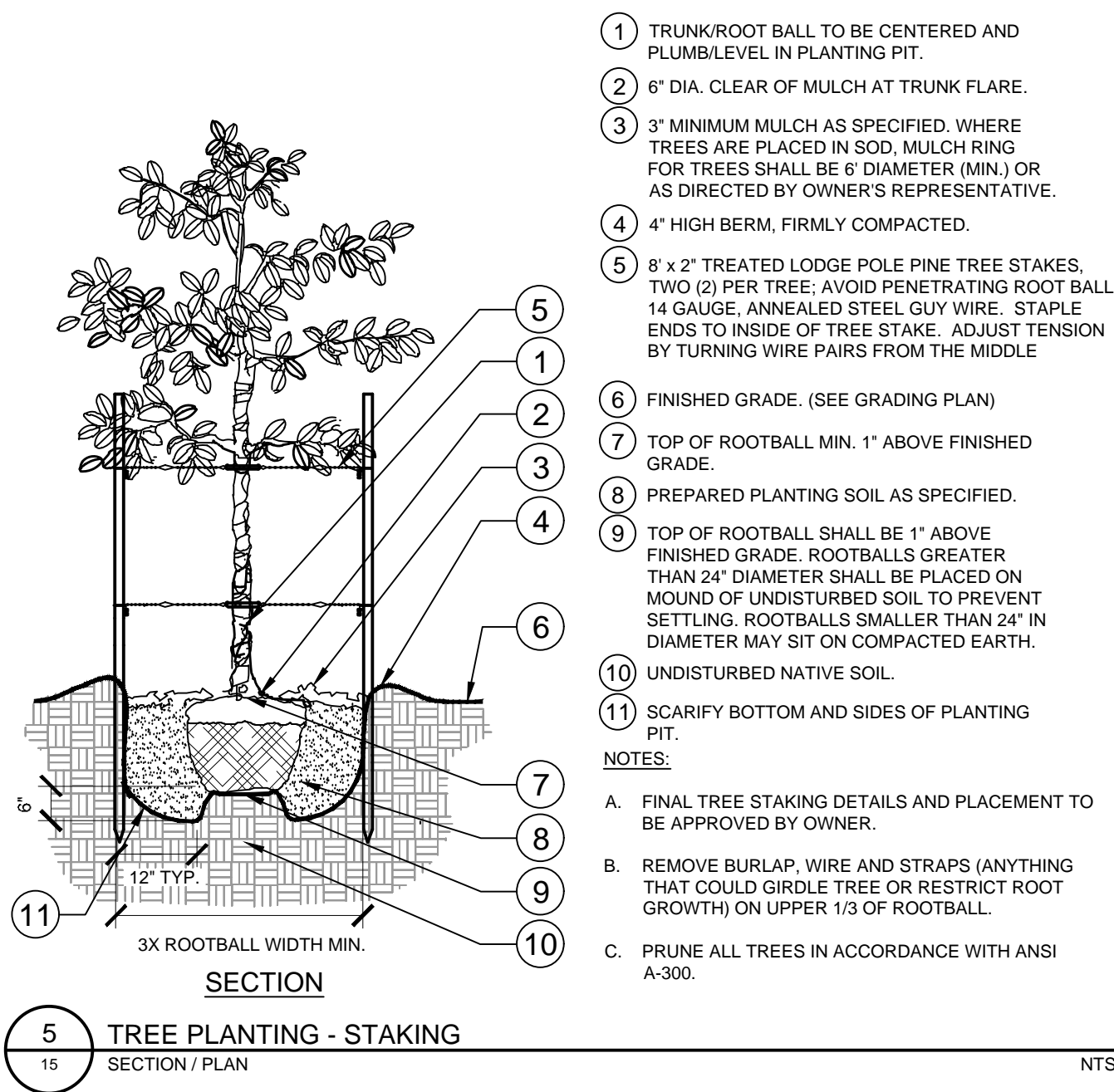
2 PLANTINGS ADJACENT TO BUILDINGS  
15 SECTION NTS



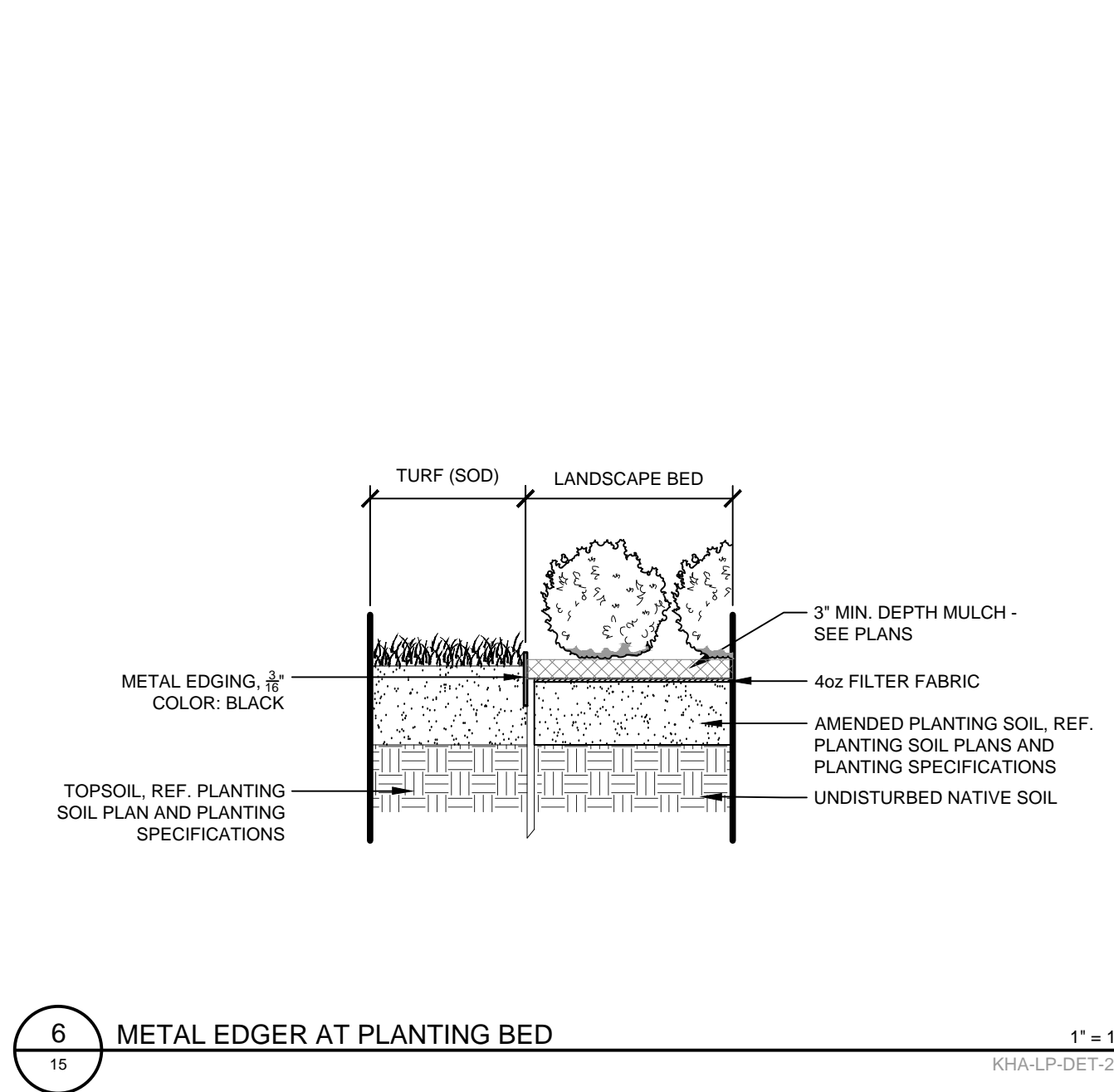
3 PLANTED PARKING LOT ISLANDS/MEDIANS  
15 SECTION NTS



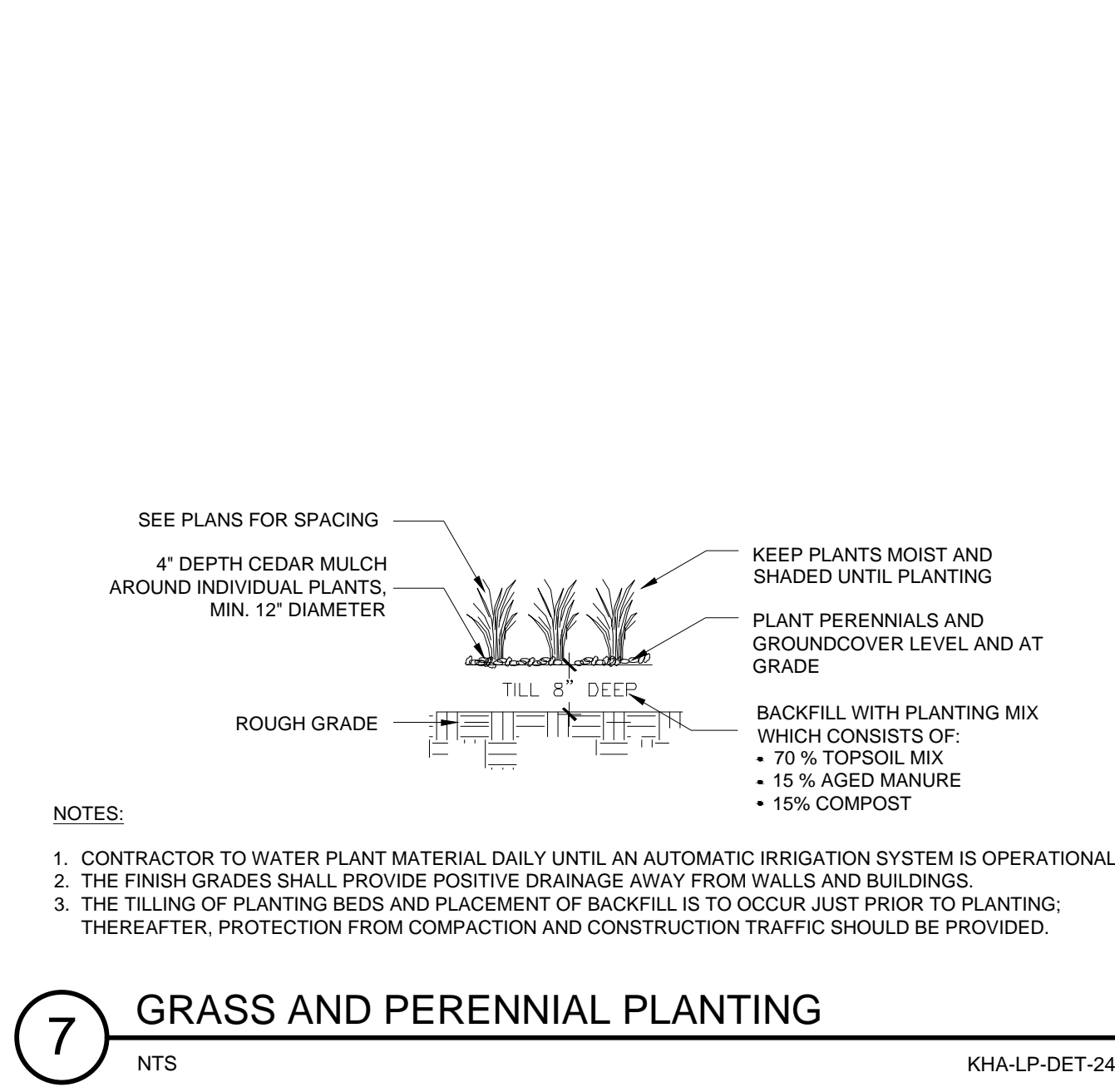
4 PARKING SPACE/CURB PLANTING  
15 SECTION NTS



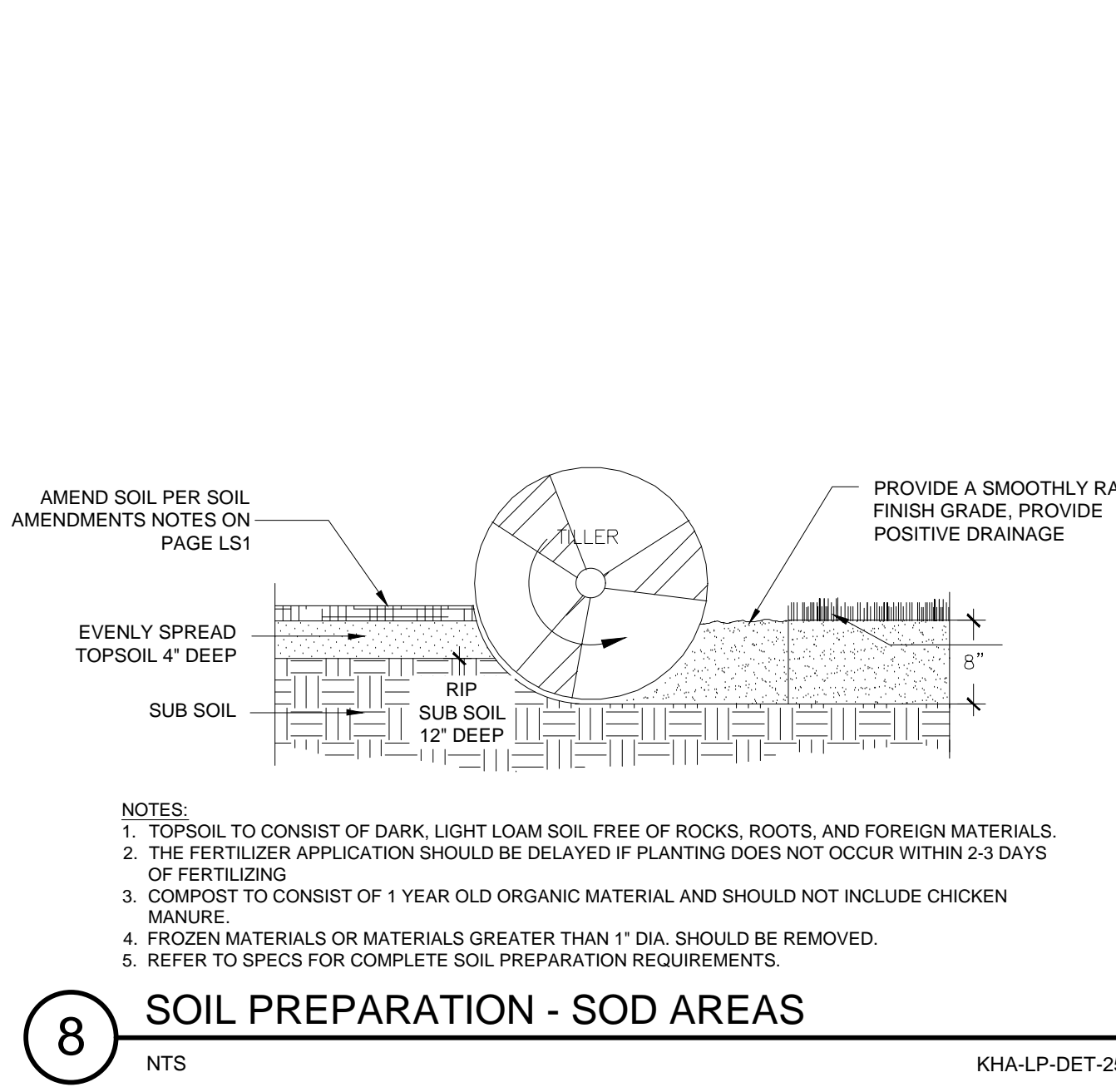
5 TREE PLANTING - STAKING  
15 SECTION / PLAN NTS



6 METAL EDGER AT PLANTING BED  
15 SECTION NTS



7 GRASS AND PERENNIAL PLANTING  
15 SECTION NTS



8 SOIL PREPARATION - SOD AREAS  
15 SECTION NTS



THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE (CRZ) OF ANY PROTECTED TREE SUBJECT TO THE PROVISIONS OF THE TREE PRESERVATION ORDINANCE. THE FOLLOWING PROCEDURES SHALL BE FOLLOWED ON ALL TYPES OF CONSTRUCTION PROJECTS (INCLUDING RESIDENTIAL, COMMERCIAL, AND MUNICIPAL / PUBLIC DOMAIN PROJECTS).

- THE FOLLOWING PROCEDURES SHALL BE FOLLOWED FOR ALL TYPES OF CONSTRUCTION.

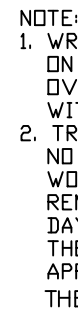
- 
- PLAN VIEW**
- PROTECTION FENCING
- DRIPLINE
- AREAS FOR TRENCHING
- ACCESS PIT
- BORE UNDER TREE AT LEAST 36" DEEP
- ELEVATION VIEW**
- DRYLINE
- TREE TRUNK DIAMETER IN INCHES BE MEASURED AT 4.5' FROM GROUND
- ACCESS PITS SHALL BE LOCATED D/2
- DIAMETER @ 4.5' FROM GROUND
- EXISTING GROUND
- ACCESS PIT
- ROOTS
- BORE HOLE Ø 3" DEPTH MIN.
- AREA FOR TRENCHING
- REQUIRED INSTALLATION IF IRRIGATION TRENCHES REQUIRED WITHIN DRIPLINE.

- EXISTING TREE PROTECTION/TRENCHING DETAIL  
Diagrammatic Not To Scale



PRIOR TO CONSTRUCTION

**(D) TYPICAL FENCING TREE PROTECTION DETAIL**  
Diagrammatic Not To Scale

Elevation

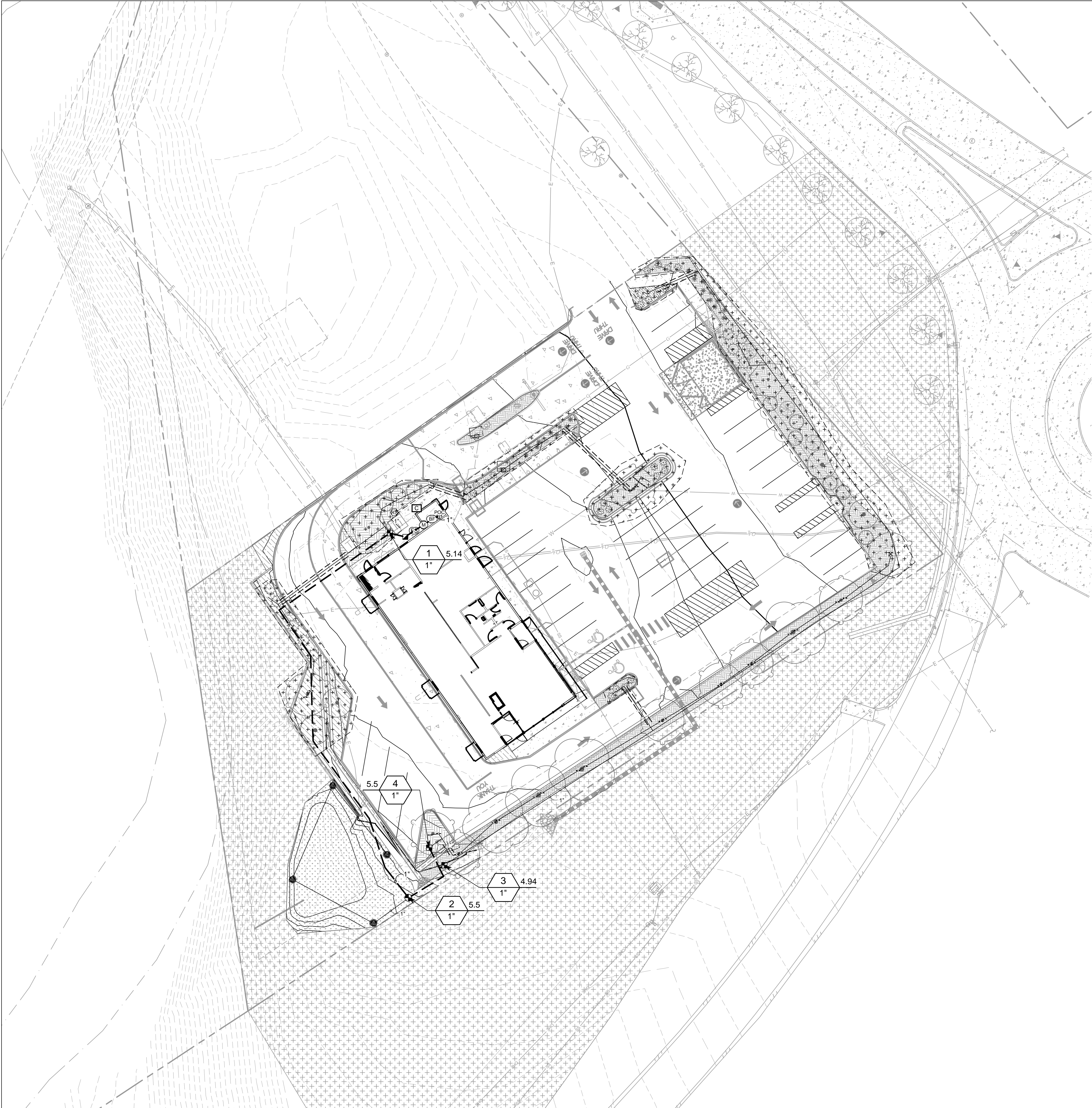
(D) TYPICAL BARK PROTECTION DETAIL  
Diagrammatic Not To Scale



**C1.16**

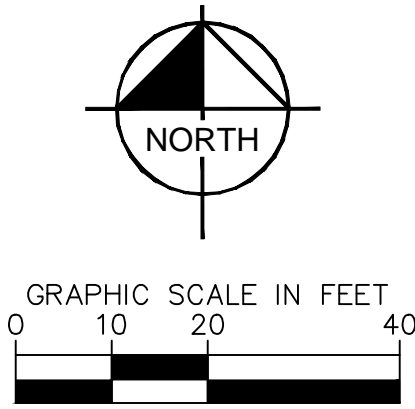
GENERAL LANDSCAPE 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	RAIN BIRD RWS-M-B-C W/ RWS-SOCK 1400 SERIES MINI ROOT WATERING SYSTEM WITH 4IN. DIAMETER X 18IN. LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE AND RAIN BIRD 1401 0.25 GPM OR 1402 0.5 GPM BUBBLER AS INDICATED. WITH CHECK VALVE, AND SAND SOCK FOR SANDY SOIL.	24	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD KCZ-100-PRB-COM WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS, 1IN. BALL VALVE WITH 1IN. PESB VALVE AND 1IN. PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER, 5 GPM-20 GPM.	3	
	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS WITH SELF-PIERCING BARB INLET. FLOW RATE: 5 GPH=LIGHT BROWN; 7 GPH=VIOLET; 10 GPH=GREEN; 12 GPH=DARK BROWN; 16 GPH=WHITE; 24 GPH=ORANGE. Emitter Notes: PC-05 emitters (2 assigned to each 5 GAL plant)	5,687 SF	136
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD PEB 1IN., 1-1/2IN., 2IN. PLASTIC INDUSTRIAL REMOTE CONTROL VALVE. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	1	
	RAIN BIRD 44-LRC 1IN. BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	1	
	RAIN BIRD PGA-PRS-D GLOBE 1" 1IN., 1-1/2IN., 2IN. ELECTRIC MASTER VALVE, GLOBE. WITH PRESSURE REGULATOR MODULE.	1	
	WATTS LF909 1" LEAD FREE REDUCED PRESSURE BACKFLOW PREVENTER.	1	
	RAIN BIRD ESPLXME2-LXMM-LXMMPED 12 STATION, TRADITIONALLY-WIRED, COMMERCIAL CONTROLLER. INDOOR/OUTDOOR, PLASTIC WALL-MOUNT ENCLOSURE. INSTALL IN LXMM-LXMMPED POWDER COATED, METAL WALL-MOUNTED CABINET. W/ PEDESTAL.	1	
	RAIN BIRD WR2-RFS WIRELESS RAIN/FREEZE SENSOR.	1	
	RAIN BIRD FG100 1IN. FG100 FLOW SENSORS W/ NPT UNION FITTINGS. OPERATING RANGE 11.4 LPM-94.6 LPM. SIZE FOR FLOW NOT ACCORDING TO PIPE SIZE. NO STRAIGHT PIPE REQUIREMENTS.	1	
	POINT OF CONNECTION 3/4"	1	
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE. ONLY LATERAL TRANSITION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.	1,034 LF	
	IRRIGATION MAINLINE: PVC SCHEDULE 40	242.3 LF	
	PIPE SLEEVE: PVC SCHEDULE 40	118.1 LF	
	Valve Callout Valve Number Valve Flow Valve Size		



TITLE

CONSTRUCTION DOCUMENTS

DESCRIPTION

IRRIGATION PLAN

SITE ID

51052

SITE ADDRESS

291 SBY CREEK ROAD, EAGLE, CO 81631  
LOT 29, BLOCK 3, 1ST GREEN SUBDIVISION

PREPARED FOR:

McDonald's USA, LLC

DRAWN BY:

ANF

STD

ISSUE

DATE

11/26/25

REVIEWED BY:

JJM

DATE

ISSUED

11/26/25

BY:

REV

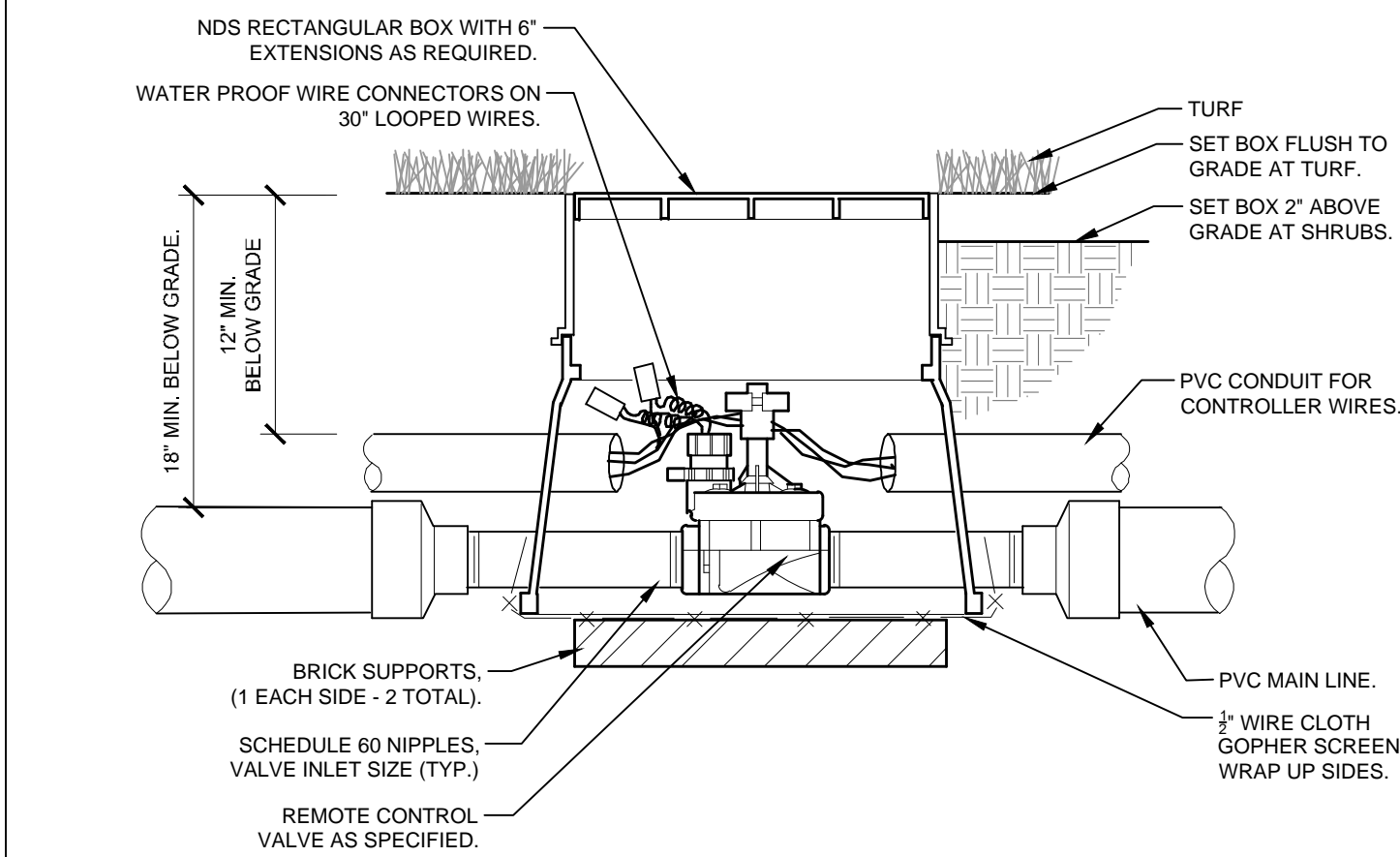
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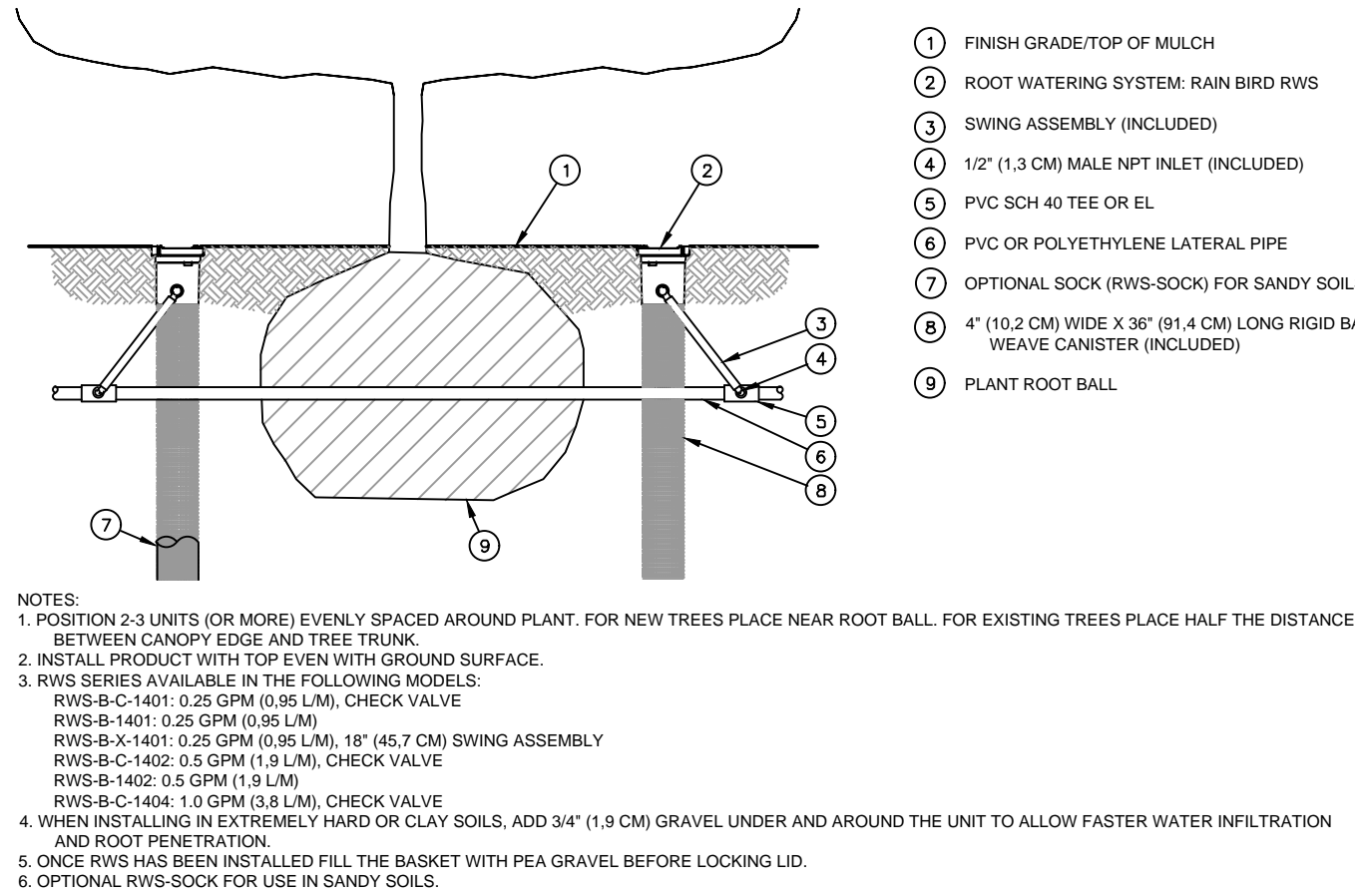
Kimley»Horn

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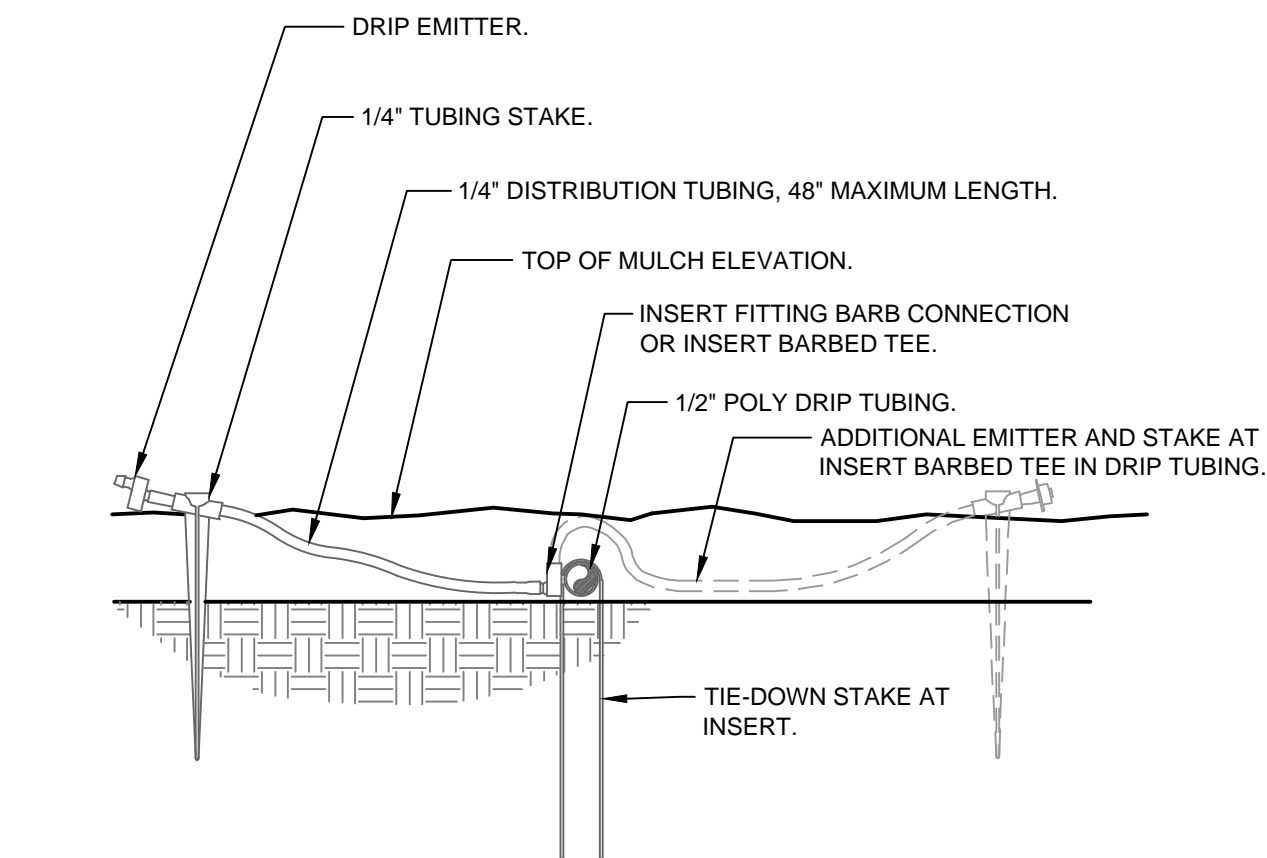




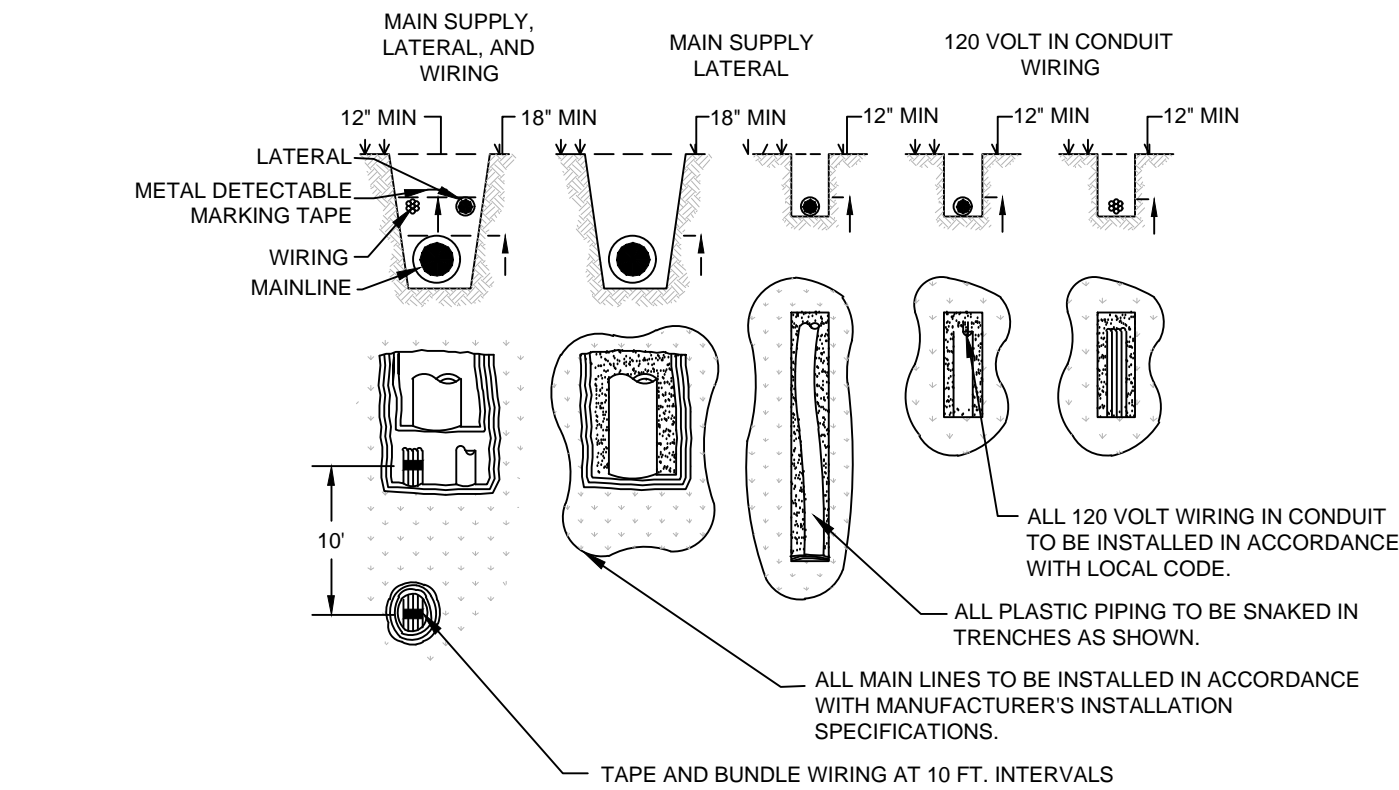
1  
5 SECTION  
REMOTE CONTROL VALVE  
NTS



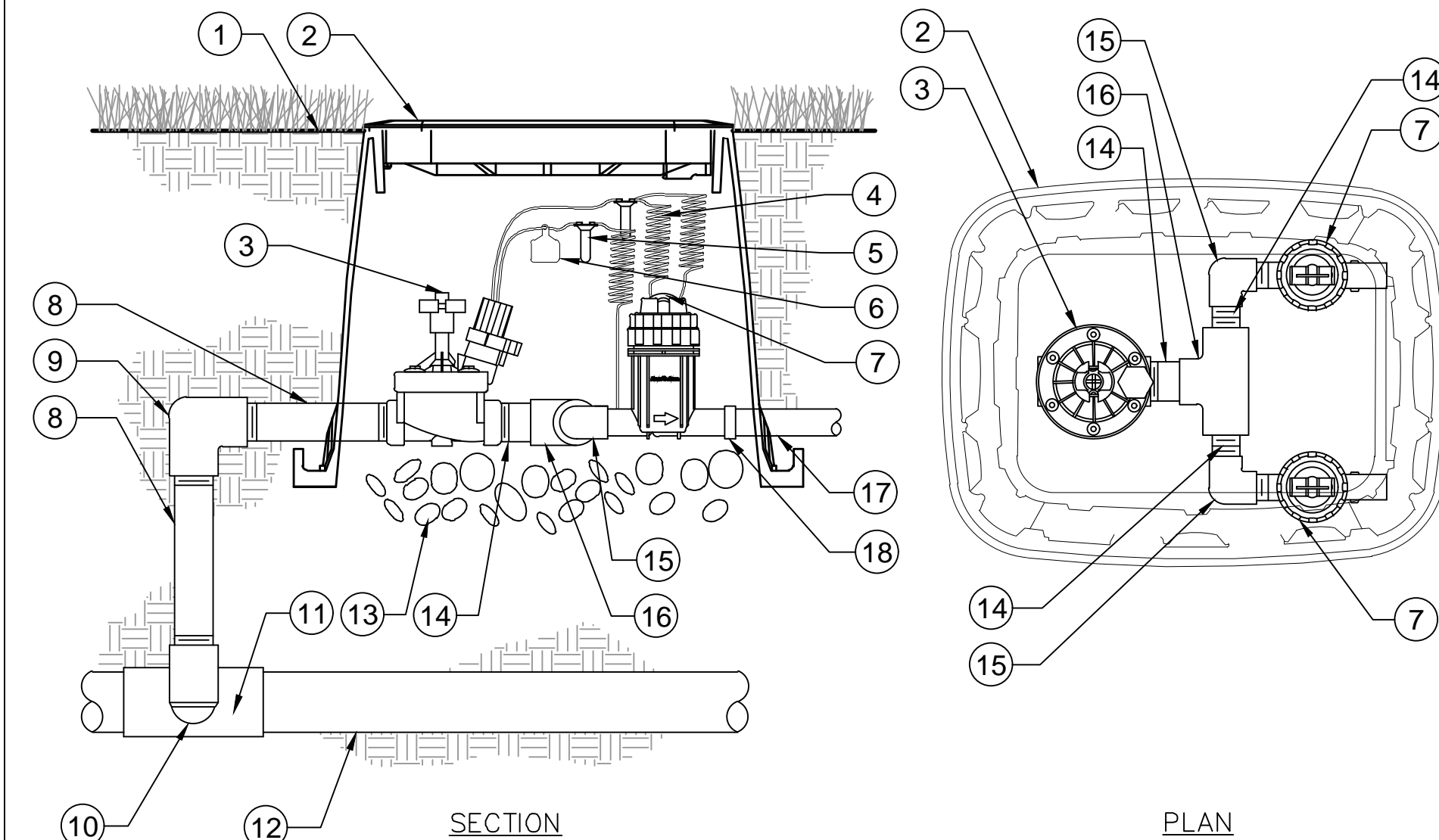
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5 SECTION  
ROOT WATERING SYSTEM  
NTS



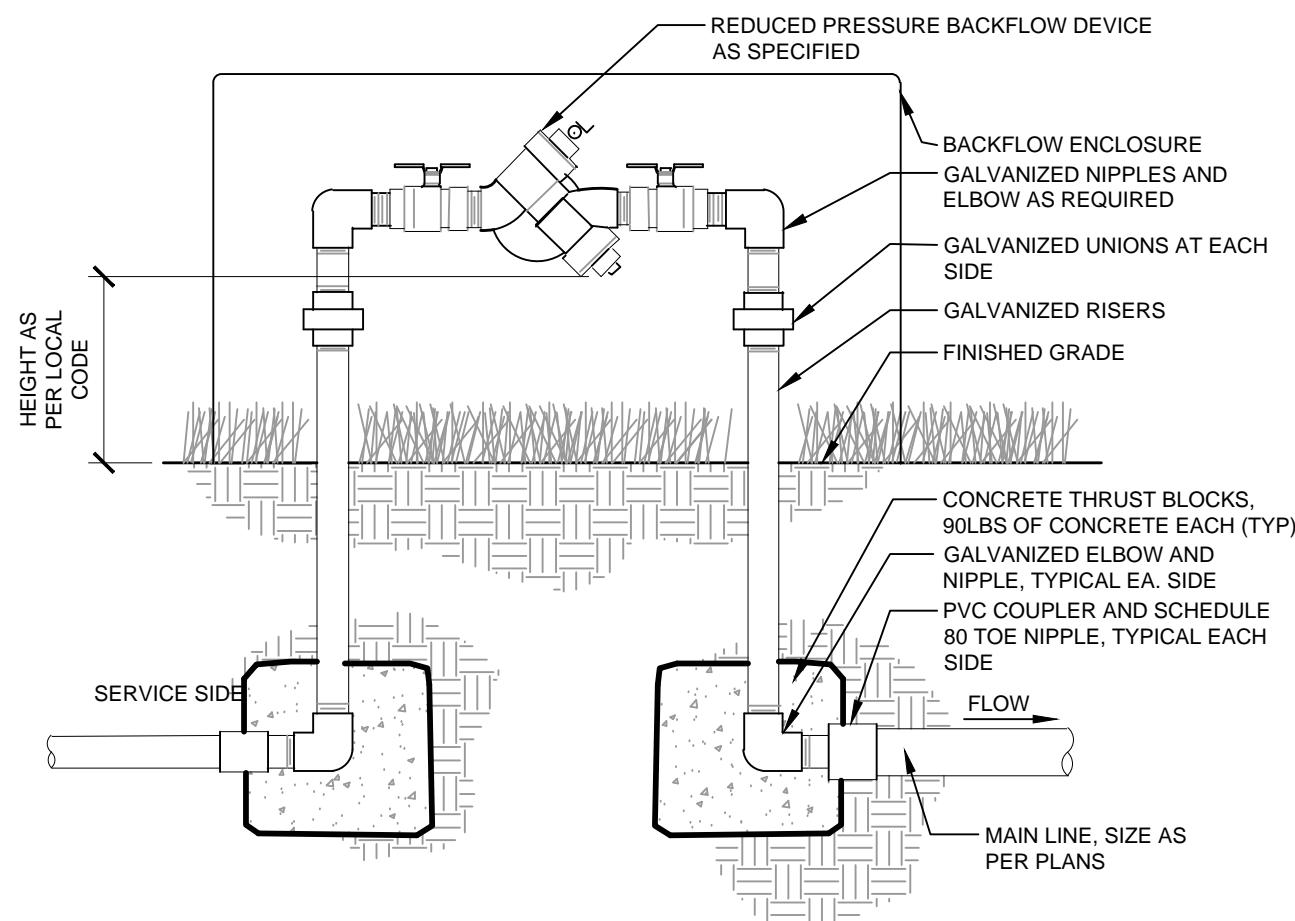
3  
5 SECTION  
DRIP EMITTER AT 1/4" TUBING  
3" = 1'-0" NTS



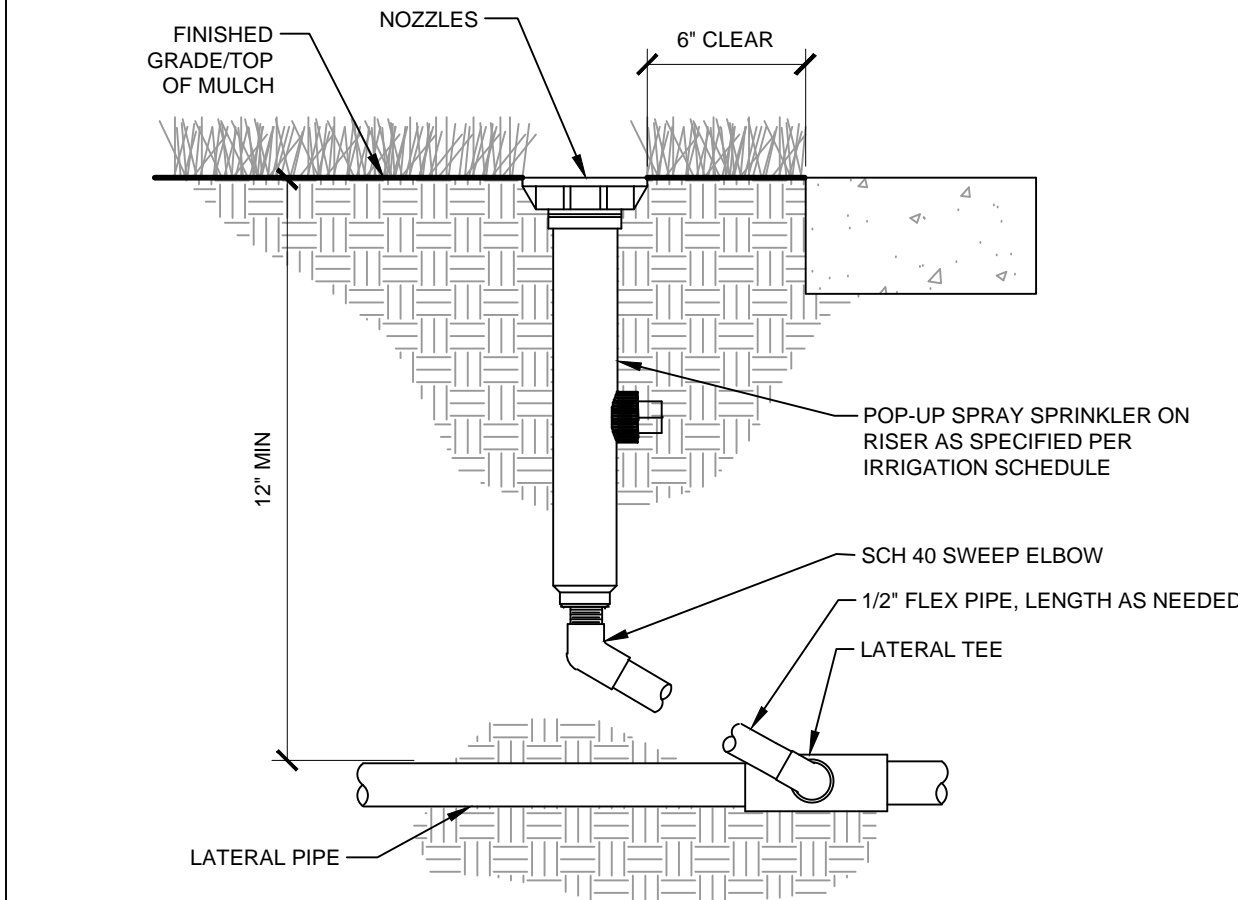
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TYPICAL TRENCHING  
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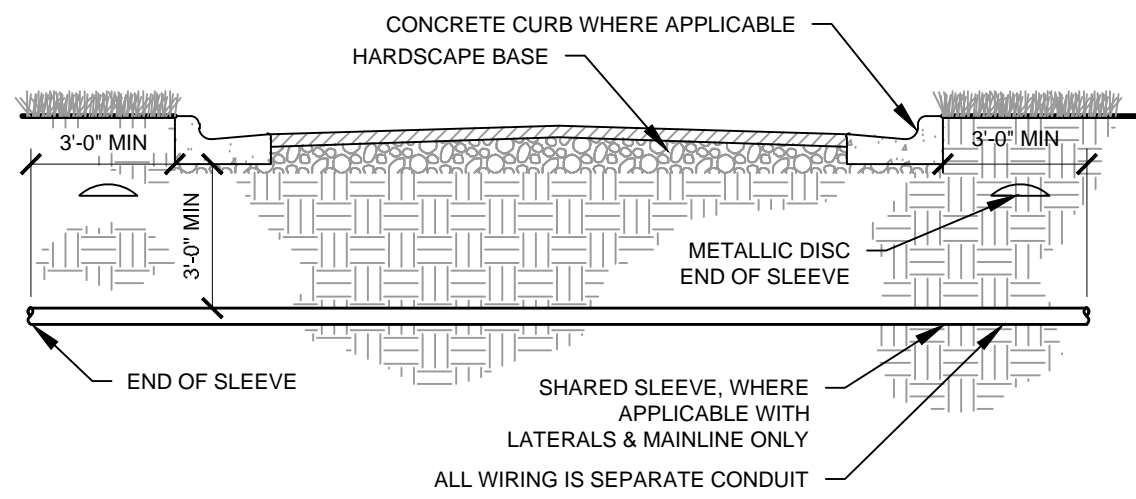
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5 SECTION  
BACKFLOW PREVENTER  
NTS



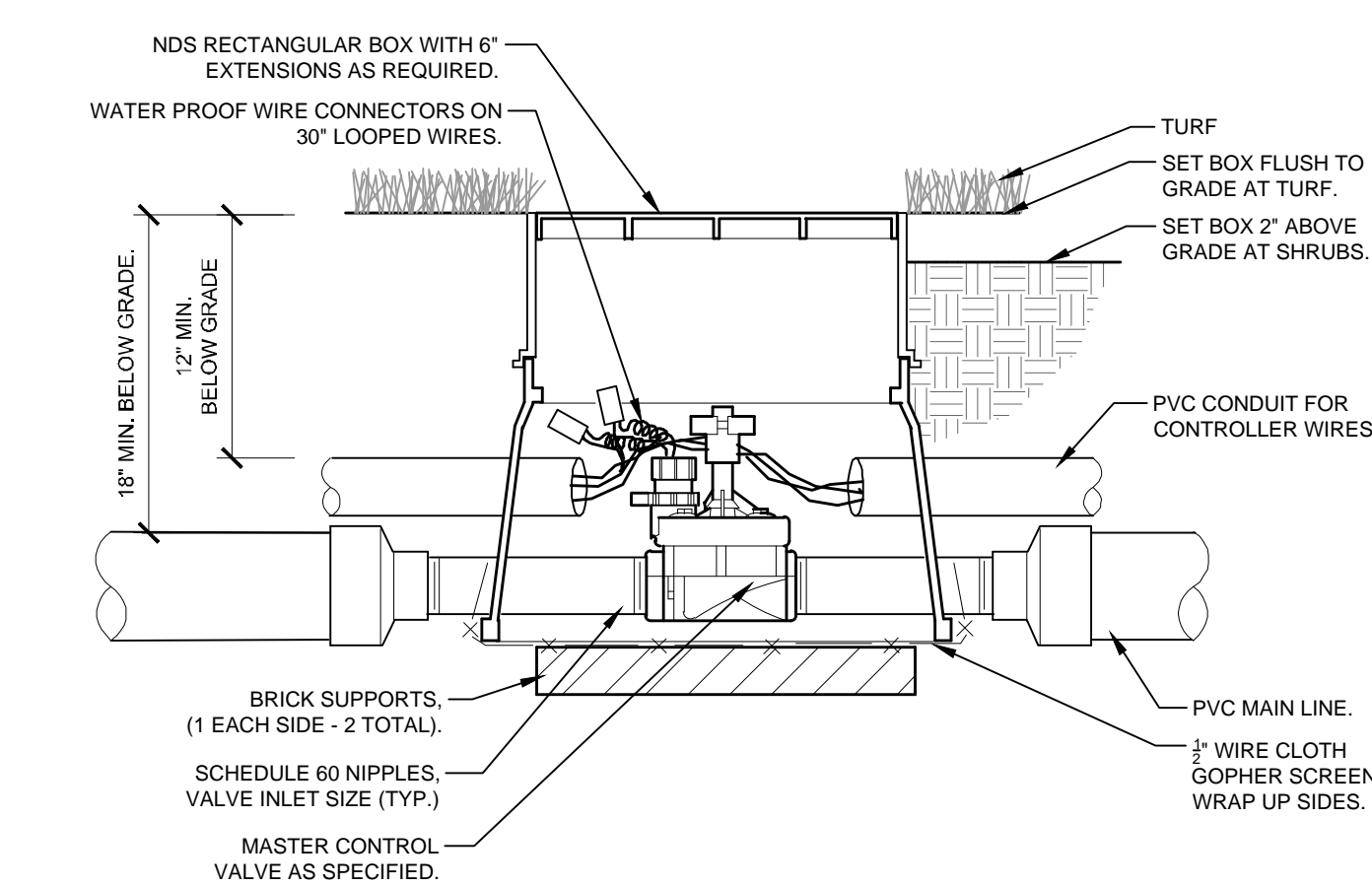
6  
5 SECTION  
TYPICAL QUICK COUPLER  
NTS



7  
5 SECTION  
TYPICAL SPRAY / ROTAR HEAD  
NTS



8  
5 SECTION  
TYPICAL SLEEVING  
NTS



9  
5 SECTION  
MASTER CONTROL VALVE  
NTS

C1.19	TITLE	CONSTRUCTION DOCUMENTS		DRAWN BY ANF	PREPARED FOR:	McDonald's USA, LLC	PREPARED BY:	Kimley»Horn	REV	DATE	DESCRIPTION	BY
	DESCRIPTION		STD ISSUE DATE 11/26/25	These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared and issued for the use of the project and are not to be used for any other project. The drawings are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the approval of the engineer of record. The contract documents for the project are not to be used for any other project. The contract documents for reuse on another project is not authorized.								
	IRRIGATION NOTES		REVIEWED BY JMM									
			DATE ISSUED 11/26/25									
	SITE ID		SITE ADDRESS									
	51052	EAGLE, CO. 81631 LOT 20, BLOCK 3, 1ST GREEN SUBDIVISION										

Kimley»Horn

McDonald's USA, LLC  
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CONSTRUCTION DOCUMENTS  
IRRIGATION NOTES  
SITE ID: 51052  
SITE ADDRESS: 291 5TH AVE, EAGLE, CO. 81631  
LOT 20, BLOCK 3, 1ST GREEN SUBDIVISION







GENERAL IRRIGATION SPECIFICATIONS AND NOTES

1.

PROJECT DESIGNED WITH AN ASSUMED STATIC PRESSURE OF 80. CONTRACTOR TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AVAILABLE WATER PRESSURE IS LOWER THAN THE AS-DESIGNED PRESSURE FOUND IN THE CRITICAL ANALYSIS. CRITICAL ANALYSIS FOR EACH POC / METER CAN BE FOUND IN THIS PLAN SET.
2.

THE SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE. ANY CHANGES MADE IN THE LAYOUT DUE TO FIELD CONDITIONS SHALL BE IN ACCORDANCE WITH THESE STANDARDS. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK. THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
3.

THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
4.

ALL CONSTRUCTION SHALL CONFORM TO TOWN, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
5.

VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS-CONTRACTOR SHALL FIELD VERIFY.
6.

CONTRACTOR TO FIELD VERIFY ALL POINT OF CONNECTION SOURCE INFORMATION INCLUDING PSI AND GPM PRIOR TO CONSTRUCTION.
7.

IRRIGATION DESIGN IS SCHEMATIC ONLY. FULL AND COMPLETE SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW BY THE OWNER'S REPRESENTATIVE.
8.

CONTRACTOR SHALL COORDINATE WITH THE PLANTING PLAN FOR PLANTER BED AND TREE LOCATIONS TO ENSURE ALL PLANT MATERIAL IS COVERED BY 100% HEAD-TO-HEAD IRRIGATION.
9.

CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT.
10.

IRRIGATION CONTRACTOR TO COORDINATE POWER SUPPLY TO ELECTRIC CONTROLLERS WITH ELECTRICAL CONTRACTOR.
11.

IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF OPERATIONS ON-SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR. WORK IN THE R.O.W. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE JURISDICTION.
12.

IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
13.

LOCATE ALL IRRIGATION LINES WITHIN LANDSCAPED AREAS WHENEVER POSSIBLE. ALL LINES UNDER PAVEMENT MUST BE SLEEVED. ALL VALVES SHALL BE LOCATED WITHIN LANDSCAPED AREAS, AS SPECIFIED.
14.

IRRIGATION SYSTEMS CONNECTED TO A POTABLE WATER SUPPLY SHALL HAVE A REDUCED PRESSURE ZONE BACKFLOW PREVENTER INSTALLED.
15.

SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER METER.
16.

INSTALL ALL BACKFLOW PREVENTION DEVICES AND ALL PIPING BETWEEN THE POINT OF CONNECTION AND THE BACKFLOW PREVENTER AS PER LOCAL CODES. FINAL LOCATION SHALL BE DETERMINED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
17.

CONTRACTOR TO COORDINATE LOCATION OF ALL METERS AND BACKFLOW ASSEMBLIES WITH PROJECT OWNER.
18.

THE IRRIGATION CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR SLEEVING AND DIRECTIONAL BORES.
19.

EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE. EXAMPLE: A 12" CALIPER TREE HAS A CRITICAL ROOT ZONE THAT EXTENDS 12 FEET FROM THE BASE OF THE TRUNK.
20.

ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR WHETHER INSTALLED BY THE IRRIGATION CONTRACTOR OR NOT, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE, TO THE NEAREST FOOT OF EACH END OF THE SLEEVE SHALL BE NOTED AT EACH SLEEVE LOCATION ON THE "AS-BUILT" DRAWINGS. ALL SLEEVES ON PLAN FOR WALL PENETRATIONS AND UNDER SIDEWALKS SHALL BE SIZED TWO PIPE SIZES GREATER THAN THE PIPE IT CARRIES. ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
21.

ALL PRESSURIZED MAINLINES AND LATERALS UNDER PAVEMENT SHALL BE WITHIN SLEEVES AS NOTED. WHERE ELECTRIC OR HYDRAULIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT.
22.

SLEEVES UNDER EXISTING PAVEMENT MUST BE DIRECTIONAL BORE. OPEN CUT IS NOT AN OPTION.
23.

NUMBER THE TOP OF ALL VALVE BOX LIDS WITH MINIMUM 1" HEIGHT BLACK LETTERS TO CORRESPOND TO AUTOMATIC AND GATE VALVE DESIGNATIONS. ALL QUICK COUPLER VALVE BOXES SHALL BE LABELED IN A SIMILAR MANNER WITH THE DESIGNATION "QC." LETTER OUTSIDE OF TIME CLOCK CABINETS TO CORRESPOND WITH IRRIGATION CLOCK PROGRAM DESIGNATION.
24.

THE IRRIGATION CONTRACTOR SHALL INSTALL A COLOR CODED METAL DETECTABLE MARKING TAPE WHICH CLEARLY NOTES "CAUTION: IRRIGATION LINE BURIED BELOW." THE TAPE SHALL BE INSTALLED THE FULL LENGTH OF THE IRRIGATION MAINLINE.
25.

ALL VALVES AND WIRE SPICES SHALL BE LOCATED WITHIN VALVE BOXES. WIRE SPICE KITS TO BE RATED "DIRECT BURIAL" BUT STILL NEED TO BE ABOVE GROUND (INSIDE VALVE BOX).
26.

ALL UNSIZED PIPE SHALL BE 1" UNLESS OTHERWISE NOTED ON PLAN. SEE LATERAL PIPE SIZING REQUIREMENTS.
27.

LOCATE ALL VALVES IN PLANTING BEDS WITH A MINIMUM OF 3'-0" FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. PIPE SIZES ON EITHER SIDE OF SECTION VALVES CONNECTING MAINLINE TO SECTION LATERAL SHALL BE ONE (1) PIPE SIZE LARGER THAN VALVE SIZE. WHERE MAINLINES RUN PARALLEL TO PAVEMENT OR CURBING, THE MAINLINE SHALL BE OFFSET 2'-0" FROM THE EDGE OF PAVEMENT OR CURB.
28.

IRRIGATION ZONES SHALL BE SEPARATED FOR HIGH AND LOW WATER USE REQUIREMENTS AND OPERATED ON DIFFERENT WATERING CYCLES. BUBBLERS, DRIPLINE, AND SPRAY HEADS SHALL BE SEPARATED ON DIFFERENT VALVES.
29.

ALL DRIP ZONES SHALL BE INSTALLED WITH A FLUSH VALVE AND DRIP INDICATOR.
30.

IRRIGATION CONTRACTOR TO COORDINATE WITH OWNER FOR FINAL CONTROLLER AND RAIN SENSOR LOCATIONS. THE CONTROLLER SHALL BE PLACED IN A LOCKING CABINET APPROPRIATE FOR ITS LOCATION. (INDOOR VS. OUTDOOR USE)
31.

IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
32.

LOCATE THE AUTOMATIC RAIN / FREEZE SENSOR SHUTOFF DEVICE IN AN AREA THAT IS UNOBSTRUCTED BY TREES, ROOF OVERHANGS, OR ANY OTHER OVERHEAD OBJECT. THE SENSOR SHALL NOT BE PLACED WITHIN THE SPRAY ZONE OF ANY SPRINKLER HEAD, INCLUDING OFF-SITE IRRIGATION. CONTRACTOR SHALL LOCATE SENSOR WITHIN CLOSE PROXIMITY TO THE IRRIGATION CONTROLLER.
33.

CONTRACTOR SHALL PERFORM HYDRO-TESTING OF MAIN LINES.  
  
HYDRO-TESTING TO BE PERFORMED AS LISTED:  
  
THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FORTY-EIGHT (48) HOURS IN ADVANCE OF TESTING. PRIOR TO BACKFILLING, CONTRACTOR SHALL FILL PIPING WITH WATER. IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE, TAKING CARE TO PURGE THE AIR FROM IT. A SMALL, HIGH PRESSURE PUMP OR OTHER MEANS OF MAINTAINING A CONTINUOUS WATER SUPPLY SHALL BE CONNECTED TO THE PIPING AND SET SO AS TO MAINTAIN 125 PSI FOR TWO (2) HOURS WITHOUT INTERRUPTION. CONTRACTOR SHALL MAKE ANY NECESSARY CORRECTIONS AND RETEST THE SYSTEM UNTIL IT PASSES HYDRO-TEST.
34.

ALL WIRING FOR CONNECTION OF THE VALVES TO THE CONTROLLER SHALL FOLLOW MANUFACTURERS SPECIFICATIONS.
35.


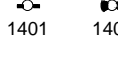

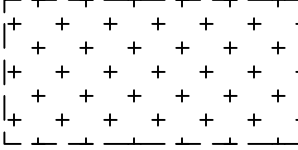







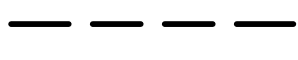


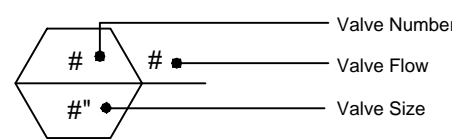
ALL CONTROL WIRE SHALL BE SLEEVED UNDER PAVEMENT. SLEEVING SIZED SO THAT WIRES CAN BE PULLED FREELY FROM EITHER SIDE OF SLEEVE.
36.

CONTRACTOR TO MINIMIZE IRRIGATION OVERTHROW TO IMPERVIOUS AND NATURAL AREAS THROUGH FIELD ADJUSTMENTS TO INDIVIDUAL HEADS.
37.

ALL UNIMPROVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR.
38.

ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	RAIN BIRD R-VAN24 1806-SAM-P45 TURF ROTARY, 17FT.-24FT. 45-270 DEGREES AND 360 DEGREES. HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6IN. POP-UP. WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2IN. NPT FEMALE THREADED INLET.	4	45
	RAIN BIRD RWVS-M-B-C W/ RWVS-SOCK 1400 SERIES MINI ROOT WATERING SYSTEM WITH 4IN. DIAMETER X 18IN. LONG WITH LOCKING GRATE. SEMI-RIGID MESH TUBE AND RAIN BIRD 1401 0.25 GPM OR 1402 0.5 GPM BUBBLER AS INDICATED. WITH CHECK VALVE, AND SAND SOCK FOR SANDY SOIL.	26	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD XCZ-100-PRB-COM WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1IN. BALL VALVE WITH 1IN. PESB VALVE AND 1IN. PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 5 GPM-20 GPM.	3	
	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS WITH SELF-PIERCING BARB INLET. FLOW RATE: 5 GPH-LIGHT BROWN; 7 GPH-VIOLET; 10 GPH-GREEN; 12 GPH-DARK BROWN; 18 GPH-WHITE; 24 GPH-ORANGE. Emitter Notes: PC-05 emitters (2 assigned to each 5 GAL plant)	5,658 SF	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD PEB 1IN. 1-1/2IN. 2IN. PLASTIC INDUSTRIAL REMOTE CONTROL VALVE. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	1	
	RAIN BIRD 44-LRC 1IN. BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	1	
	RAIN BIRD PGA-PR5-D GLOBE 1" 1IN. 1-1/2IN. 2IN. ELECTRIC MASTER VALVE, GLOBE. WITH PRESSURE REGULATOR MODULE.	1	
	FEBCO 825V 3/4" REDUCED PRESSURE BACKFLOW PREVENTER  RAIN BIRD ESPLXME2-LXMM-LXMMPED 12 STATION, TRADITIONALLY-WIRED, COMMERCIAL CONTROLLER. INDOOR/OUTDOOR. PLASTIC WALL-MOUNT ENCLOSURE. INSTALL IN LXMM-LXMMPED POWDER COATED, METAL WALL-MOUNTED CABINET. W/ PEDESTAL.	1	
	RAIN BIRD WR2-RFS WIRELESS RAIN/FREEZE SENSOR.	1	
	RAIN BIRD FG100 1IN. FG100 FLOW SENSORS W/ NPT UNION FITTINGS. OPERATING RANGE 11.4 LPM-94.6 LPM. SIZE FOR FLOW NOT ACCORDING TO PIPE SIZE. NO STRAIGHT PIPE REQUIREMENTS.	1	
	POINT OF CONNECTION 3/4"	1	
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE. ONLY LATERAL TRANSITION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.	1,077 LF	
	IRRIGATION MAINLINE: PVC SCHEDULE 40	242.2 LF	
	PIPE SLEEVE: PVC SCHEDULE 40	118.1 LF	
	Valve Callout Valve Number Valve Flow Valve Size		

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIp
1	RAIN BIRD XCZ-100-PRB-COM	1"	BUBBLER	5.14	26.6	37.3	55.6	1.33 in/h
2	RAIN BIRD PEB	1"	TURF ROTARY	5.5	214.0	47.0	67.3	0.25 in/h
3	RAIN BIRD XCZ-100-PRB-COM	1"	AREA FOR DRIP EMITTERS	4.94	236.7	38.2	58.0	1.25 in/h
4	RAIN BIRD XCZ-100-PRB-COM Common Wire	1"	BUBBLER	5.5	243.7	37.9	58.4	1.14 in/h
					242.3			

CRITICAL ANALYSIS

Generated: 2025-11-24 12:59

P.O.C. NUMBER: 01  
Water Source Information:

FLOW AVAILABLE  
Point of Connection Size: 3/4"  
Flow Available 12.06 GPM

PRESSURE AVAILABLE  
Static Pressure at POC: 80 PSI  
Pressure Available:80 PSI

DESIGN ANALYSIS  
Maximum Station Flow: 5.5 GPM  
Flow Available at POC: 12.06 GPM  
Residual Flow Available: 6.56 GPM

Critical Station: 2  
Design Pressure: 45 PSI  
Friction Loss: 0.26 PSI  
Fittings Loss: 0.03 PSI  
Elevation Loss: 0 PSI  
Loss through Valve: 1.71 PSI  
Pressure Req. at Critical Station: 47.0 PSI  
Loss for Fittings: 0.18 PSI  
Loss for Main Line:1.79 PSI  
Loss for POC to Valve Elevation: 0 PSI  
Loss for Backflow: 11.8 PSI  
Loss for Master Valve: 5.54 PSI  
Critical Station Pressure at POC: 66.3 PSI  
Pressure Available:80 PSI  
Residual Pressure Available: 13.7 PSI

TITLE

CONSTRUCTION DOCUMENTS

DESCRIPTION

IRRIGATION DETAILS

SITE ID

51052

DRAWN BY

ANF

STD ISSUE DATE

11/26/25

REVIEWED BY

JJM

DATE ISSUED

11/26/25

SITE ADDRESS

291 BRY CREEK ROAD, EAGLE COUNTRY, CO 81631  
LOT 201, BLOCK 3, 1ST GREEN SUBDIVISION

PREPARED FOR:

McDonald's USA, LLC

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PREPARED BY:

Kimley»Horn

REV

DATE

DESCRIPTION

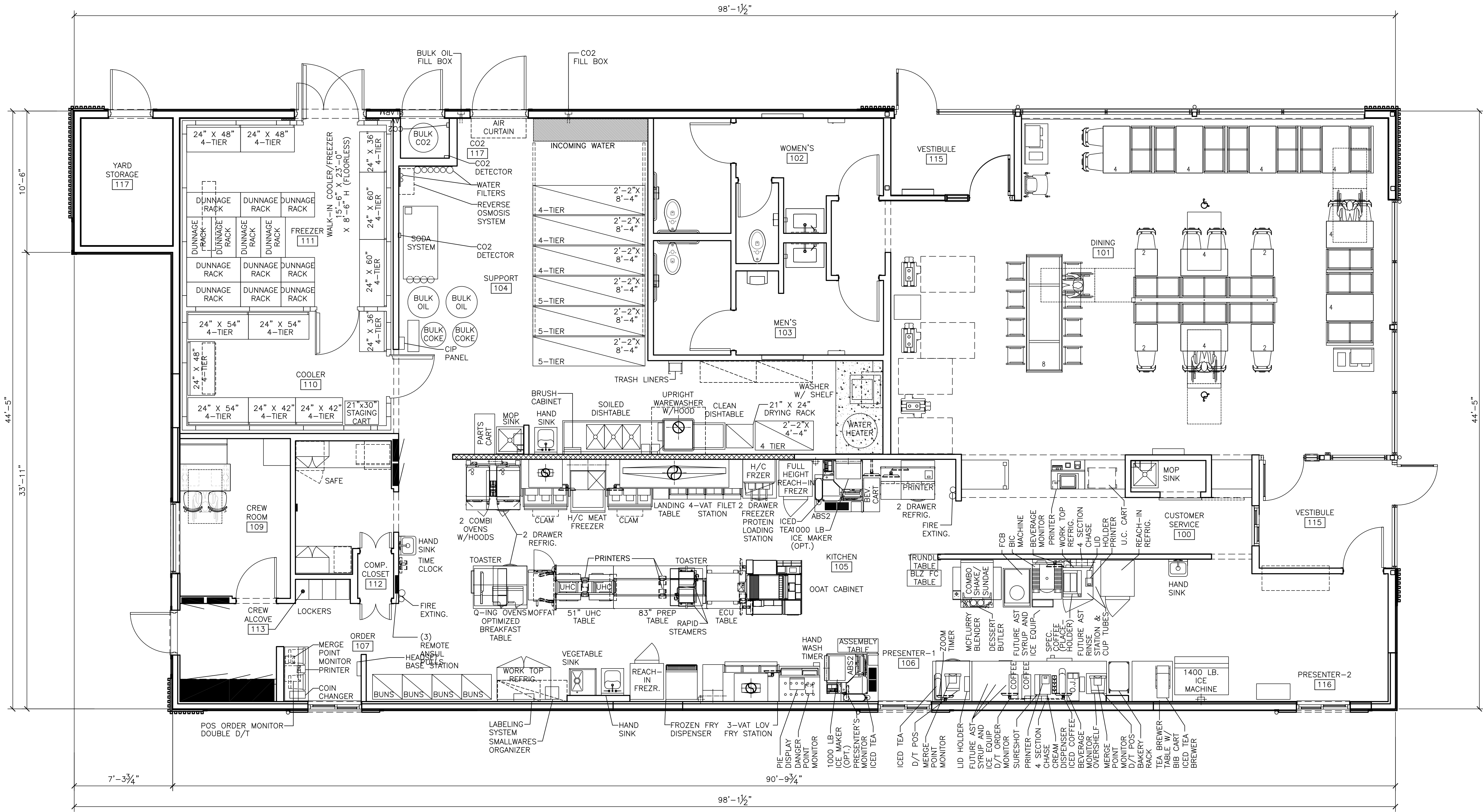
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Know what's below.  
Call before you dig.



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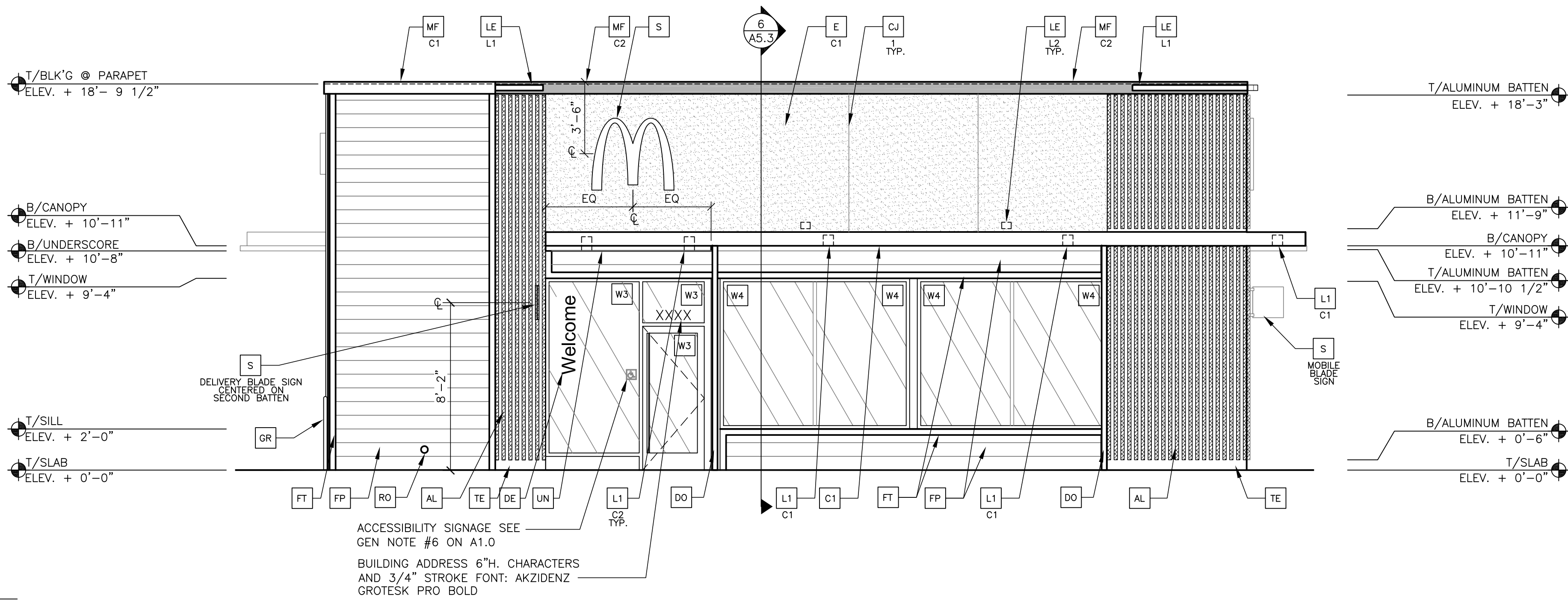
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A1.0 1/4"=1'-0"



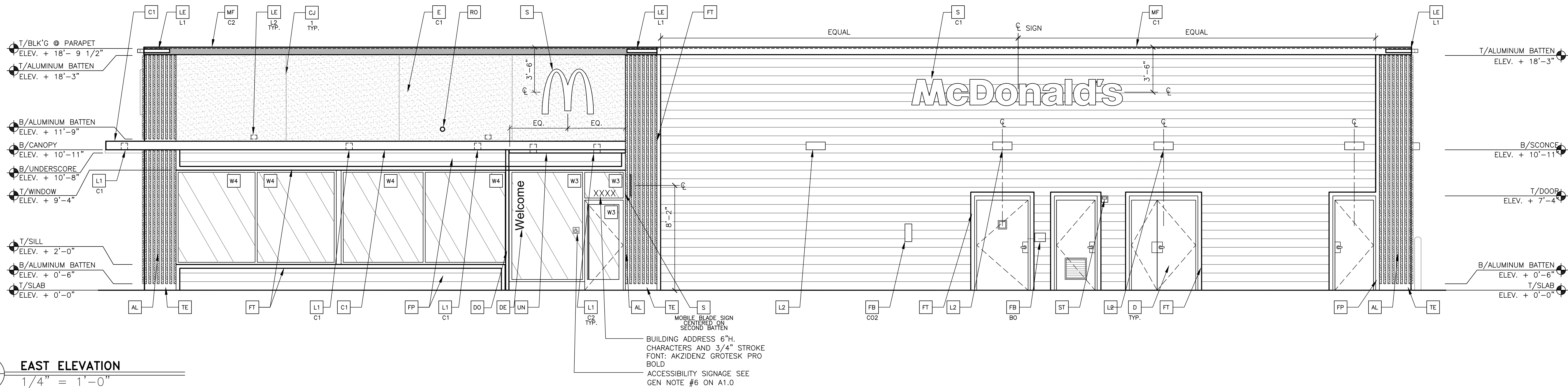
SHEET NO.	TITLE	DRAWN BY G.S.	STD ISSUE DATE	REVIEWED BY S.S.	DATE ISSUED 9-28-25	ARRIS PROJECT #	NSK 43240 SITE ADDRESS: 10000 PARKER ROAD L.C. 005-1052 PAGE: 001 OF 001				BY
							CONVERSION OF EXISTING BUILDING				
							DESCRIPTION				
<div>PREPARED BY:</div> <div></div> <div>Arris Architecture, LLC 285 Commander Dr. Erie, CO 80516 970.988.6302 coreys@arrisinc.net</div>								DESCRIPTION		BY	
<div>© 2025 McDonald's USA, LLC</div> <div> McDonald's USA, LLC</div> <div>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and shall not be used for any other project without the express written consent of McDonald's USA, LLC. Reproduction of the contract documents for reuse on another project is not authorized.</div>								DESCRIPTION		BY	



1 SOUTH ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"



KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM  
SIZE: 2"x2" PROFILE  
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH  
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB,  
GROUP 1, HDO BOTH FACES, APA TRADEMARKED.  
COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH  
SIDES AND ALL EDGES PRIOR TO INSTALLATION.  
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- CA CITADEL ACM WALL PANELS  
COLOR: UMBRA GRAY
- C1 ALUMINUM CANOPY SYSTEM  
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM  
COLOR: RAL 7022
- CJ CONTROL JOINT  
1-TYPE: 1 = EIFS
- D HOLLOW METAL DOOR  
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- DE DECAL BY GRAPHICS SUPPLIER  
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.  
SUPPLIERS:  
VOMELA (866) 330-7337, ann.bowen@vomela.com  
GEX INTERNATIONAL (847) 543-4500, mcdonaldsdecor@gfxi.com
- DO DOWNPOUT  
3" DOWNPOUT BY CANOPY SYSTEM MANUFACTURER  
COLOR: RAL 7022  
COORDINATE WITH CIVIL TO TIE INTO STORM DRAINAGE
- E EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.)  
C1-COLOR:  
C1 = "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1

- FB CO2 - CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)  
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- FP FIBER CEMENT LAP SIDING: SMOOTH HARDI-BOARD PLANK BY  
JAMES HARDIE, 8-1/4" WIDTH, 7" EXPOSURE, HZ5  
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- FT FIBER CEMENT TRIM: HARDIE TRIM BOARDS 4/4 SMOOTH,  
3 1/2" WIDTH, 3/4" THICK, HZ5  
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH  
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL  
C1-COLOR:  
C1= WHITE  
C2= GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL  
COLOR: PLATINUM SILVER

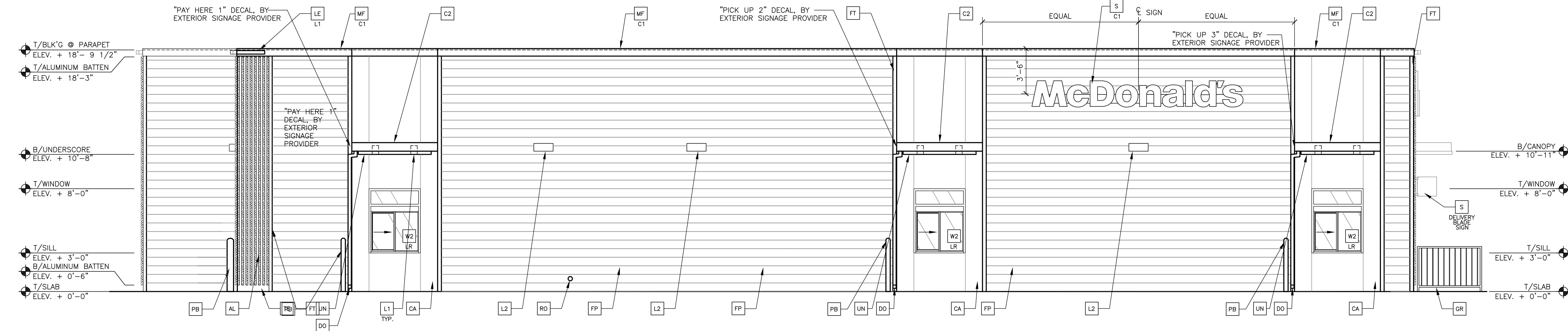
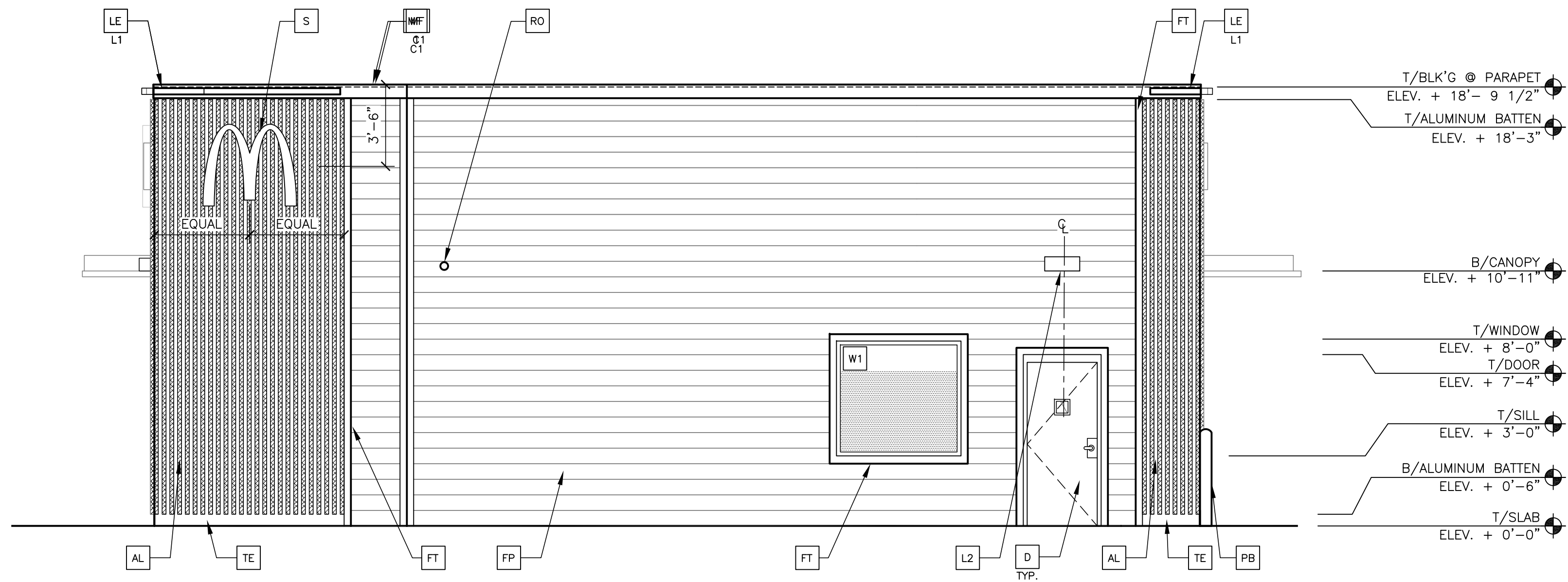
- LE ACCENT LIGHTING - SEE ELECTRICAL  
L1-LED LIGHT:  
L1 = SLIM LED (DOWN ONLY)  
L2 = UP ONLY FLOOD FIXTURE
- MF PRE-FAB ANCHOR-TITE METAL FASCIA  
C1-COLOR:  
C1= WEATHERED ZINC  
C2= RAL 7022
- PB PIPE BOLLARD - USA 310-SD BASTION  
PAINT RAL 7022

- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.  
C1-COLOR:  
C1= WEATHERED ZINC RACEWAY  
C2= RAL 7022 RACEWAY
- ST CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS  
FOR SPECIFICATION.
- TE TRU EXTERIOR 1"x6" TRIM, PAINTED ON SITE  
COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- UN METAL UNDERSCORE  
COLOR: GOLD

- W# EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS  
COLOR: DARK BRONZE  
SEE SHEET A6.0
- W2 DRIVE-THRU WINDOW BY READY ACCESS  
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSON, MANUAL  
OPEN, ELECTRONIC RELEASE  
COLOR: DEEP BRONZE  
SLIDE DIRECTION: RL = RIGHT TO LEFT  
LR = LEFT TO RIGHT



1 NORTH ELEVATION  
A2.1 1/4" = 1'-0"



2 WEST ELEVATION  
A2.1 1/4" = 1'-0"

KEY NOTES:

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SIZE: 2"x2" PROFILE  
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- L1 RECESSED DOWN LIGHT FIXTURE — SEE ELECTRICAL  
C1—COLOR:  
C1= WHITE  
C2= GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE — SEE ELECTRICAL  
COLOR: PLATINUM SILVER

- LE ACCENT LIGHTING — SEE ELECTRICAL  
L1—LED LIGHT:  
L1 = SLIM LED (DOWN ONLY)  
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MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSON, MANUAL  
OPEN: ELECTRONIC RELEASE  
COLOR: DEEP BRONZE  
SLIDE DIRECTION: RL = RIGHT TO LEFT  
LR = LEFT TO RIGHT

REV	DATE	DESCRIPTION	BY





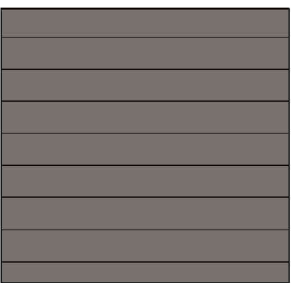
**SOUTH ELEVATION**

1/4" = 1'-0"

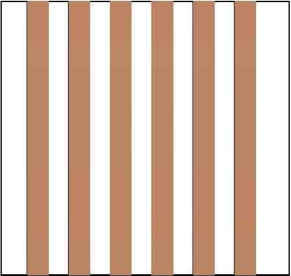


2	EAST ELEVATION
A2.0	1/4" = 1'-0"

## MATERIAL LEGEND

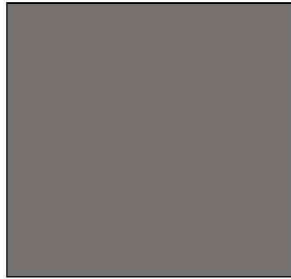


FIBER CEMENT LAP SIDING;  
SMOOTH HARDI-BOARD  
PLANK BY JAMES HARDIE,  
8-1/4" WIDTH, 7"  
EXPOSURE, HZ5  
PAINT: "GAUNTLET GRAY"  
SW-7017 BY SHERWIN  
WILLIAMS

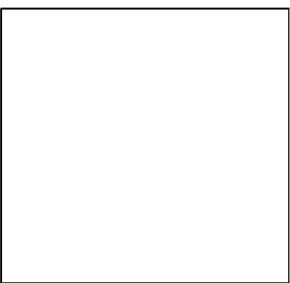


ALUMINUM BATTEN SYSTEM  
MFR: B+N INDUSTRIES  
SIZE: 2"x2" PROFILE  
COLOR: WOOD GRAIN,

ALPOLIC METAL PANEL  
COLOR: RAL 7022



EIFS  
PAINT: "IRON ORE" SW  
7069 BY SHERWIN  
WILLIAMS



ALUMINUM CANOPY  
COLOR: WHITE

## GOLD UNDERSCORE

EXTERIOR WINDOW ASSEMBLY  
COLOR: EXTRA DARK BRONZE

[illegible]



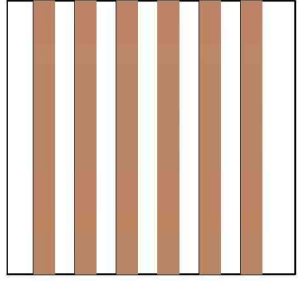


1 NORTH ELEVATION  
A2.1 1/4" = 1'-0"

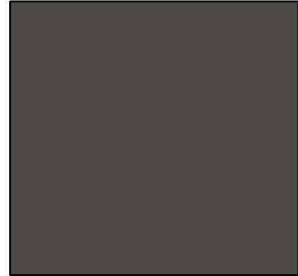
MATERIAL LEGEND



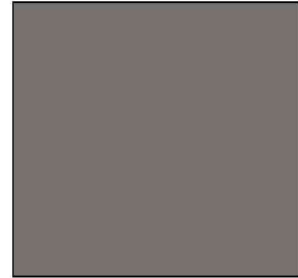
FIBER CEMENT LAP SIDING:  
SMOOTH HARDI-BOARD  
PLANK BY JAMES HARDIE,  
5-1/4" WIDTH, 7"  
EXPOSURE, H2S  
PAINT: "GAUNTLET GRAY"  
SW-7017 BY SHERWIN  
WILLIAMS



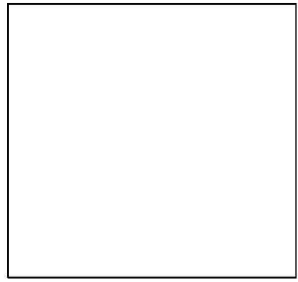
ALUMINUM BATTEN SYSTEM  
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SIZE: 2"x2" PROFILE  
COLOR: WOOD GRAIN,



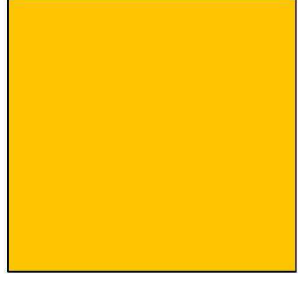
ALPOLIC METAL PANEL  
COLOR: RAL 7022



EIFS  
PAINT: "IRON ORE" SW  
7059 BY SHERWIN  
WILLIAMS



ALUMINUM CANOPY  
COLOR: WHITE



GOLD UNDERSCORE



EXTERIOR WINDOW ASSEMBLY  
COLOR: EXTRA DARK BRONZE



2 WEST ELEVATION  
A2.1 1/4" = 1'-0"

PREPARED BY:

**ARRIS**  
ARCHITECTURE

Arris Architecture, LLC  
285 Commander Dr.  
Erie, CO 80516  
970.988.6302  
coreys@arrisinc.net

PREPARED FOR:

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**McDonald's USA, LLC**

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DRAWN BY C.S.	STD ISSUE DATE	REVIEWED BY S.S.	DATE ISSUED 9-25-25	ARRIS PROJECT # 0982-25
CONVERSION OF EXISTING BUILDING				
DESCRIPTION				
NSK 43240 SITE ADDRESS: 10000 ROAD LIC 005-1092 PAGE: 1 OF 1				