

D:\DROPOX\PROJECT FILES\23.005-629 SAWATCH ROAD, EAGLE\PLANS\C1 COVER SHEET

# WAREHOUSE / INDUSTRIAL FACILITY

## 629 SAWATCH ROAD // PARCEL NUMBER 1939-333-45-003

LOT 4, 700 CHAMBERS SUBDIVISION, SECTION 33, TOWNSHIP 4 SOUTH, RANGE 84 WEST OF  
THE 6TH PRINCIPAL MERIDIAN, TOWN OF EAGLE, COUNTY OF EAGLE, STATE OF COLORADO

### LEGEND

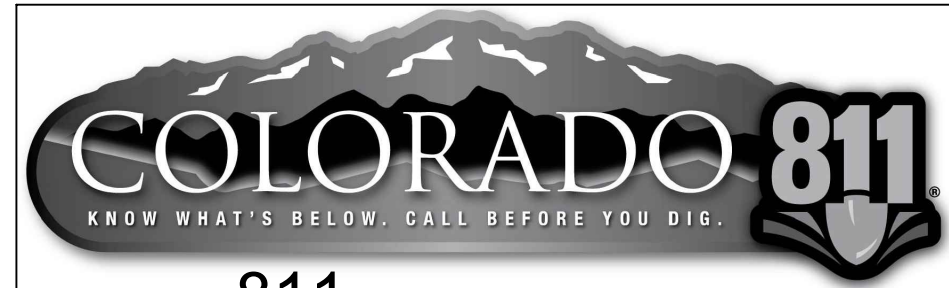
EXISTING		PROPOSED
	PROPERTY LINE	
	RIGHT-OF-WAY LINE	
	SECTION LINE	
	EASEMENT	
	RETAINING WALL	
	CURB & GUTTER	
	ASPHALT	
	CONCRETE/ SIDEWALK	
	HANDICAP RAMPS	
	CONTOURS	
	UTILITY CROSSING	
	STORM SEWER	
	STORM MANHOLE	
	ROOF DRAIN	
	STORM INLET	
	FLARED END SECTION	
	SANITARY SEWER	
	SANITARY MANHOLE	
	CLEAN OUT	
	WATER LINE	
	WATER VALVE	
	FIRE HYDRANT	
	WATER METER	
	IRRIGATION LINE	
	IRRIGATION CONTROL	
	OVERHEAD ELECTRIC	
	ELECTRIC LINE	
	LIGHT POLE	
	POWER POLE	
	ELECTRIC METER	
	TELEPHONE LINE	
	TELEPHONE PEDESTAL	
	CABLE TV	
	SIGN	
	DIRECTION OF FLOW	
	GRADING ARROW	
	GAS LINE	
	DESCRIPTIONS	
	SPOT ELEVATIONS	



PROJECT SITE (629 SAWATCH ROAD)

### VICINITY MAP

SCALE: 1"=100'



CALL **811** 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE OR EXCAVATE FOR  
MARKING OF UNDERGROUND MEMBER UTILITIES

ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS.  
THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM  
THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE  
CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE,  
MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES  
PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

### BASIS OF BEARING AND BENCHMARK:

BASIS OF BEARING: BEARINGS ARE BASED UPON AN ASSUMED BEARING OF S59°08'00"W  
OF THE SOUTHEASTERLY LIMIT OF LOT 4, AS SHOWN ON SHEET C3.

BENCHMARK: SEWER MANHOLE IN SAWATCH ROAD RIGHT-OF-WAY NEAR THE SOUTH  
CORNER OF LOT 4, AS SHOWN ON SHEET C5.0.

RIM ELEV. = 6617.6'  
INVERT ELEV. = 6610.0'

EXISTING TOPOGRAPHY SHOWN WAS TAKEN FROM THE DESIGN SURVEY COMPLETED BY  
EAGLE VALLEY SURVEYING AND DATED 24 APRIL 2023.

### SUBMITTALS / REVISIONS

1	SCHEMATIC DESIGN (NOT FOR CONSTRUCTION)	4/29/2023
2	DESIGN DEVELOPMENT (NOT FOR CONSTRUCTION)	1/17/2025

### Sheet List Table

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C3	Site Plan
C4.0	Erosion Control Plan
C4.1	Erosion Control Notes
C5.0	Overall Grading Plan
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C5.2	Detailed Grading Plan
C6.0	Overall Utility Plan
C6.1	Detailed Utility Plan
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C6.3	Utility Notes
C8.1	Details
D1	Drainage Plan (Proposed)

WAREHOUSE /  
INDUSTRIAL FACILITY  
629 SAWATCH ROAD  
LOT 4, 700 CHAMBERS SUBDIVISION  
EAGLE, COLORADO

YARNELL CONSULTING &  
CIVIL DESIGN, LLC  
P.O. BOX 3901, EAGLE, COLORADO 81631  
(970) 323-7008

THE DESIGNS SHOWN HEREIN INCLUDING  
ALL TECHNICAL DRAWINGS, GRAPHIC  
REPRESENTATION & MODELS THEREOF, ARE  
PROPRIETARY & CAN NOT BE COPIED,  
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IN WHOLE OR IN PART WITHOUT THE SOLE  
AND EXPRESS WRITTEN PERMISSION FROM  
YARNELL CONSULTING & CIVIL DESIGN, LLC.

NO.	ISSUE / REVISION	NAME	DATE
1.	SCHEMATIC DESIGN (NO CONST.)	J. YARNELL	12/19/24
2.	DESIGN DEVELOPMENT (NO CONST.)	J. YARNELL	1/17/25
3.		J. YARNELL	
4.			
5.			

DESIGN BY: J. YARNELL	DATE: 1/17/2025
DRAWN BY: J. YARNELL	
REVIEWED BY: J. YARNELL	
PROJECT NO.: 23.005	

SHEET TITLE  
COVER SHEET

SHEET NO.  
**C1.0**

### PROJECT CONTACTS

OWNER	JURISDICTION	ARCHITECT	CIVIL ENGINEER	LAND SURVEYOR
JCV, LLC P.O. BOX 2038 EAGLE, COLORADO 81631 970-376-1564 JAY VAN VOORST	TOWN OF EAGLE 200 BROADWAY EAGLE, COLORADO 81631 970-445-0847	THE MCKINZIE GROUP P.O. BOX 7 EAGLE, COLORADO 81631 970-306-1407 LARRY MCKINZIE	YARNELL CONSULTING & CIVIL DESIGN, LLC P.O. BOX 3901 EAGLE, COLORADO 81631-3901 970-323-7008 JUSTIN YARNELL	EAGLE VALLEY SURVEYING P.O. BOX 1230 EDWARDS, COLORADO 81632 970-949-1406 MASON TORRY

### UTILITY CONTACTS

NATURAL GAS	ELECTRIC	FIBER OPTIC	WATER & SANITATION
BLACK HILLS ENERGY 96 COUNTY ROAD 160, GLENWOOD SPRINGS, CO 81601 970-914-8326 MARK FADICK	HOLY CROSS ENERGY P.O. BOX 2150 GLENWOOD SPRINGS, CO 81602 970-947-5439 KEITH HERNANDEZ	CENTURY LINK P.O. BOX 0570 EAGLE, COLORADO 81631 970-328-8290 JASON SHARPE	TOWN OF EAGLE 200 BROADWAY EAGLE, COLORADO 81631 970-445-0847 RYAN JOHNSON



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GENERAL NOTES:

1.

ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAGLE "PUBLIC WORKS MANUAL." ITEMS NOT COVERED WITHIN SAID CODE SHALL BE IN ACCORDANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND M-STANDARDS.
2.

ALL WATER SERVICE, STORM SEWER, AND SANITARY SEWER SERVICE CONSTRUCTION SHALL BE SUBJECT TO TOWN OF EAGLE PUBLIC WORKS INSPECTION.
3.

THE CONTRACTOR SHALL HAVE ONE [1] SIGNED COPY OF PLANS APPROVED BY THE TOWN OF EAGLE AND ONE [1] COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
4.

PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CIVIL ENGINEER-OF-RECORD TEST REPORTS, SHOP DRAWINGS, CUT SHEETS, AND ANY OTHER DOCUMENTATION NECESSARY TO CLEARLY INDICATE THE MATERIALS AND COMPONENTS SLATED FOR USE ON THE PROJECT.
5.

CONTRACTOR SHALL NOTIFY THE ENGINEER, OWNER, AND THE TOWN OF EAGLE PUBLIC WORKS DEPARTMENT 48 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE TOWN OF EAGLE PUBLIC WORKS ENGINEERING INSPECTOR 24 HOURS PRIOR TO START OF WORK.
6.

ALL RANGE POINTS, TIES, BENCHMARKS, OR OTHER SURVEY CONTROL POINTS, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION, MUST BE PRESERVED. ANYTHING DAMAGED OR DESTROYED MUST BE RESTORED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF COLORADO, AT NO COST TO THE OWNER.
7.

ALL ELEVATIONS ARE ON UNITED STATES GEOLOGICAL SURVEY (USGS) VERTICAL DATUM -- NOT ARCHITECTURAL. SPOT ELEVATIONS ARE ABOVE ELEVATION 6600. THEREFORE, SPOT ELEVATION 22.45 CORRESPONDS TO USGS ELEVATION 6622.45.
8.

THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING, BUT NOT LIMITED TO, SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK, TRENCH EXCAVATION AND SHORING, TRAFFIC CONTROL, AND SECURITY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
9.

THE TOWN/OWNER/ENGINEER CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
10.

ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION [OSHA] "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION." THESE REGULATIONS ARE DESCRIBED IN SUBPART P, PART 1926 OF THE CODE OF FEDERAL REGULATIONS. SHEETING AND SHORING SHALL BE UTILIZED WHERE NECESSARY TO PREVENT ANY EXCESSIVE WIDENING OR SLOUGHING OF THE TRENCH WHICH MAY BE DETRIMENTAL TO HUMAN SAFETY, TO THE PIPE BEING PLACED, OR TO ANY EXISTING SITE IMPROVEMENTS OR STRUCTURES. THE CONTRACTOR MAY BE REQUIRED TO USE AN APPROVED PILING INSTEAD OF SHEETING AND SHORING.
11.

CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR THE SCOPE OF WORK.
12.

AT LEAST FIVE [5] WORKING DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION, A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE TOWN OF EAGLE PUBLIC WORKS DEPARTMENT. THE TRAFFIC CONTROL PLAN SHALL BE PREPARED BY A CERTIFIED TRAFFIC CONTROL SUPERVISOR AND SHALL BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD). NO WORK SHALL BEGIN UNTIL ALL TRAFFIC CONTROL DEVICES HAVE BEEN PLACED IN ACCORDANCE WITH THE PLAN. THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN THE TRAFFIC CONTROL DEVICES FOR THE ENTIRE DURATION OF THE PROJECT OR UNTIL THE ROADWAY HAS BEEN OPENED AND THE PERMANENT TRAFFIC CONTROL DEVICES HAVE BEEN INSTALLED.
13.

ALL TRENCH BACKFILL AND SUBGRADE PREPARATION SHALL BE TESTED TO ENSURE COMPLIANCE WITH TOWN OF EAGLE STANDARDS AND SHALL BE TESTED AT TOWN OF EAGLE-REQUIRED FREQUENCIES BY A TOWN OF EAGLE-APPROVED PRIVATE SOILS TESTING FIRM. TEST RESULTS SHALL BE SUBMITTED TO, REVIEWED, AND APPROVED BY, THE TOWN OF EAGLE PUBLIC WORKS DEPARTMENT PRIOR TO INSTALLING BASE COURSE, ASPHALT OR CONCRETE ON PREPARED SUBGRADE. ALL BASE COURSE DENSITY SHALL ALSO BE TESTED BY THE PRIVATE SOILS FIRM AT TOWN OF EAGLE-REQUIRED FREQUENCIES TO ENSURE COMPLIANCE WITH TOWN OF EAGLE REQUIREMENTS. BASE COURSE TEST RESULTS SHALL ALSO BE APPROVED BY THE TOWN OF EAGLE PUBLIC WORKS DEPARTMENT PRIOR TO INSTALLING PAVEMENT. ALL CONCRETE AND ASPHALT PLACED SHALL BE TESTED IN ACCORDANCE WITH TOWN OF EAGLE MINIMUM MATERIALS TESTING STANDARDS. TEST RESULTS SHALL BE REVIEWED AND APPROVED BY THE TOWN OF EAGLE PUBLIC WORKS DEPARTMENT PRIOR TO INITIATION OF THE REQUIRED TWO-YEAR WARRANTY PERIOD.
14.

CONTRACTOR SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL HEALTH AND SAFETY RULES AND REGULATIONS.
15.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED. REPAIR OF DAMAGED UTILITIES SHALL BE AT THE CONTRACTOR'S EXPENSE, INCLUDING BUT NOT LIMITED TO UNKNOWN UNDERGROUND UTILITIES.
16.

EXISTING FENCES, TREES, SIDEWALKS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS.
17.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING REASONABLE ACCESS TO AND FROM ALL OF THE ADJACENT PROPERTIES THROUGHOUT THE COURSE OF THE WORK. THE CONTRACTOR SHALL BE REQUIRED TO MEET (INDIVIDUALLY OR COLLECTIVELY) WITH ALL ADJACENT PROPERTY OWNERS WHOSE DRIVEWAY ACCESS WILL BE AFFECTED BY THE WORK. AS CONSTRUCTION CONDITIONS CHANGE AND THE WORK PROGRESSES, THE CONTRACTOR SHALL BE REQUIRED TO PERIODICALLY UPDATE THOSE PROPERTY OWNERS SO THAT THEY ARE KEPT INFORMED ABOUT THEIR ACCESS.
18.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STORM RUNOFF AND ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED, AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. NO CONCRETE SHALL BE PLACED WHERE GROUNDWATER IS VISIBLE OR UNTIL THE GROUNDWATER TABLE HAS BEEN LOWERED BELOW THE PROPOSED IMPROVEMENTS. ANY UNSTABLE AREAS, AS A RESULT OF GROUNDWATER, ENCOUNTERED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE STABILIZED AS AGREED UPON BY THE CONTRACTOR, THE TOWN OF EAGLE PUBLIC WORKS INSPECTOR, AND THE GEOTECHNICAL ENGINEER AT THE TIME OF OCCURRENCE.
19.

THE CONTRACTOR IS RESPONSIBLE FOR FIELD LOCATING AND VERIFYING ELEVATIONS OF ALL EXISTING UTILITIES (STORM SEWER, SANITARY, WATER, NATURAL GAS, ELECTRIC, TELEPHONE, FIBER OPTICS, CABLE TELEVISION, ETC.) AND FINISHED GRADES AT THE POINTS OF CONNECTION SHOWN ON THE PLANS, AND AT ANY UTILITY CROSSINGS. IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO MODIFY THE DESIGN PRIOR TO INSTALLING ANY OF THE NEW IMPROVEMENTS.
20.

PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITIES TO COORDINATE SCHEDULES.
21.

CONTRACTOR SHALL NOTIFY ALL BUSINESSES/RESIDENTS IN WRITING 48 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER-HOURS CALLS. ALL SHUT-OFFS MUST BE APPROVED BY THE TOWN OF EAGLE WATER DEPARTMENT, AND TOWN OF EAGLE VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN OF EAGLE PERSONNEL, UNLESS WRITTEN PERMISSION IS GIVEN OTHERWISE.

22.

ALL PUBLIC IMPROVEMENT WORK, INCLUDING CORRECTION WORK, SHALL BE INSPECTED BY A TOWN OF EAGLE PUBLIC WORKS DEPARTMENT REPRESENTATIVE WHO SHALL HAVE THE AUTHORITY TO HALT CONSTRUCTION WHEN STANDARD CONSTRUCTION PRACTICES ARE NOT BEING ADHERED TO. THE TOWN OF EAGLE PUBLIC WORKS DEPARTMENT REPRESENTATIVE RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR BEING AWARE OF, NOTIFYING, COORDINATING, AND SCHEDULING ALL INSPECTIONS REQUIRED FOR FINAL APPROVALS AND PROJECT ACCEPTANCE.
23.

COMPACTION OF ALL TRENCHES MUST BE ATTAINED, AND COMPACTION TEST RESULTS SUBMITTED TO THE ENGINEER AND THE TOWN OF EAGLE PUBLIC WORKS DEPARTMENT PRIOR TO FINAL ACCEPTANCE.
24.

RECORD DRAWINGS SHOWING ALL CHANGES FROM THE APPROVED CONSTRUCTION DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER AND OWNER PRIOR TO INITIATION OF THE REQUIRED TWO-YEAR WARRANTY PERIOD. THE RECORD DRAWINGS WILL CONSIST OF A MARKED-UP SET OF "ISSUED FOR CONSTRUCTION" DRAWINGS VERIFYING THE FOLLOWING:
  - ALL LENGTHS, SIZES, AND MATERIALS OF INSTALLED PIPE, MANHOLES, AND ANY OTHER IMPROVEMENT.
  - HORIZONTAL LOCATIONS BY NORTHING AND EASTING COORDINATES OF ALL MANHOLES, BENDS, CLEANOUTS, VALVES, TAPS, WYES, STUBS, PLUGS, TEES, ETC.
  - INVERT ELEVATIONS OF STORM SEWER AND SANITARY SEWER MANHOLES, INLETS, OUTLETS, CLEAN-OUTS, STUB ENDS, TOP OF PIPE ELEVATIONS OF EACH UTILITY CROSSING, ETC.
  - CONSTRUCTED SLOPE OF STORM AND SANITARY PIPES BETWEEN STRUCTURES.
  - TOP OF PIPE ELEVATION AT REGULAR INTERVALS AND/OR FITTINGS FOR WATER LINES.
  - ELEVATIONS AT FLOWLINE OF CURB/GUTTER AT DESIGN LOCATIONS AND GRADE BREAKS. ELEVATION OF INLET AND TRENCH DRAIN GRATES. TOP OF CURB AT CURB INLETS.
  - ANY OTHER VARIATIONS FROM THE CONSTRUCTION DOCUMENTS MUST BE CLEARLY NOTED AND DETAILED ON THE PLANS.
  - AS-BUILT FIELD NOTES, FROM WHICH THE AS-BUILT DRAWINGS ARE PREPARED, ARE TO BE PROVIDED AND STAMPED/SIGNED AND DATED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF COLORADO.
25.

THE CONTRACTOR SHALL WARRANT ALL WORK TO BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF TWO [2] YEARS FROM THE DATE OF ACCEPTANCE INTO THE WARRANTY PERIOD OF ALL CONSTRUCTION CALLED FOR BY THE PUBLIC IMPROVEMENTS AGREEMENT WITH THE TOWN OF EAGLE.
26.

DURING CONSTRUCTION AND UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, AS DETERMINED BY THE OWNER, HIS/HER REPRESENTATIVE, OR THE TOWN OF EAGLE PUBLIC WORKS DEPARTMENT.
27.

CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT TITLED [\_\_\_\_\_], DATED [\_\_\_\_\_], AND PREPARED BY [\_\_\_\_\_] FOR PAVEMENT DESIGN AND RECOMMENDATIONS REGARDING [EXCAVATION, COMPACTION, MATERIALS, EMBANKMENT, PAVEMENT SUBEXCAVATION, MOISTURE CONTROL, AND TOPSOIL REMOVAL AND REPLACEMENT. FINAL PAVEMENT DESIGN TO BE DETERMINED BY THE GEOTECHNICAL ENGINEER AFTER SUBGRADE IS COMPLETE. CONTRACTOR TO COORDINATE THIS WORK]. THE CONSTRUCTION METHODS FOR EXCAVATION/EMBANKMENTS, COMPACTION, AND SUBGRADE PREPARATION SHALL BE IN STRICT CONFORMANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF DISCREPANCIES BETWEEN THE GEOTECHNICAL REPORT RECOMMENDATIONS AND REQUIREMENTS OF THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
28.

THE OWNER/DEVELOPER AND/OR THEIR ASSIGNS IS HEREBY NOTIFIED THAT IT IS TYPICAL AND LIKELY THAT SOME MOVEMENT OF THE SURFACE GRADES WILL OCCUR OVER TIME DUE TO VARIOUS FACTORS THAT ARE NOT IN CONTROL OF THE DESIGNERS. THUS, A ROUTINE AND DILIGENT MAINTENANCE PROGRAM IS REQUIRED TO MAINTAIN THE PROPER GRADING AND DRAINAGE THROUGHOUT THE PROJECT.
29.

THE PLANS HAVE BEEN PREPARED BY YARNELL CONSULTING & CIVIL DESIGN, LLC IN ACCORDANCE WITH AND IN RELIANCE UPON THE GEOTECHNICAL REPORT TITLED [\_\_\_\_\_], DATED [\_\_\_\_\_], AND PREPARED BY [\_\_\_\_\_]. YARNELL CONSULTING & CIVIL DESIGN, LLC HAS NO RESPONSIBILITY FOR THE FOUNDATION SYSTEMS USED WITHIN THIS DEVELOPMENT. YARNELL CONSULTING & CIVIL DESIGN, LLC SUGGESTS THAT ALL OWNERS, PRESENT AND FUTURE, BECOME AWARE OF THE RISK ASSOCIATED WITH IMPROPER MAINTENANCE OF SLOPES AND DRAINAGE AWAY FROM THE STRUCTURES.
30.

THE DESIGN PLANS SHOWN HEREON WERE DEVELOPED BASED UPON THE GEOTECHNICAL INVESTIGATIONS/ANALYSIS/ENGINEERING CRITERIA WITHIN THE GEOTECHNICAL REPORT TITLED [\_\_\_\_\_], DATED [\_\_\_\_\_], PREPARED BY [\_\_\_\_\_], SIGNED AND SEALED BY [\_\_\_\_\_] P.E. YARNELL CONSULTING & CIVIL DESIGN, LLC RELIED UPON THE ENGINEERING ANALYSIS AND CONCLUSIONS OF THIS REPORT IN THE PREPARATION OF THESE CIVIL ENGINEERING PLANS AND DOCUMENTS. NO INDEPENDENT INVESTIGATIONS AND/OR ANALYSIS WAS CONDUCTED BY YARNELL CONSULTING & CIVIL DESIGN, LLC. THESE PLANS WERE PROVIDED TO THE GEOTECHNICAL ENGINEER FOR REVIEW AND VERIFICATION THAT THESE PLANS DEVELOPED BY YARNELL CONSULTING & CIVIL DESIGN, LLC PROPERLY INTERPRETED AND APPLIED THE CRITERIA AND RECOMMENDATIONS ESTABLISHED BY THEIR GEOTECHNICAL REPORT FOR THIS PROJECT.

ABBREVIATIONS:

APPROX	APPROXIMATE
ARCH	ARCHITECT
ASSM	ASSEMBLY
BLDG	BUILDING
BM	BENCHMARK
BOC	BACK OF CURB
BOW	BACK OF WALK
CIP	CAST IRON PIPE
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC	CONCRETE
CONT	CONTOUR
COR	CORNER
DEMO	DEMOLITION
DIA OR Ø	DIAMETER
DIM	DIMENSION
DIP	DUCTILE IRON PIPE
E	ELECTRICAL LINE
EL	ELEVATION
ELEC	ELECTRICAL
ENG	ENGINEER
ESMT	EASEMENT
EXIST	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FFE	FINISHED FLOOR ELEVATION
FGW	FINISHED GRADE AT WALL
FHY	FIRE HYDRANT
FL	FLOW LINE
FT	FOOT
GB	GRADE BREAK
GR	GRATE (AREA OR VALLEY INLETS)
GV	GATE VALVE
HERCP	HORIZONTAL ELLIPTICAL REINFORCED CONCRETE PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HORZ	HORIZONTAL
HP	HIGH POINT
INV.	INVERT
LF	LINEAL FEET
LP	LOW POINT
MAX	MAXIMUM
MECH	MECHANICAL
MH	MANHOLE
MIN	MINIMUM
N.I.C.	NOT IN CONTRACT
NTS	NOT TO SCALE
OHE	OVERHEAD ELECTRICAL
PC	POINT OF HORIZONTAL TANGENCY
PCC	POINT OF COMPOUND CURVE
PERF	PERFORATED
PERIM	PERIMETER
PERP	PERPENDICULAR
PI	POINT OF HORIZONTAL INTERSECTION
PIV	PRESSURE INDICATOR VALVE
PL	PROPERTY LINE
PLBG	PLUMBING
POC	POINT ON CURVE
POT	POINT OF TANGENT
PRC	POINT OF REVERSE CURVE
PRKG	PARKING
PROP	PROPOSED
PRV	PRESSURE REDUCING VALVE
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVMT	PAVEMENT
PVT	POINT OF VERTICAL TANGENCY
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
ROW	RIGHT OF WAY
SSWR	SANITARY SEWER
SEC	SECTION
SF	SQUARE FOOT
STA	STATION
STRM	STORM SEWER
STRUC	STRUCTURAL
SW	SIDEWALK
SY	SQUARE YARD
TELE	TELEPHONE
TB	THRUST BLOCK
TEMP	TEMPORARY
TOC	TOP OF CURB
TOW <sub>1</sub>	TOP OF WALL <sub>1</sub>
UD	UNDER DRAIN
UG	UNDERGROUND
VERT	VERTICAL
VC	VERTICAL CURVE
W	WATER LINE

NOTE: TOW<sub>1</sub> SHALL BE TOP OF WATER ON UTILITY SHEETS ONLY AND TOP OF WALL ON ALL OTHER SHEETS.

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DESIGN BY: J. YARNELL

DRAWN BY: J. YARNELL

REVIEWED BY: J. YARNELL

PROJECT NO.: 23.005

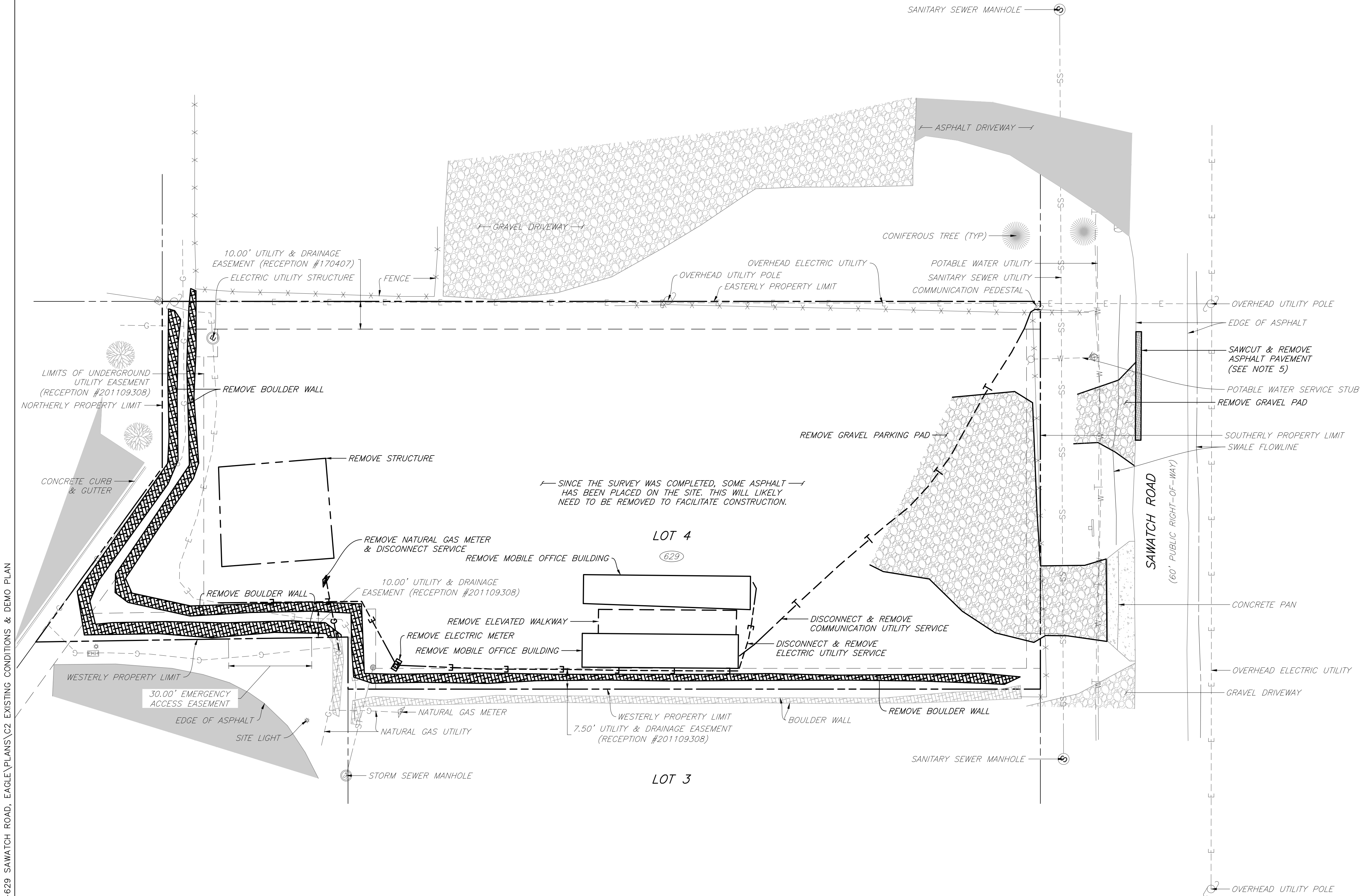
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SHEET TITLE  
GENERAL NOTES  
&  
ABBREVIATIONS

SHEET NO.  
C1.1



D:\DROPBOX\PROJECT FILES\23.005-629 SAWATCH ROAD, EAGLE\PLANS\C2 EXISTING CONDITIONS & DEMO PLAN



NOTES:

- ITEMS NOT SPECIFICALLY IDENTIFIED FOR REMOVAL SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- FOR TREE REMOVAL, RE: LANDSCAPE.
- REMOVE VEGETATION, THEN STRIP AND STOCKPILE TOPSOIL WITHIN PROPERTY LIMITS BUT OUTSIDE THE DRIPLINES OF ALL TREES SLATED TO REMAIN.
- ALL CONCRETE SLATED FOR REMOVAL SHALL BE SAWCUT ALONG THE NEAREST EXISTING JOINT.
- ALL ASPHALT SLATED FOR REMOVAL SHALL BE SAWCUT ALONG A NEAT LINE -- RIPPING ASPHALT WITH AN EXCAVATOR IS NOT ACCEPTABLE. SAWCUTS PARALLEL TO THE PATH OF VEHICULAR TRAVEL SHALL BE OUTSIDE THE WHEEL TRACKS -- EITHER CENTERED IN THE TRAVEL LANE OR ALONG THE EDGE.

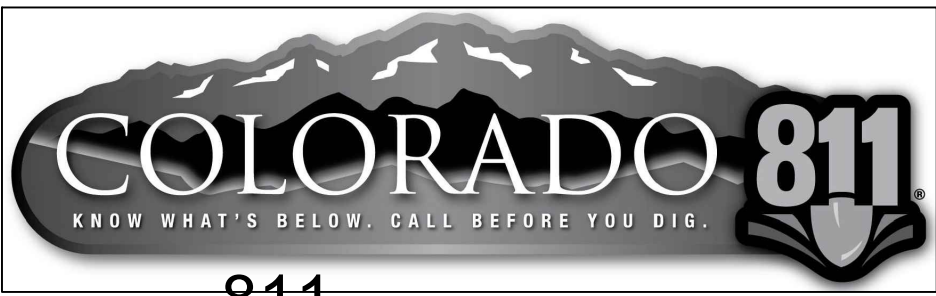
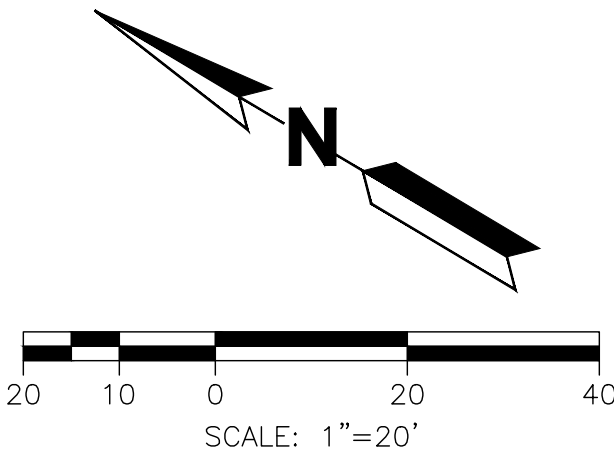
WAREHOUSE /  
INDUSTRIAL FACILITY  
629 SAWATCH ROAD  
LOT 4, 700 CHAMBERS SUBDIVISION  
EAGLE, COLORADO

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1.	SCHEMATIC DESIGN (NO CONST.)	J. YARNELL	12/19/24
2.	DESIGN DEVELOPMENT (NO CONST.)	J. YARNELL	1/17/25
3.		J. YARNELL	
4.		J. YARNELL	
5.		J. YARNELL	

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DRAWN BY: J. YARNELL	
REVIEWED BY: J. YARNELL	
PROJECT NO.: 23.005	



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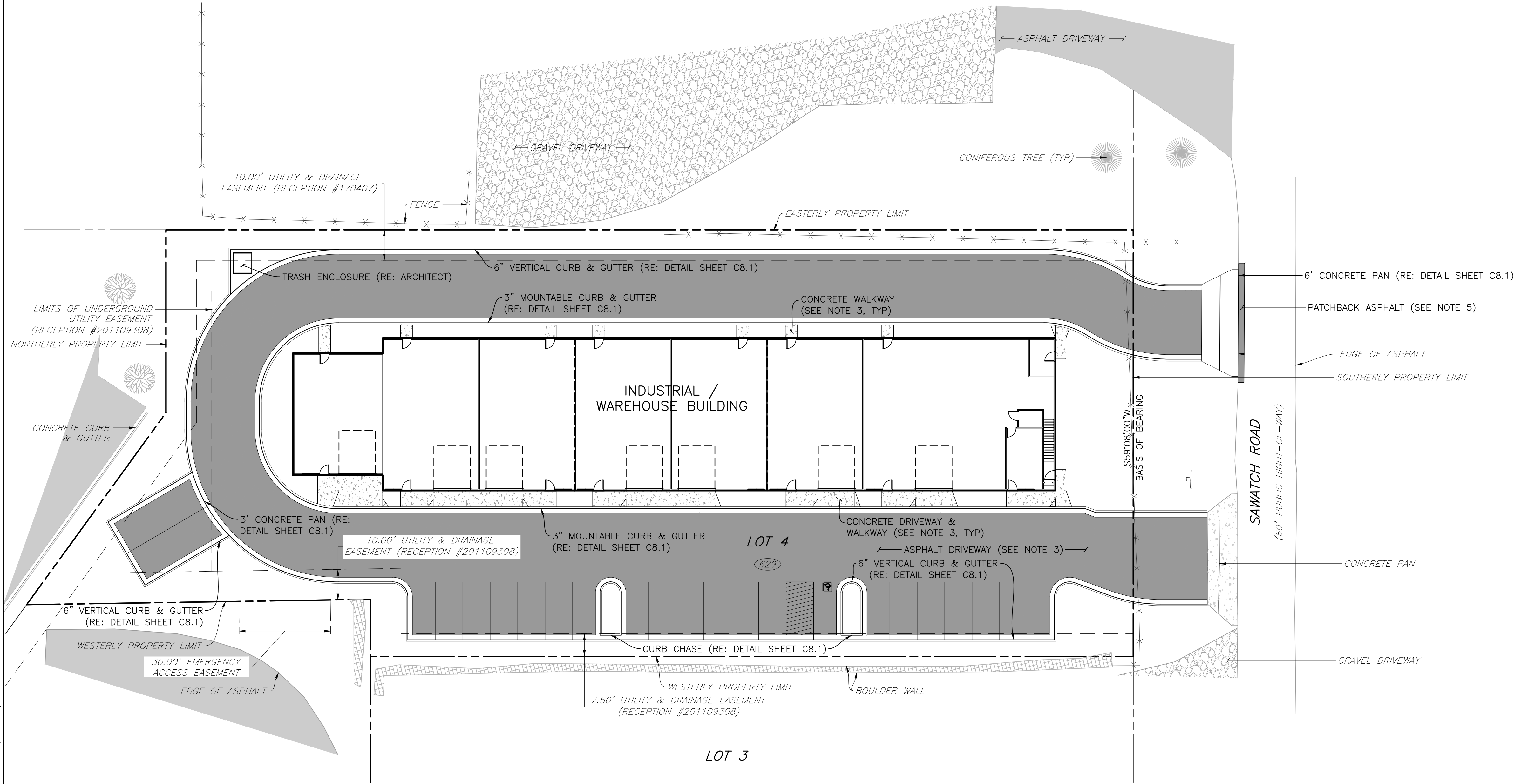
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EXISTING  
CONDITIONS &  
DEMO PLAN

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C2

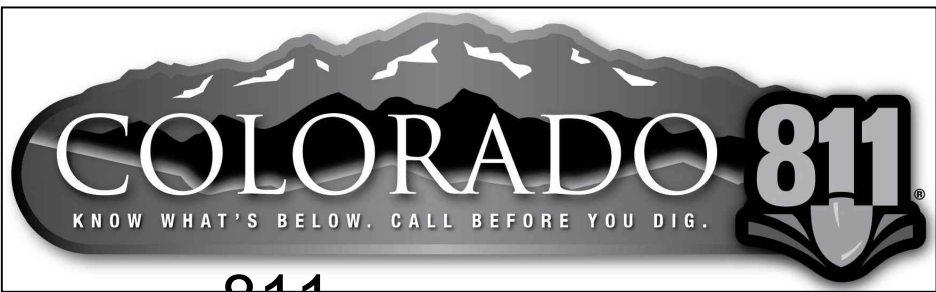
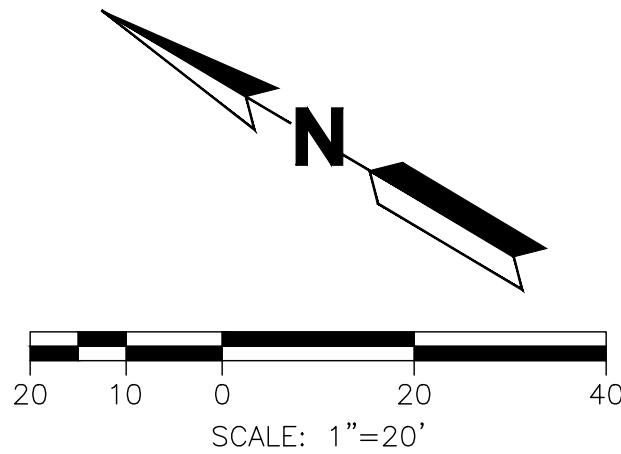


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NOTES:

- BUILDING LOCATION AND EXTENTS WERE PREPARED BY THE MCKINZIE GROUP AND RECEIVED ELECTRONICALLY ON 13 DECEMBER 2024. ANY SUBSEQUENT UPDATES ARE NOT REFLECTED IN THESE DRAWINGS.
- FOR ALL LANDSCAPING DETAILS AND INFORMATION, RE: ARCHITECT.
- FOR DRIVEWAY, AND WALKWAY PAVEMENT SECTIONS, RE: GEOTECHNICAL ENGINEER.
- ALL WORK SHALL BE CONSTRAINED TO THE LIMITS OF DISTURBANCE.
- ASPHALT PATCHBACK SHALL BE PER THE TOWN OF EAGLE "PUBLIC WORKS MANUAL."



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REVIEWED BY: J. YARNELL	
PROJECT NO.: 23.005	

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SITE PLAN

SHEET NO.  
C3



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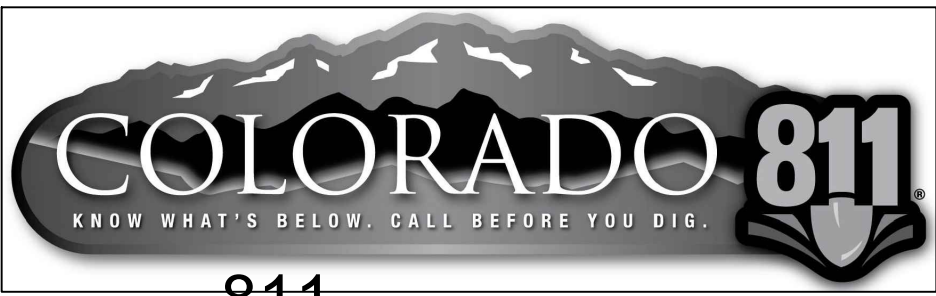
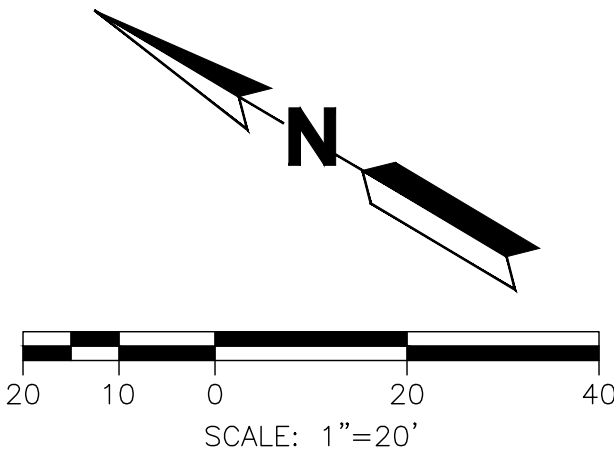
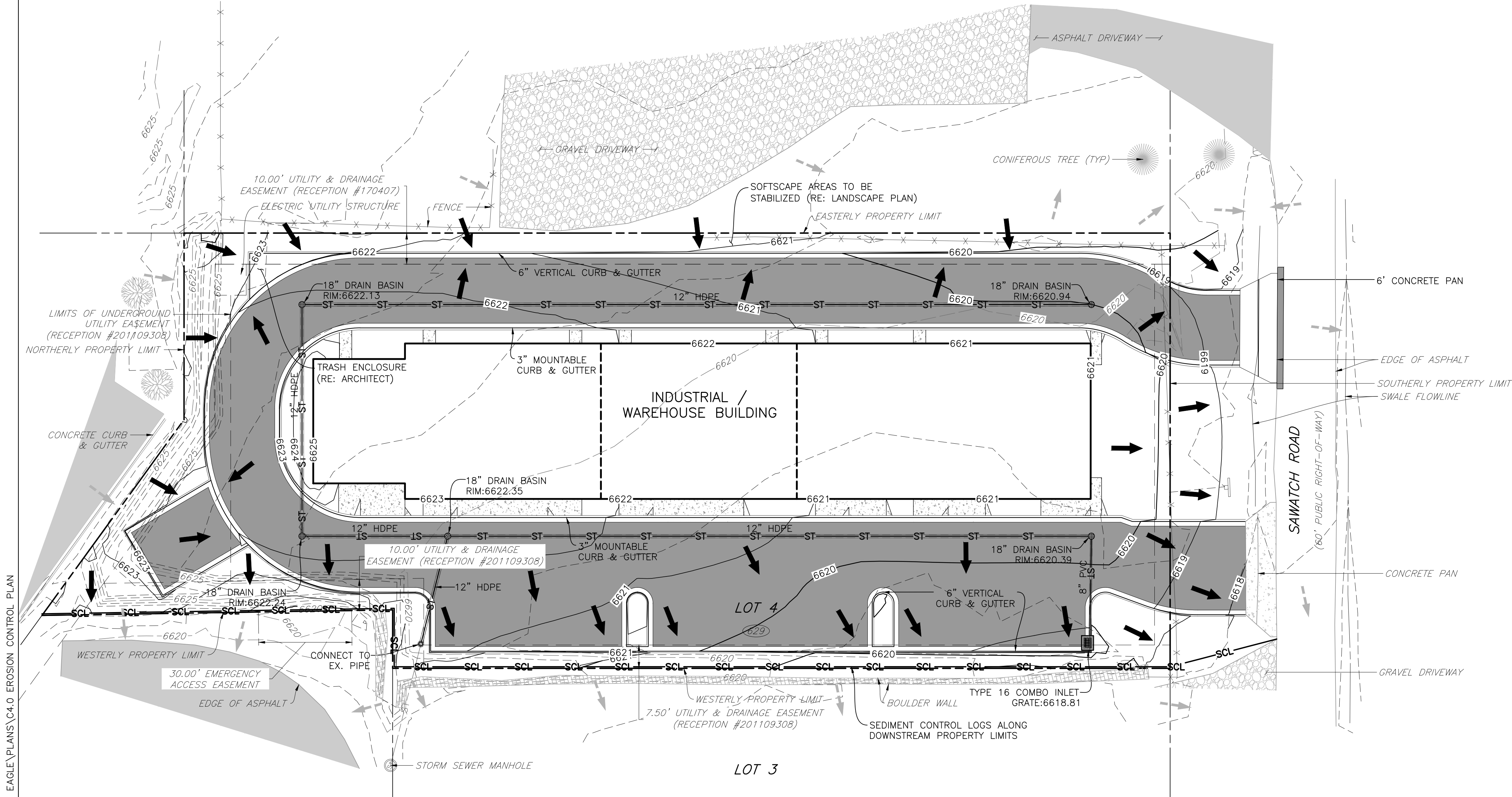
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SHEET TITLE  
EROSION  
CONTROL PLAN

SHEET NO.  
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EROSION CONTROL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, AND IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION TO PREVENT DAMAGING FLOWS ON THE SITE AND IN THE WATERSHED BELOW THE SITE. CONTROL SYSTEMS SHALL BE INSTALLED PRIOR TO STRIPPING OF NATIVE VEGETATIVE COVER AND AS GRADING PROGRESSES. CONDITIONS IN THE FIELD MAY WARRANT EROSION CONTROL MEASURES IN ADDITION TO WHAT IS SHOWN ON THESE PLANS. THE APPROACH MAY BE MODIFIED WITH APPROPRIATE APPROVALS AS FIELD CONDITIONS WARRANT.
2. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
3. TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICAL ON THE SITE FOR USE ON AREAS TO BE REVEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROISVE ELEMENTS.
4. AT ALL TIMES, THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN FUGITIVE DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE CONTRACTOR SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.
5. PERMANENT OR TEMPORARY SOIL-STABILIZATION MEASURES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 30 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. UNLESS SPECIFIED OTHERWISE, TEMPORARY VEGETATION SHALL BE INSTALLED ON ALL DISTURBED AREAS WHERE PERMANENT SURFACE IMPROVEMENTS ARE NOT SCHEDULED FOR INSTALLATION WITHIN THREE MONTHS. TEMPORARY VEGETATION SHALL BE A VIGOROUS, DROUGHT-TOLERANT, NATIVE SPECIES MIX. PROJECT SCHEDULING SHOULD TAKE ADVANTAGE OF SPRING OR FALL PLANTING SEASONS FOR NATURAL GERMINATION, BUT SEEDED AREAS SHALL BE IRRIGATED, IF CONDITIONS MERIT. REFER TO THE LANDSCAPE PLAN FOR FINAL LANDSCAPING.
6. TEMPORARY FENCES SHALL BE INSTALLED ALONG ALL BOUNDARIES OF THE CONSTRUCTION LIMITS OR PROPERTY LINES TO PREVENT GRADING ON PROPERTY NOT OWNED BY THE OWNER/DEVELOPER. IN ADDITION, THE TOWN MAY REQUIRE ADDITIONAL TEMPORARY FENCES IF FIELD CONDITIONS WARRANT.
7. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM LEAVING THE SITE DURING ALL DEMOLITION, EXCAVATION, TRENCHING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, ROADWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
8. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN INADVERTENTLY DISCHARGED TO, OR ACCUMULATED IN, THE FLOWLINES AND PUBLIC RIGHT-OF-WAY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT.
9. THE GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC ROADWAYS.
10. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL CONTROL MEASURES WEEKLY AND AFTER PRECIPITATION EVENTS WHICH GENERATE RUNOFF. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IN A TIMELY MANNER. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A CONTROL MEASURE BEFORE THE SEDIMENT LEVEL REACHES ONE-HALF THE HEIGHT OF THE CONTROL MEASURE OR, AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE CONTROL MEASURE.
11. WATER USED IN THE CLEANING OF CONCRETE TRUCK DELIVERY CHUTES SHALL BE DISCHARGED INTO A PREDEFINED, BERMED CONTAINMENT AREA ON THE JOB SITE. THE REQUIRED CONTAINMENT AREA IS TO BE BERMED SO THAT WASH WATER IS TOTALLY CONTAINED. WASH WATER DISCHARGED INTO THE CONTAINMENT AREA SHALL NOT BE ALLOWED TO INFILTRATE BUT MAY EVAPORATE. DRIED CEMENT WASTE SHALL BE REMOVED FROM THE CONTAINMENT AREA AND PROPERLY DISPOSED OF. SHOULD A PREDEFINED, BERMED CONTAINMENT AREA NOT BE AVAILABLE DUE TO THE PROJECT SIZE, OR LACK OF AN AREA WITH A SUITABLE GROUND SURFACE FOR ESTABLISHING A CONTAINMENT AREA, PROPER DISPOSAL OF READY-MIX WASH-OUT AND RINSE-OFF WATER AT THE JOB SITE SHALL CONFORM TO THE APPROVED TECHNIQUES AND PRACTICES IDENTIFIED IN THE COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT'S TRAINING VIDEO ENTITLED "BUILDING FOR A CLEANER ENVIRONMENT. READY MIX WASHOUT TRAINING" AND ITS ACCOMPANYING MANUAL ENTITLED, "READY MIX WASHOUT GUIDEBOOK, VEHICLE AND EQUIPMENT WASHOUT AT CONSTRUCTION SITES." THE DIRECT OR INDIRECT DISCHARGE OF WATER CONTAINING WASTE CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED. INFORMATION ABOUT, OR COPIES OF THE VIDEO AND TRAINING MANUAL ARE AVAILABLE FROM THE WATER QUALITY CONTROL DIVISION, COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT, 4300 CHERRY CREEK DRIVE SOUTH, DENVER, COLORADO 80222-1530, 303-692-3555.
12. THE CONTRACTOR SHALL PROTECT THE WATERSHED AND/OR ALL STORM SEWER FACILITIES ADJACENT TO ANY LOCATION WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING, OR ABRASIVE WATER JET CUTTING ARE TO TAKE PLACE. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE PRODUCTS GENERATED BY SAID CUTTING OPERATIONS ON A DAILY BASIS. THE DISCHARGE OF ANY WATER CONTAMINATED BY WASTE PRODUCTS FROM CUTTING OPERATIONS TO THE WATERSHED AND/OR STORM SEWER SYSTEM IS PROHIBITED.
13. PAVED SURFACES WHICH ARE ADJACENT TO CONSTRUCTION SITES SHALL BE SWPT IN A TIMELY MANNER WHEN SEDIMENT AND OTHER MATERIALS ARE TRACKED OR DISCHARGED ON TO THEM. EITHER SWEEPING BY HAND OR USE OF STREET SWEEPERS IS ACCEPTABLE. STREET SWEEPERS USING WATER WHILE SWEEPING IS PREFERRED IN ORDER TO MINIMIZE DUST. FLUSHING OFF PAVED SURFACES WITH WATER IS PROHIBITED.
14. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON-SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICAL.
15. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TACKING, OR WIND.
16. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
17. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED CONTROL AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
18. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
19. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
20. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPERCHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
21. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
22. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
23. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
24. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
25. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
26. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
27. SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON-SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICAL, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
28. APPROPRIATE CONTROL MEASURES FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON-SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.
29. FOR DETAILS OF ALL CONTROL MEASURES PROPOSED ON-SITE, RE: C9-SERIES SHEETS.

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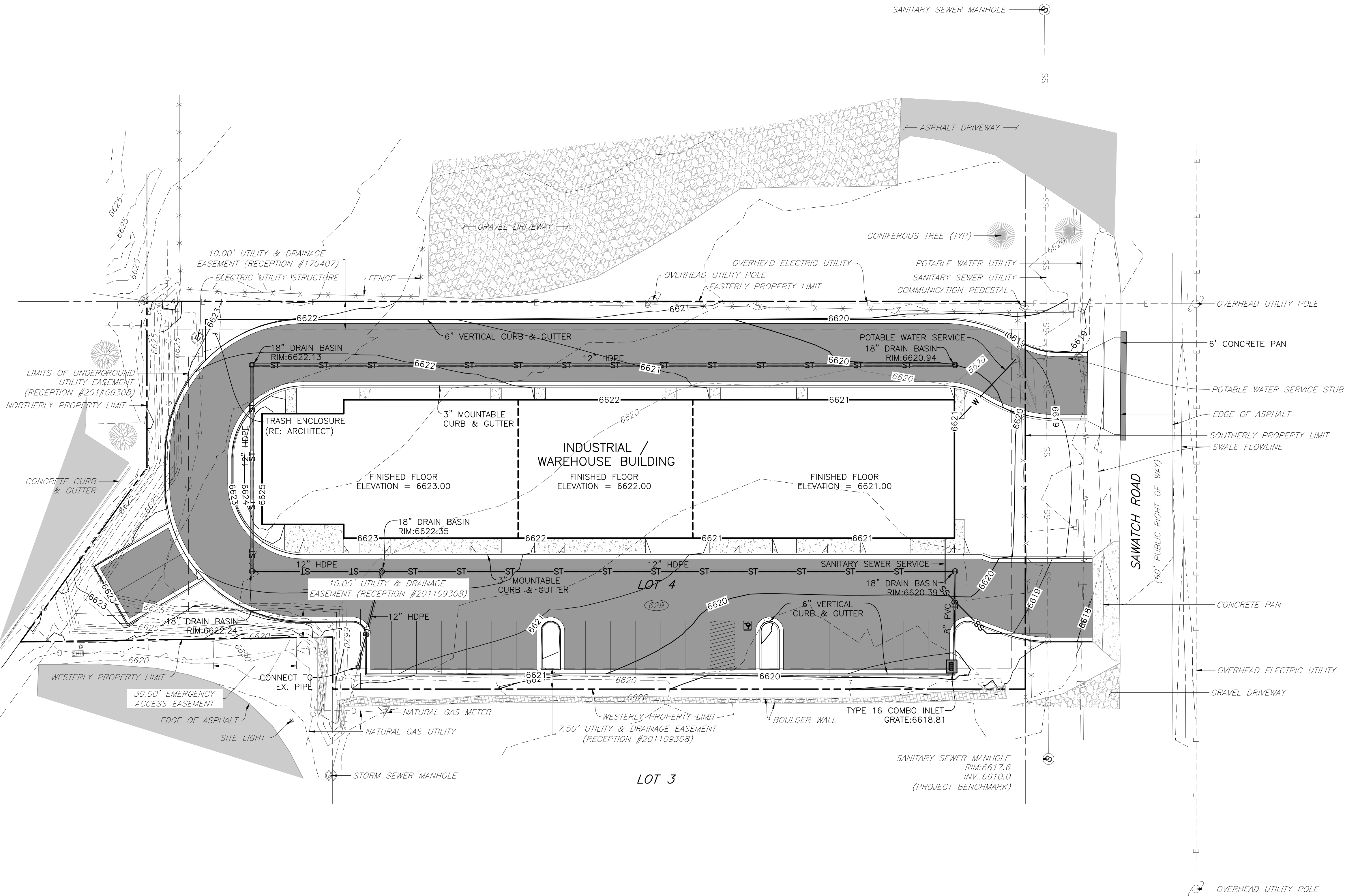
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PROJECT NO.:	23.005	3.			JYJ
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SHEET TITLE  
EROSION  
CONTROL NOTES

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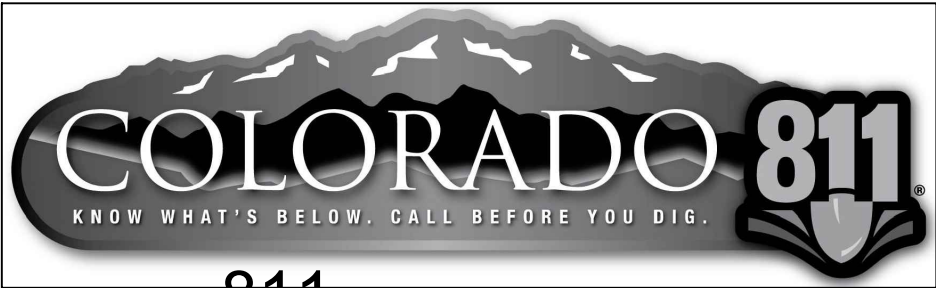
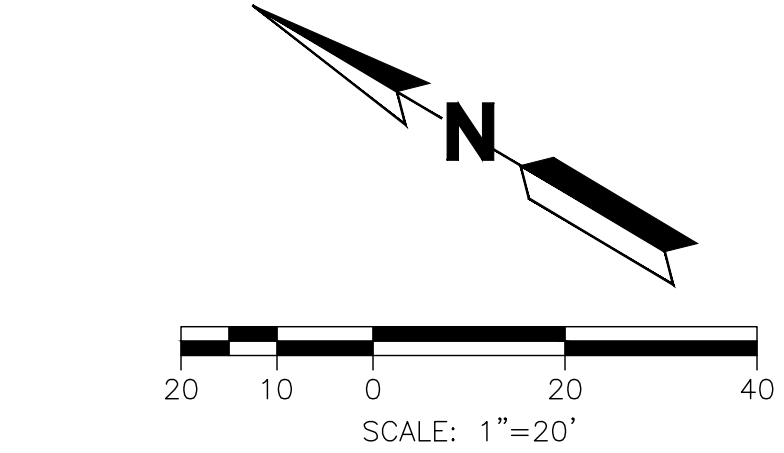


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GRADING NOTES:

- ALL SITE GRADING, EXCAVATION, EMBANKMENT, AND COMPACTION SHALL CONFORM TO THE RECOMMENDATIONS OF THE LATEST GEOTECHNICAL INVESTIGATION FOR THIS PROPERTY AND SHALL FURTHER BE IN CONFORMANCE WITH THE TOWN OF EAGLE "PUBLIC WORKS MANUAL," LATEST EDITION.
- IF THE OWNER ELECTS TO UTILIZE FOUNDATION SYSTEMS AND/OR PAVEMENT DESIGNS THAT REQUIRE SPECIAL CONSIDERATION FOR CONTROL OF SUBGRADE MOISTURE, SPECIAL PRECAUTIONS AND EXTRAORDINARY DESIGN PARAMETERS SHALL BE THE RESPONSIBILITY OF THE GEOTECHNICAL ENGINEER IN CONCERT WITH THE FOUNDATION/PAVEMENT DESIGN. IT IS ACKNOWLEDGED THAT VARIOUS FOUNDATION SYSTEMS REQUIRE DIFFERENT LEVELS OF SUBGRADE PREPARATION, DRAINAGE DESIGNS, AND/OR SUBSURFACE DRAINAGE CRITERIA THAT ARE BEYOND THE PURVIEW AND RESPONSIBILITY OF YARNELL CONSULTING & CIVIL DESIGN, LLC, AND THE GRADING PLANS SHOWN HEREON. THE INCORPORATION AND EXECUTION OF THESE SPECIAL PRECAUTIONS SHALL OCCUR IN CLOSE COORDINATION WITH THE GEOTECHNICAL ENGINEER'S DESIGN AND CONSTRUCTION OBSERVATIONS.
- GRADING SHOWN HEREON IS DESIGNED TO ADDRESS PROPER DRAINAGE CONSIDERATIONS FOR THE PROTECTION OF THE STRUCTURES AND IMPROVEMENTS WITHIN THE PROJECT. THE COORDINATION OF THIS DESIGN AND COMPLIANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATION WITH THE LANDSCAPE ARCHITECT'S DESIGN, IS THE RESPONSIBILITY OF THE OWNER AND/OR DEVELOPER. YARNELL CONSULTING & CIVIL DESIGN, LLC HIGHLY RECOMMENDS THAT THE LANDSCAPE IMPROVEMENTS BE REVIEWED AND APPROVED FOR COMPLIANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- EXISTING ELEVATIONS SHOWN ON THIS DRAWING HAVE BEEN DEPICTED FROM BEST AVAILABLE INFORMATION AND ARE SHOWN TO THE EXTENT KNOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING GRADE CONDITIONS AT THE LIMITS OF CONSTRUCTION AND AT LOCATIONS THAT INTERFACE WITH EXISTING OR PROPOSED BUILDINGS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT CONTRADICT THE ENGINEER'S INTENT FOR DRAINAGE PATTERNS, MAXIMUM AND MINIMUM SLOPES, AND PROPOSED ELEVATIONS AS SHOWN ON THE PLAN. THE ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.
- PROPOSED CONTOURS AND SPOT ELEVATIONS AS SHOWN HEREIN ARE DEFINED AS FINISHED ELEVATION AFTER PAVING, LANDSCAPING, ETC. CONTRACTOR SHALL COORDINATE WITH GEOTECH FOR PAVEMENT THICKNESS AND LANDSCAPE FOR THICKNESS OF TOPSOIL, SOD AND LANDSCAPE MATERIALS.  
  
FG = FINISHED GRADE, FF = FINISH FLOOR, TOF = TOP OF FOUNDATION, HP = HIGH POINT, LP = LOW POINT, TOW = TOP OF WALL, FW = FINISHED GRADE AT WALL [FRONT OR REAR], GB = GRADE BREAK, FL = FLOWLINE, TBC = TOP BACK OF CURB.
- UNLESS SPECIFICALLY NOTED OTHERWISE, ALL WALKWAYS SHALL BE CONSTRUCTED WITH AN ABSOLUTE MAXIMUM CROSS SLOPE OF 1.8% AND RUNNING SLOPE OF 4.9%.
- POSITIVE DRAINAGE MUST BE PROVIDED FROM ALL STRUCTURES. UNLESS SPECIFICALLY NOTED OTHERWISE, ENSURE 2.0% ON HARDSCAPE AND 10:1 [H:V] FOR 10 FEET ON SOFTSCAPE.
- ALL ISLANDS ARE TO BE GRADED SUCH THAT THERE IS A POSITIVE DRAINAGE TO ADJACENT CURB AND GUTTER.
- TEMPORARY CUT/FILL SLOPES SHALL NOT EXCEED A STEEPNESS OF 1:1 (H:V). PERMANENT SLOPES SHALL NOT EXCEED 3:1 (H:V) [UNLESS NOTED OTHERWISE] IN AREAS TO BE SEEDED OR SODDED.
- CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED MANHOLE RIMS, VALVE BOXES, ETC. TO MATCH FINAL GRADE.



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MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES  
PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

WAREHOUSE /  
INDUSTRIAL FACILITY  
629 SAWATCH ROAD  
LOT 4, 700 CHAMBERS SUBDIVISION  
EAGLE, COLORADO

YARNELL CONSULTING &  
CIVIL DESIGN, LLC  
P.O. BOX 3901, EAGLE, COLORADO 81631  
(970) 323-7008

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1.	SCHEMATIC DESIGN (NO CONST.)	J. YARNELL	12/19/24
2.	DESIGN DEVELOPMENT (NO CONST.)	J. YARNELL	1/17/25
3.		J. YARNELL	JULY
4.		J. YARNELL	JULY
5.		J. YARNELL	JULY

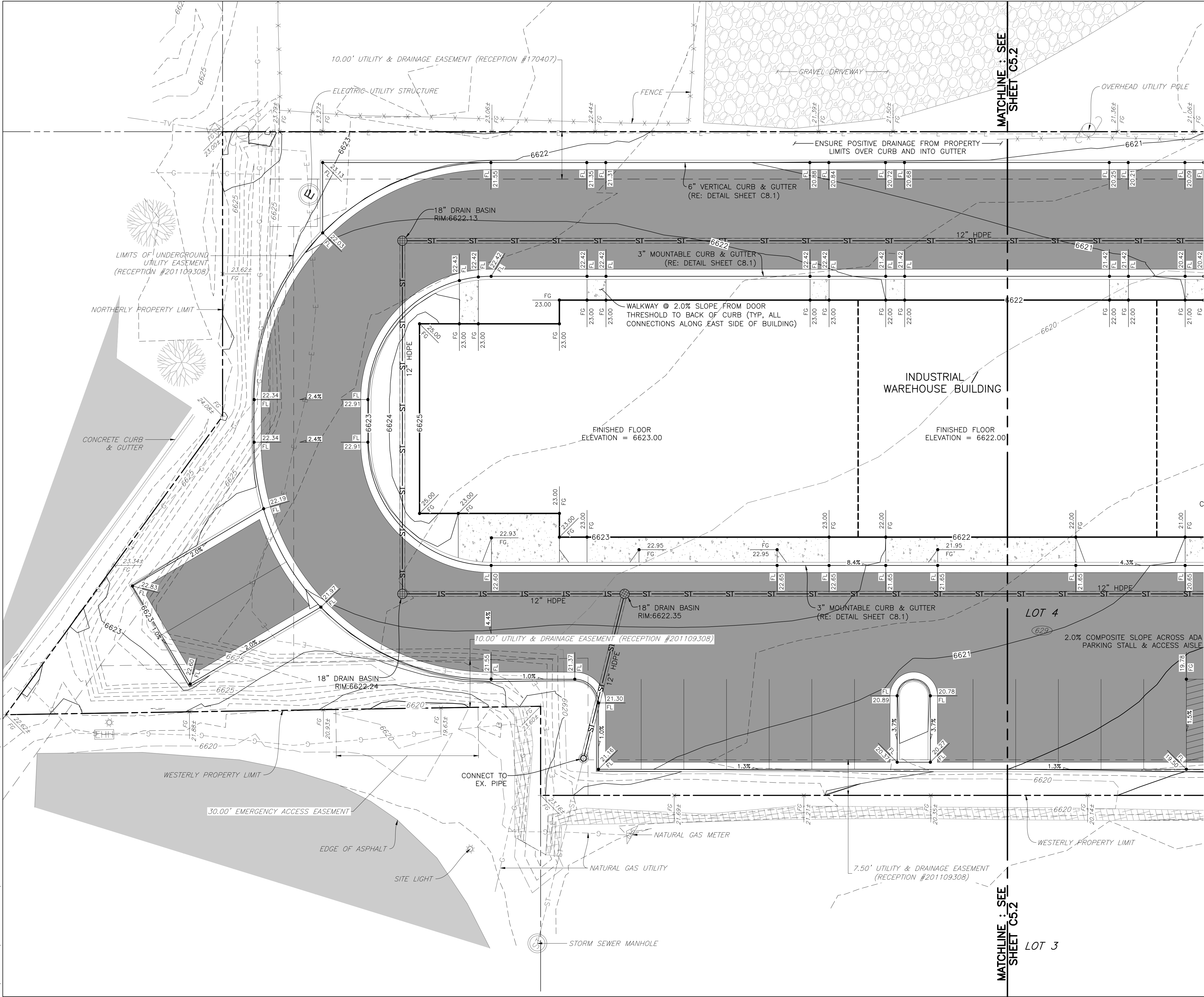
DESIGN BY: J. YARNELL	DATE: 1/17/2025
DRAWN BY: J. YARNELL	
REVIEWED BY: J. YARNELL	
PROJECT NO.: 23.005	

SHEET TITLE  
OVERALL  
GRADING PLAN

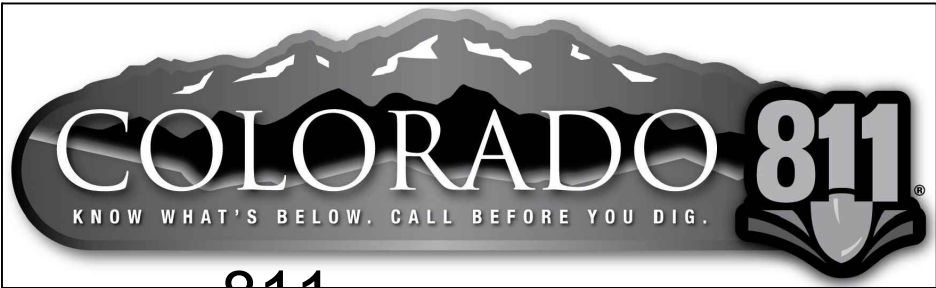
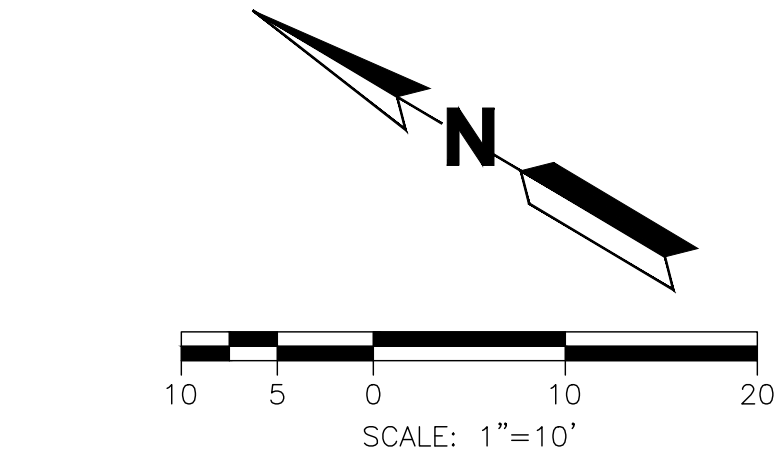
SHEET NO.  
C5.0



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FOR GRADING NOTES, RE: SHEET C5.0



CALL **811** 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE OR EXCAVATE FOR  
MARKING OF UNDERGROUND MEMBER UTILITIES

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WAREHOUSE /  
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1.	SCHEMATIC DESIGN (NO CONST.)	JYJ	12/19/24
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3.		JYJ	
4.		JYJ	
5.		JYJ	

DESIGN BY: J. YARNELL	PROJECT NO.: 23.005	DATE: 1/17/2025
DRAWN BY: J. YARNELL		
REVIEWED BY: J. YARNELL		

SHEET TITLE  
**DETAILED  
GRADING PLAN**

SHEET NO.  
**C5.1**



WAREHOUSE /  
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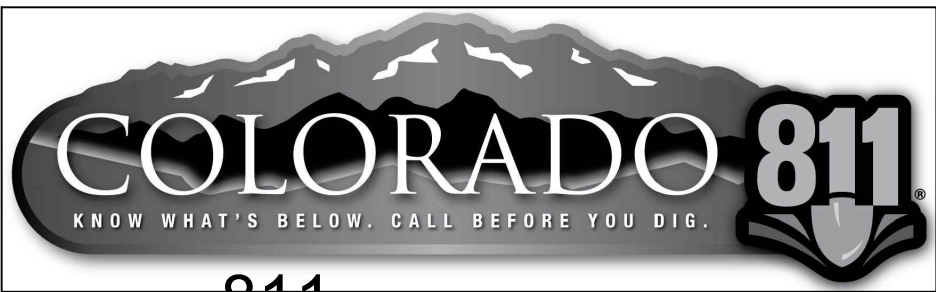
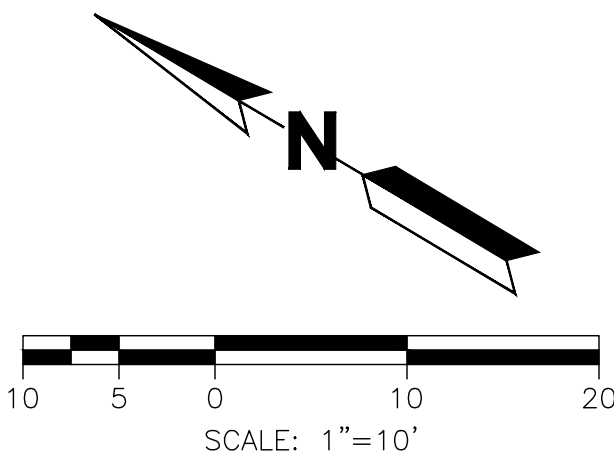
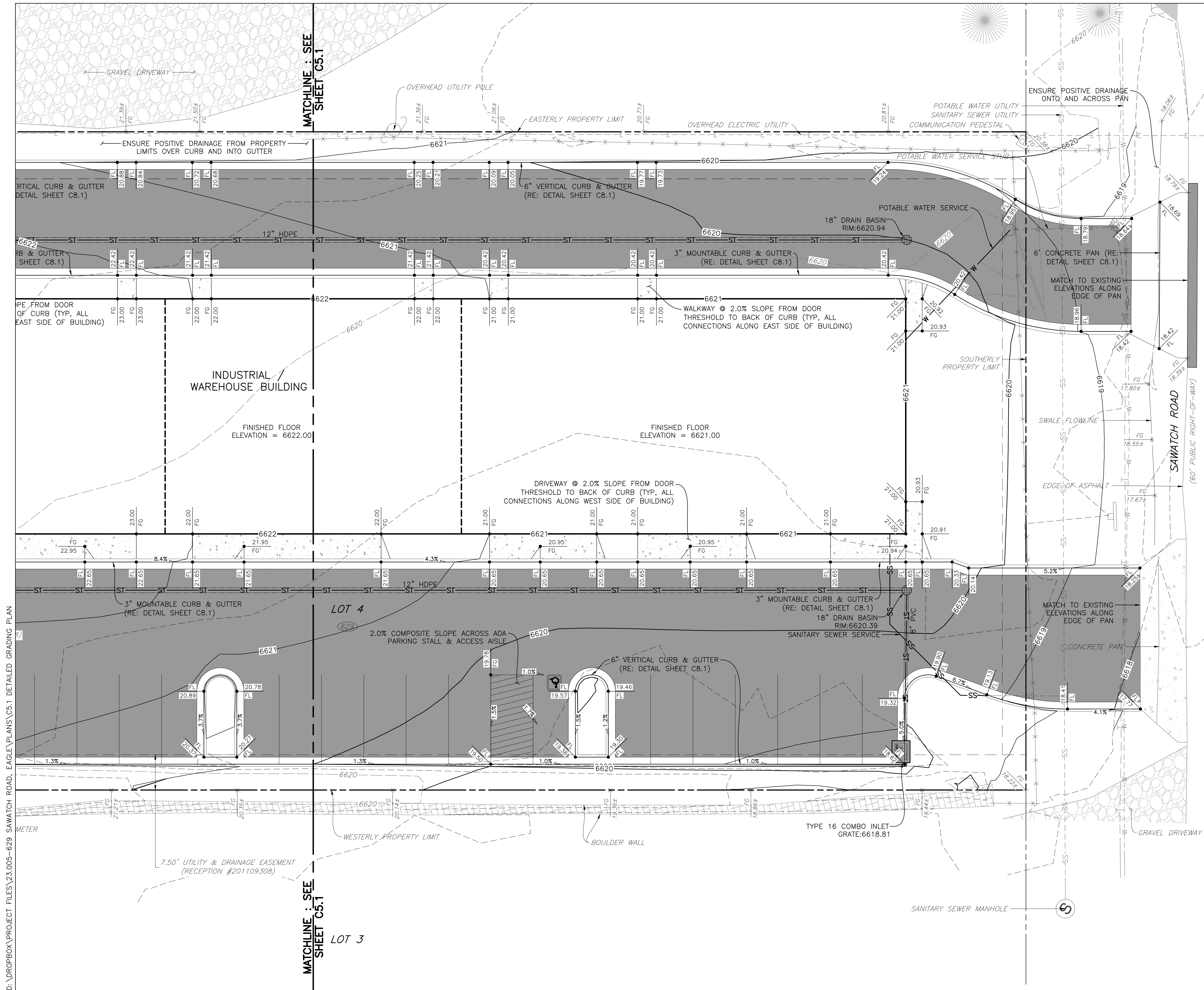
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3.			JYJ
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SHEET TITLE

DETAILED  
GRADING PLAN

SHEET NO.  
**C5.2**



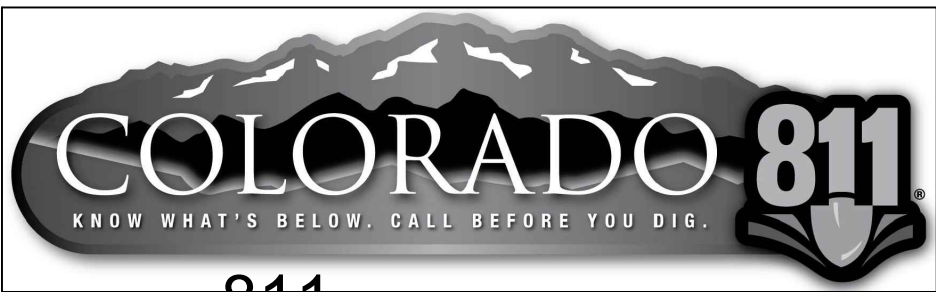
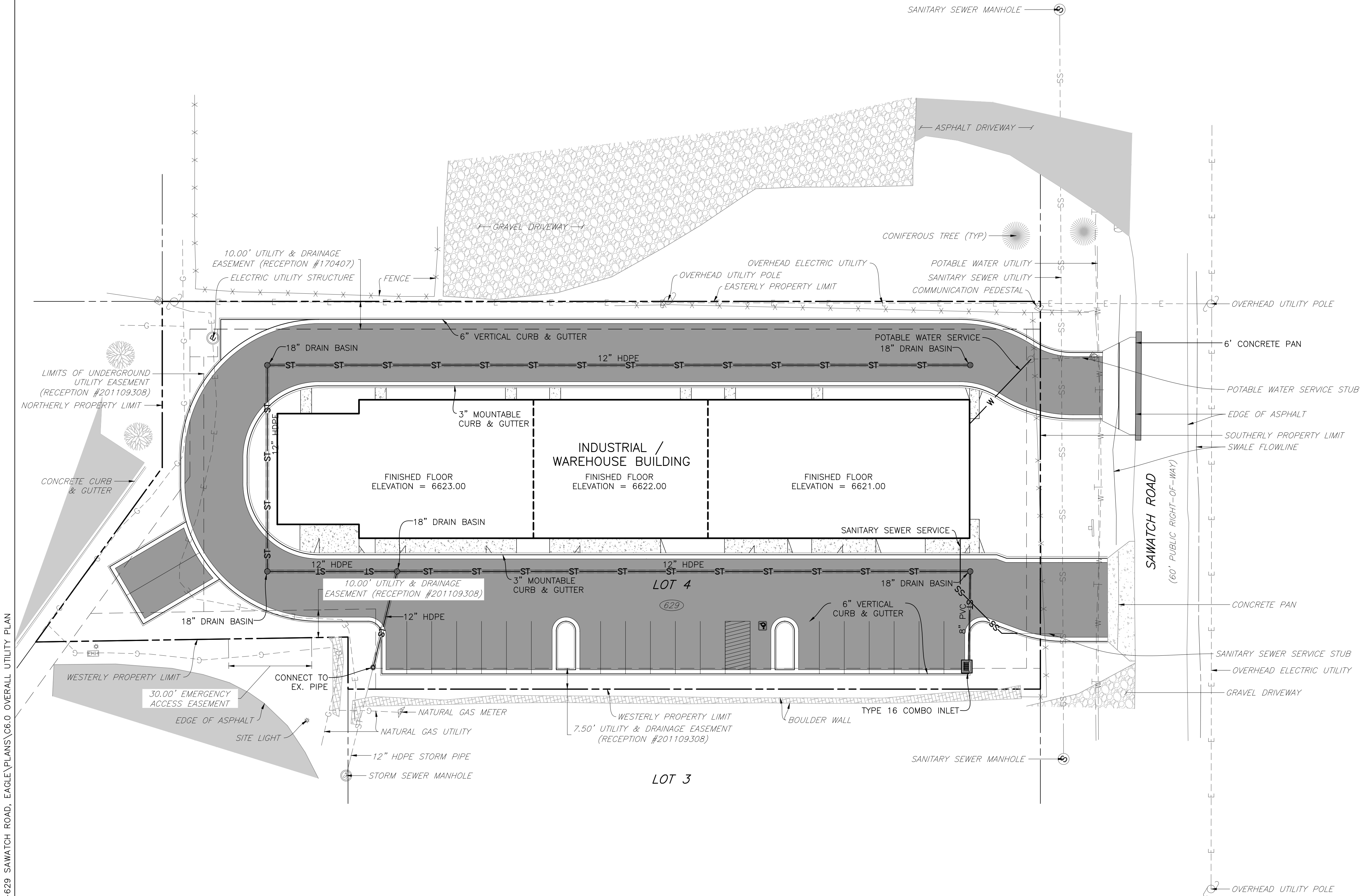
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FOR UTILITY NOTES, RE: SHEET C6.3



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NO.	ISSUE / REVISION	NAME	DATE
1.	SCHEMATIC DESIGN (NO CONST.)	JULY	12/19/24
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4.		JULY	
5.		JULY	

DESIGN BY: J. YARNELL  
DRAWN BY: J. YARNELL  
REVIEWED BY: J. YARNELL

PROJECT NO.: 23.005  
DATE: 1/17/2025

SHEET TITLE  
OVERALL UTILITY  
PLAN

SHEET NO.  
**C6.0**







WAREHOUSE /  
INDUSTRIAL FACILITY  
629 SAWATCH ROAD  
LOT 4, 700 CHAMBERS SUBDIVISION  
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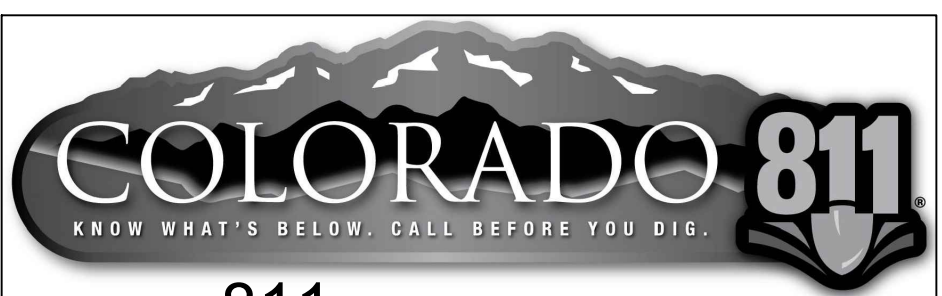
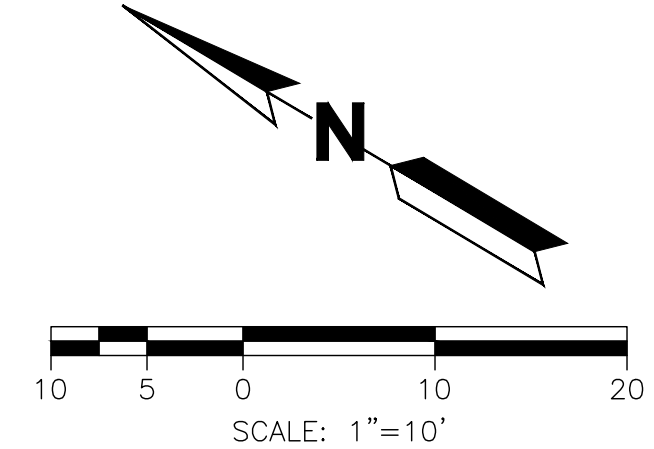
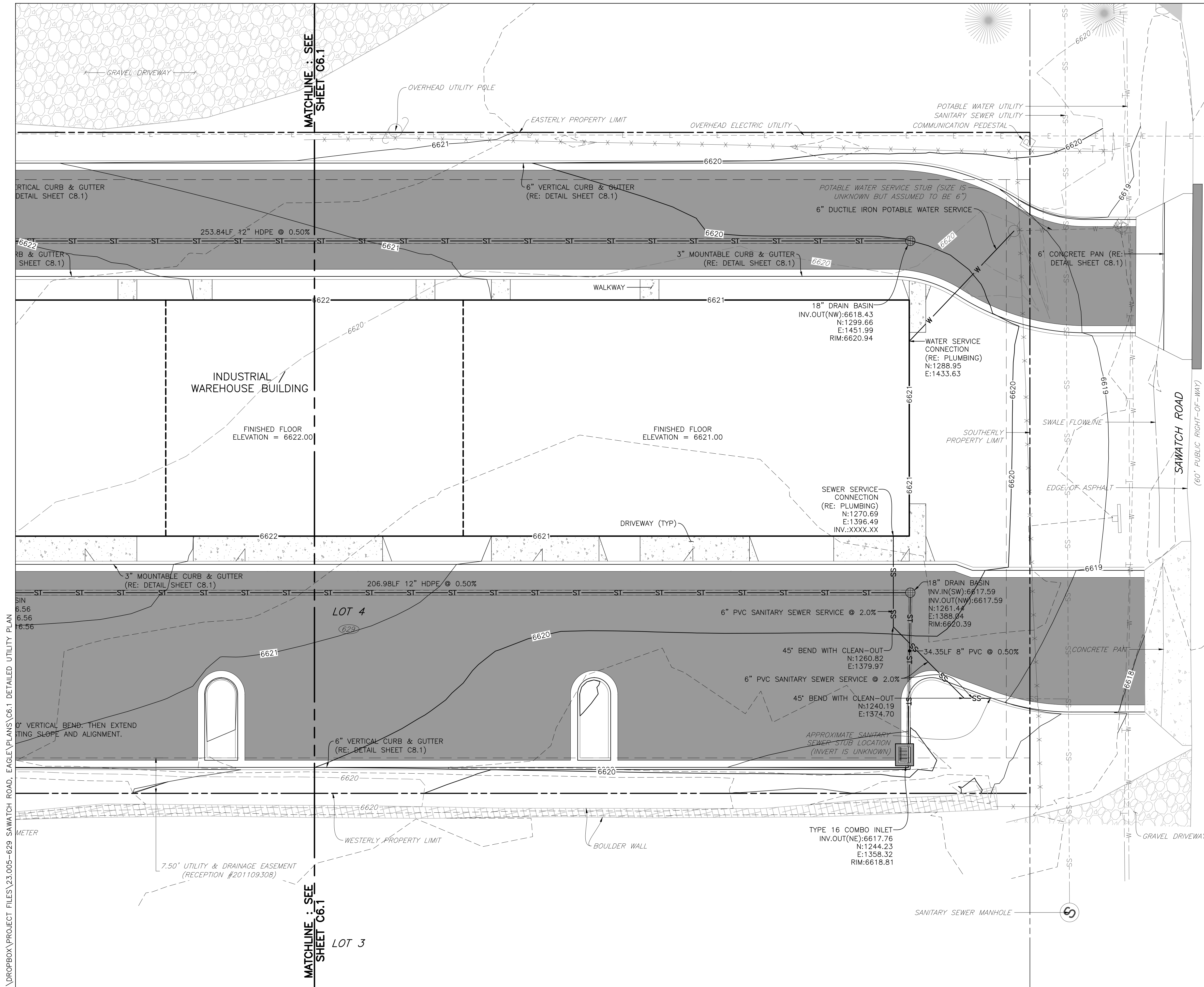
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DESIGN BY:	J. YARNELL	NO.	ISSUE / REVISION	DATE	NAME
DRAWN BY:	J. YARNELL	1.	SCHEMATIC DESIGN (NO CONST.)	2/19/24	JYJ
REVIEWED BY:	J. YARNELL	2.	DESIGN DEVELOPMENT (NO CONST.)	1/17/25	JYJ
		3.			JYJ
PROJECT NO.:	23.005	4.			JYJ
DATE:	1/17/2025	5.			JYJ

SHEET TITLE

DETAILED  
UTILITY PLAN

SHEET NO.  
**C6.2**



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UTILITY LOCATION NOTES:

- THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO [UNCC] AT 1-800-922-1087, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. OTHER UNREGISTERED UTILITY ENTITIES ARE TO BE LOCATED BY CONTACTING THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL FIELD VERIFY SIZE, AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER, UTILITY PROVIDER(S), AND TOWN OF EAGLE PUBLIC WORKS DEPARTMENT OF ANY DISCREPANCIES.
- YARNELL CONSULTING & CIVIL DESIGN, LLC (YCCD) ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION, [HORIZONTAL AND VERTICAL] OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION AND NOTIFY THE ENGINEER, UTILITY PROVIDER(S), AND TOWN OF EAGLE PUBLIC WORKS DEPARTMENT OF ANY DISCREPANCIES.
- IN ACCORDANCE WITH NEW REGULATIONS, ALL UTILITIES CONSTRUCTED AFTER JANUARY 01, 2019 SHALL BE EQUIPPED WITH 10-GAUGE (MINIMUM) TRACER WIRE TAPED TO THE TOP OF THE PIPE.

DRY UTILITY GENERAL NOTES:

- ALL BENDS SHALL BE SWEEPING.
- FOR FINISHED GRADE AT PAD/PEDESTAL LOCATIONS, RE: DETAILED GRADING PLANS. RAISE PAD ELEVATION TO MEET JURISDICTIONAL STANDARD.

ELECTRIC NOTES:

- ELECTRIC DESIGN IS BY ARCHITECTURAL ENGINEERING CONSULTANTS. INTENT OF UTILITY PLAN(S) IS TO SHOW CONDUIT ROUTING AND EQUIPMENT PLACEMENT ON THE SITE FOR COORDINATION PURPOSES.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH HOLY CROSS ENERGY CONSTRUCTION STANDARDS (LATEST EDITION).
- INDIVIDUAL CONDUITS SHALL BE PROVIDED BETWEEN THE TRANSFORMER AND EACH UNIT.
- ALL ELECTRIC CONDUITS SHALL BE 4" PVC.
- MAINTAIN REQUIRED SEPARATION BETWEEN JUNCTION BOXES, TRANSFORMERS, AND FIBER OPTIC PEDESTALS.

FIBER OPTIC (F.O.) / TELEPHONE NOTES:

- FIBER OPTIC DESIGN IS BY OTHERS. INTENT OF UTILITY PLANS IS TO SHOW CONDUIT ROUTING AND EQUIPMENT PLACEMENT ON THE SITE FOR COORDINATION PURPOSES.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH LUMEN CONSTRUCTION STANDARDS (LATEST EDITION).

CABLE TELEVISION NOTES:

- CABLE TELEVISION DESIGN IS BY OTHERS. INTENT OF UTILITY PLANS IS TO SHOW CONDUIT ROUTING AND EQUIPMENT PLACEMENT ON THE SITE FOR COORDINATION PURPOSES.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH COMCAST CONSTRUCTION STANDARDS (LATEST EDITION).

NATURAL GAS NOTES:

- NATURAL GAS DESIGN IS BY ARCHITECTURAL ENGINEERING CONSULTANTS. INTENT OF UTILITY PLANS IS TO SHOW PIPE ROUTING ON THE SITE FOR COORDINATION PURPOSES.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH BLACK HILLS ENERGY CONSTRUCTION STANDARDS (LATEST EDITION).
- SERVICE LINES WILL BE INSTALLED UNDER INDIVIDUAL BUILDING PERMITS.

SANITARY SEWER NOTES:

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAGLE "PUBLIC WORKS MANUAL" [LATEST REVISION]. ALL SANITARY SEWER CONSTRUCTION SHALL BE INSPECTED BY THE TOWN OF EAGLE PUBLIC WORKS DEPARTMENT.
- ALL SANITARY SEWER LINES SHALL BE SDR 35 POLYVINYL CHLORIDE [PVC] PIPE IN ACCORDANCE WITH ASTM D-3034.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SEWER POINTS OF CONNECTION PRIOR TO CONSTRUCTION OF ANY PROPOSED SEWER.
- FOR ALL PIPE INSTALLATIONS, THE DEPTH OF COVER OVER THE PIPE MEASURED FROM OFFICIAL FINISHED/FINAL GRADE TO THE TOP OF THE PIPE SHALL BE A MINIMUM OF 4.5 FEET AND SHALL BE KNOWN AS THE COVER OVER THE PIPE.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE DONE BY A CONTRACTOR LICENSED BY THE TOWN OF EAGLE. THE ENGINEER, OWNER, AND TOWN OF EAGLE PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ANY PLANNED CONSTRUCTION.
- MAINTAIN A MINIMUM OF TEN [10] FEET HORIZONTAL SEPARATION BETWEEN THE OUTSIDE OF ALL SANITARY SEWER AND WATER MAINS AND SERVICES.
- DISTANCES FOR SANITARY SEWER ARE THE HORIZONTAL DISTANCES BETWEEN THE CENTER OF STRUCTURES. THEREFORE, DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.
- MANHOLE CONES SHALL BE ALIGNED TO PROVIDE A MINIMUM OF THREE [3] FEET CLEARANCE BETWEEN THE MANHOLE RING AND THE LIP OF GUTTER.
- CONTRACTOR TO COORDINATE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITY SERVICE CONNECTIONS TO BUILDING WITH MECHANICAL/PLUMBING PLANS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- ALL SANITARY SEWERS SHALL BE BED PER THE TOWN OF EAGLE PUBLIC WORKS DEPARTMENT'S STANDARD TRENCHING AND BACKFILL DETAIL.
- NO BACKFILL MATERIAL SHALL BE PLACED ABOVE THE SPRINGLINE OF THE PIPE UNTIL A TOWN OF EAGLE PUBLIC WORKS DEPARTMENT REPRESENTATIVE HAS AUTHORIZED BACKFILLING. IT SHALL BE THE DUTY OF THE CONTRACTOR TO NOTIFY THE TOWN OF EAGLE PUBLIC WORKS DEPARTMENT 48 HOURS IN ADVANCE OF PROPOSED BACKFILL OPERATIONS SO A TOWN OF EAGLE PUBLIC WORKS DEPARTMENT REPRESENTATIVE MAY INSPECT THE PIPE AND THE BEDDING PRIOR TO BACKFILLING.
- ALL SANITARY SEWER PIPES SHALL BE INSTALLED WITH INSULATED NO. 12 TYPE UF TAPED ON TOP OF PIPE AS A TRACER WIRE. TRACER WIRE IS TO BE LOOPED UP TO EACH STRUCTURE (MANHOLES AND/OR CLEANOUTS, AS APPLICABLE). A CATHODIC PROTECTION BOX IS TO BE SET ON THE RIGHT HAND SIDE OF EACH STRUCTURE. THE BOX SHALL HAVE A CAST IRON LOCKING LID WITH A THREE AND ONE-HALF INCH [3-1/2" DIAMETER, EIGHTEEN INCH [18"] LONG PVC BODY. THE CAP WILL NEED A TWO-WIRE CONNECTION POST AS A MINIMUM.
- CONTRACTOR SHALL IMMEDIATELY REMOVE DEBRIS DEPOSITED INTO PUBLIC MANHOLES AND OTHER PUBLIC STRUCTURES TO ELIMINATE THE POSSIBILITY OF PROPERTY DAMAGE DUE TO THE DEBRIS CAUSING BACKUP INTO PRIVATE PROPERTIES. IF IT IS DETERMINED THAT DEBRIS CAUSED A BACKUP, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES.
- NO TREES SHALL BE PLANTED WITHIN ANY SEWER EASEMENT OR WITHIN TEN [10] FEET OF ANY PUBLIC MANHOLES, OR PIPES.
- UNLESS NOTED OTHERWISE ON PLANS, INSTALL SIX INCH (6") SERVICE LINES AT 0.0104 FT/FT MINIMUM, 0.0600 FT/FT MAXIMUM SLOPE.

STORM SEWER NOTES:

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAGLE "PUBLIC WORKS MANUAL" [LATEST REVISION]. ALL STORM SEWER CONSTRUCTION SHALL BE INSPECTED BY THE TOWN OF EAGLE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING STORM SEWER POINTS OF CONNECTION PRIOR TO CONSTRUCTION OF ANY PROPOSED STORM SEWER.
- ALL STORM SEWER LINES 12 INCHES IN SIZE AND GREATER SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE) IN ACCORDANCE WITH ASTM F-405.
- ALL STORM SEWER LINES LESS THAN 12 INCHES IN SIZE SHALL BE SDR-35 POLYVINYL CHLORIDE [PVC] PIPE IN ACCORDANCE WITH ASTM D-3034.
- ALL STORM SEWER PIPE JOINTS SHALL BE BELL AND SPIGOT TYPE, INSTALLED WITH AN APPROVED RUBBER GASKET O-RING OR PROFILE TYPE GASKET SO AS TO BE WATER-TIGHT.
- DISTANCES FOR STORM SEWER PIPE ARE THE HORIZONTAL DISTANCES BETWEEN CENTER OF STRUCTURES. THEREFORE, DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.
- ALL STORM SEWER PIPES SHALL BE INSTALLED WITH INSULATED NO. 12 TYPE UF TAPED ON TOP OF PIPE AS A TRACER WIRE. TRACER WIRE IS TO BE LOOPED UP TO EACH STRUCTURE (INLETS, OUTLETS, MANHOLES AND/OR CLEANOUTS, AS APPLICABLE). A CATHODIC PROTECTION BOX IS TO BE SET ON THE RIGHT HAND SIDE OF EACH STRUCTURE. THE BOX SHALL HAVE A CAST IRON LOCKING LID WITH A THREE AND ONE-HALF INCH [3-1/2" DIAMETER, EIGHTEEN INCH [18"] LONG PVC BODY. THE CAP WILL NEED A TWO-WIRE CONNECTION POST AS A MINIMUM.
- CURB INLETS SHALL BE CONSTRUCTED OF PRECAST CONCRETE. CAST-IN-PLACE STRUCTURES SHALL NOT BE ALLOWED.
- DRAIN BASINS SHALL BE AS MANUFACTURED BY NYLOPLAST (OR APPROVED EQUAL). INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED DOCUMENTATION.
- ALL STORM SEWERS SHALL BE BED PER THE TOWN OF EAGLE PUBLIC WORKS DEPARTMENT'S STANDARD TRENCHING AND BACKFILL DETAIL.
- CONTRACTOR SHALL IMMEDIATELY REMOVE DEBRIS DEPOSITED INTO PUBLIC MANHOLES AND OTHER PUBLIC STRUCTURES TO ELIMINATE THE POSSIBILITY OF PROPERTY DAMAGE DUE TO THE DEBRIS CAUSING BACKUP INTO PRIVATE PROPERTIES. IF IT IS DETERMINED THAT DEBRIS CAUSED A BACKUP, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGES.
- NO TREES SHALL BE PLANTED WITHIN ANY UTILITY EASEMENT OR WITHIN TEN [10] FEET OF ANY PUBLIC MANHOLES, PIPES OR INLETS.
- RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE, SUCH THAT THERE IS NO MORE THAN EIGHTEEN [18] INCHES FROM FINISHED GRADE TO THE TOP OF THE CONE SECTION. THE RIM SHALL BE LEFT 1/8-INCH TO 1/4-INCH BELOW FINISHED ASPHALT.
- COORDINATES SHOWN FOR CURB INLETS IS ON FLOWLINE AT CENTER OF INLET. COORDINATES FOR FLARED END SECTIONS ARE AT CENTER OF FLARED END.
- SLOPE OF INLET FLOW LINE OR GRATE TO BE PER THE TOP BACK OF CURB ("TBC") SPOT ELEVATIONS ON THE DETAILED GRADING PLANS.
- CONTRACTOR TO COORDINATE HORIZONTAL AND VERTICAL LOCATIONS OF ROOF DRAIN SERVICES AND DOWNSPOUTS WITH PLUMBING AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

WATER NOTES:

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAGLE "PUBLIC WORKS MANUAL" [LATEST REVISION]. ALL WATER UTILITY CONSTRUCTION SHALL BE INSPECTED BY THE TOWN OF EAGLE PUBLIC WORKS DEPARTMENT.
- ALL WATER UTILITY CONSTRUCTION SHALL BE PERFORMED BY A CONTRACTOR LICENSED IN THE [LOCAL JURISDICTION]. THE ENGINEER, OWNER AND [LOCAL JURISDICTION] SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ANY PLANNED CONSTRUCTION.
- ALL WATER SERVICES FOUR [4] INCHES IN SIZE AND GREATER SHALL BE DUCTILE IRON, MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C151, CLASS 52, WITH BITUMINOUS OUTSIDE COATING (ONE MIL THICK) AND CEMENT MORTAR LINING PER AWWA C104. PIPE JOINTS SHALL BE PUSH-ON TYPE UTILIZING RUBBER RING GASKET IN ACCORDANCE WITH AWWA C111. PIPE SHALL BE SUPPLIED WITH COPPER BONDING STRAPS AND MECHANICAL ATTACHMENT. A #4 CONDUCTOR AND CADWELDS (CHARGE SIZE CA 45) OR THE MANUFACTURERS' SUPPLIED STRAP SHALL BE USED TO BOND EACH JOINT AND FITTING.
- ALL WATER PIPE JOINT FITTINGS SHALL BE MADE FROM ASTM A536, 65-45-12 DUCTILE IRON AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL BE AT A PRESSURE RATING OF 350 PSI AND SHALL BE WRAPPED WITH EIGHT MILLIMETER MINIMUM THICKNESS POLYETHYLENE MATERIAL IN ACCORDANCE WITH AWWA STANDARD C105. TWIST-OFF NUTS, SIZED THE SAME AS THE TEE-HEAD BOLTS, SHALL BE USED TO ENSURE PROPER ACTUATING OF RESTRAINING DEVICES.
- ALL WATER PIPES SHALL BE INSTALLED WITH INSULATED NO. 12 TYPE UF TAPED ON TOP OF PIPE AS A TRACER WIRE. TRACER WIRE IS TO BE LOOPED UP TO EACH HYDRANT. A CATHODIC PROTECTION BOX IS TO BE SET ON THE RIGHT HAND SIDE OF EACH HYDRANT. THE BOX SHALL HAVE A CAST IRON LOCKING LID WITH A THREE AND ONE-HALF INCH [3-1/2" DIAMETER, EIGHTEEN INCH [18"] LONG PVC BODY. THE CAP WILL NEED A TWO-WIRE CONNECTION POST AS A MINIMUM.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST ALL WATER VALVE BOXES TO THE REQUIRED FINAL GRADE. IN ADDITION, VALVE EXTENSIONS SHALL BE INSTALLED SUCH THAT A VALVE KEY SIX [6] FEET IN LENGTH CAN OPERATE THE VALVE.
- NO PIPE SHALL BE BACKFILLED UNTIL IT HAS BEEN INSPECTED BY THE [LOCAL JURISDICTION].
- THE MANUFACTURER SHALL FURNISH A CERTIFIED STATEMENT THAT ALL OF THE SPECIFIED TESTS AND INSPECTIONS HAVE BEEN MADE AND THE RESULTS THEREOF COMPLY WITH THE REQUIREMENT OF THE APPLICABLE STANDARDS HEREIN SPECIFIED. A COPY OF THE CERTIFICATION WILL BE SENT TO THE [LOCAL JURISDICTION] UPON REQUEST.
- DISTANCES FOR WATER ARE THE HORIZONTAL DISTANCE BETWEEN CENTER OF FITTING TO CENTER OF VALVE, METER, ETC. THEREFORE, DISTANCES SHOWN ON THE PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND FITTING DIMENSIONS.
- MAINTAIN A MINIMUM OF TEN [10] FEET HORIZONTAL SEPARATION BETWEEN THE OUTSIDE OF ALL SANITARY SEWER AND WATER MAINS AND SERVICES.
- FOR ALL PIPE INSTALLATIONS, THE DEPTH OF COVER OVER THE PIPE MEASURED FROM OFFICIAL FINISHED/FINAL GRADE TO THE TOP OF THE PIPE SHALL BE A MINIMUM OF SEVEN [7] AND MAXIMUM OF NINE [9] FEET AND SHALL BE KNOWN AS THE COVER OVER THE PIPE.
- FIRE HYDRANTS SHALL CONFORM TO THE [LOCAL JURISDICTION] MATERIALS AND SPECIFICATIONS. FIRE HYDRANT ASSEMBLIES SHALL INCLUDE ALL PIPE, FITTINGS, VALVES, THRUST BLOCKS, RESTRAINTS, AND MATERIALS NECESSARY TO INSTALL THE HYDRANT.
- INSTALL THRUST BLOCKS AT ALL BENDS, STUBS AND TEES IN WATER LINES. ALL BLOW-OFFS, VALVES AND BENDS SHALL BE RODDED OR MECHANICALLY-RESTRAINED PER [LOCAL JURISDICTION] DETAILS AS NOTED OR IF SOIL CONDITIONS ARE UNSTABLE OR AS DIRECTED BY THE [LOCAL JURISDICTION].
- CHLORINATION AND FLUSHING: ALL WATER MAINS SHALL BE CHLORINATED PER [LOCAL JURISDICTION]'S REQUIREMENTS.
- ALL VALVES ARE TO BE LOCATED ON THE PROPERTY LINE EXTENSIONS EXCEPT FOR TAPPING TEES WHERE AN ADDITIONAL VALVE SHALL BE PLACED ON THE TAPPING TEE. OTHER VALVE LOCATIONS MAY BE REQUIRED AS SHOWN ON THE PLANS.
- WHEN IT IS NECESSARY TO LOWER OR RAISE WATER LINES AT STORM DRAINS AND OTHER UTILITY CROSSINGS, A MINIMUM CLEARANCE OF 18 INCHES SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF PIPES.
- PRIOR TO INSTALLATION OF WATER MAINS, ROAD CONSTRUCTION MUST HAVE PROGRESSED TO AT LEAST THE "SUB-GRADE" STATE.
- BEFORE ANY TAPS ARE MADE FROM MAINS, APPLICATION[S] FOR THE TAPS MUST BE RECEIVED AND APPROVED BY THE [LOCAL JURISDICTION].
- INDIVIDUAL SERVICE LINE PRESSURE REGULATING VALVES ARE REQUIRED.
- ALL COMBINATION FIRE LINE AND DOMESTIC TAPS MUST BE INSPECTED AND APPROVED BY THE [LOCAL JURISDICTION] PRIOR TO THE RELEASE OF THE WATER MAINS.
- THE WATER QUALITY CONTROL DIVISION OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT [CDPHE] REQUIRES ALL WATER LINE CONTRACTORS TO POSSESS A CURRENT DISCHARGE PERMIT FOR DISCHARGES OF CHLORINATED AND PROCESS WATERS ASSOCIATED WITH THE INSTALLATION OF NEW MAINS OR CONDUITS. CONTACT CDPHE WATER QUALITY CONTROL DIVISION AT 303-692-3539 FOR INFORMATION ON OBTAINING THE REQUIRED PERMIT.
- CONTRACTOR TO COORDINATE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITY SERVICE CONNECTIONS TO BUILDING WITH MECHANICAL/PLUMBING PLANS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- THE WATER SERVICE SIZE HAS BEEN PROVIDED BY THE PROJECT'S LIFE SAFETY ENGINEER BASED UPON THE DEMANDS OF THE FIRE SUPPRESSION SYSTEM IN CONJUNCTION WITH THE AVAILABLE PRESSURE AND VOLUME FROM THE PUBLIC SYSTEM AT THE CONNECTION POINT.

WAREHOUSE / INDUSTRIAL FACILITY  
629 SAWATCH ROAD  
LOT 4, 700 CHAMBERS SUBDIVISION  
EAGLE, COLORADO

YARNELL CONSULTING & CIVIL DESIGN, LLC

P.O. BOX 3901 EAGLE, COLORADO 81631  
(970) 323-7008

THE DESIGNS SHOWN HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION & MODELS THEREOF, ARE PROPRIETARY & CAN NOT BE COPIED, DUPLICATED, OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE SOLE AND EXPRESS WRITTEN PERMISSION FROM YARNELL CONSULTING & CIVIL DESIGN, LLC.	NAME	DATE	NO.	ISSUE / REVISION	DESIGN BY: J. YARNELL DRAWN BY: J. YARNELL REVIEWED BY: J. YARNELL PROJECT NO.: 23.005 DATE: 1/17/2025
	JULY	12/19/24	1.	SCHEMATIC DESIGN (NO CONST.)	
	JULY	1/17/25	2.	DESIGN DEVELOPMENT (NO CONST.)	
	JULY		3.		
	JULY		4.		
	JULY		5.		

SHEET TITLE

UTILITY NOTES

SHEET NO.

C6.3



DETAILS TO BE INCLUDED IN A FUTURE SUBMITTAL:

- 3" MOUNTABLE CURB & GUTTER
- 6" VERTICAL CURB & GUTTER
- CURB CHASE
- 3' CONCRETE PAN
- 6' CONCRETE PAN

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DESIGN BY:	J. YARNELL	NO.	ISSUE / REVISION	DATE	NAME
DRAWN BY:	J. YARNELL	1.	SCHEMATIC DESIGN (NO CONST.)	12/19/24	JY
REVIEWED BY:	J. YARNELL	2.	DESIGN DEVELOPMENT (NO CONST.)	1/17/25	JY
PROJECT NO.:	23.005	3.			JY
DATE:	1/17/2025	4.			JY
		5.			JY

SHEET NO.  
**C8.1**

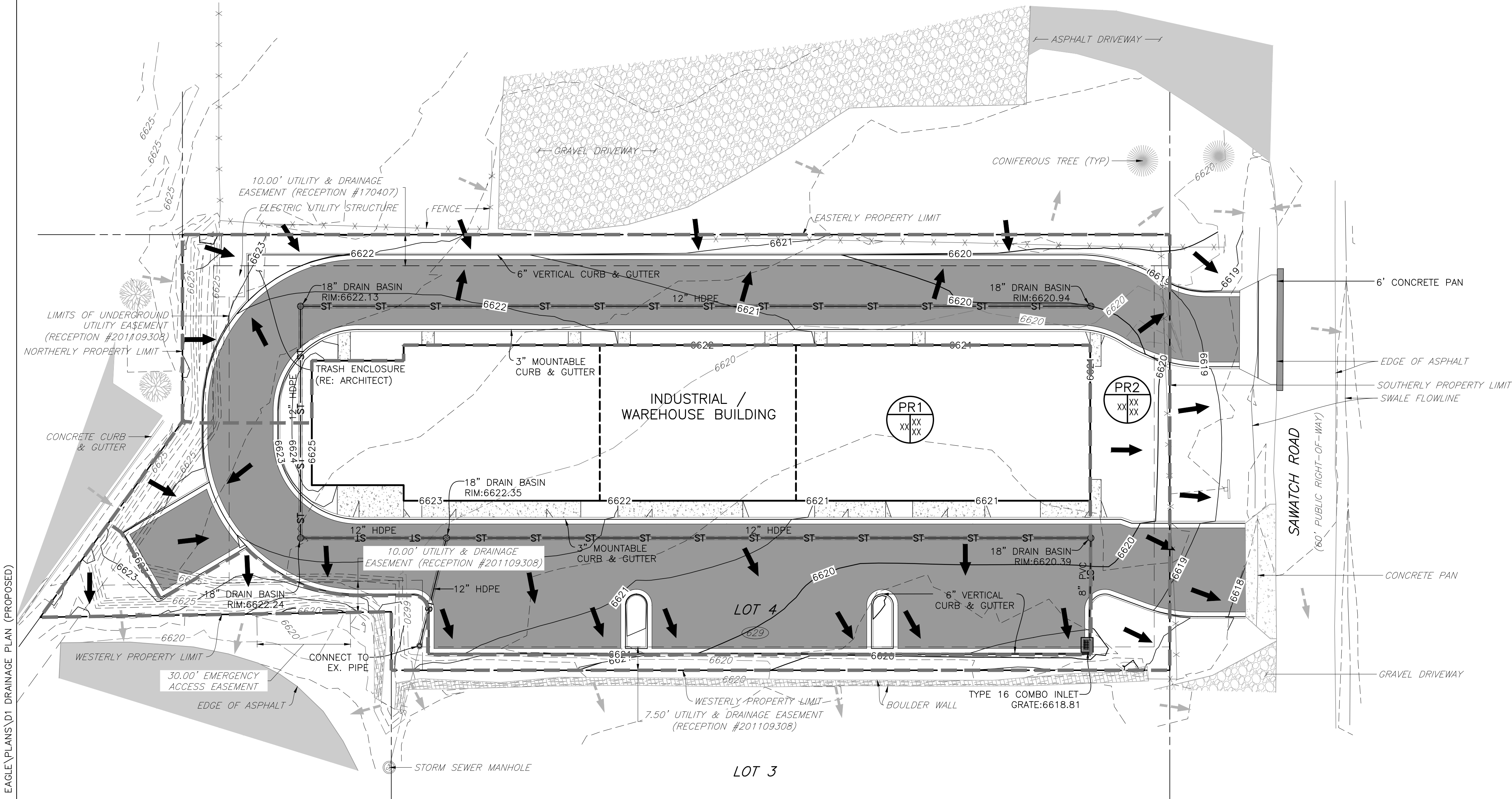
SHEET TITLE  
DETAILS

**YARNELL CONSULTING & CIVIL DESIGN, LLC**  
P.O. BOX 3901, EAGLE, COLORADO 81631  
(970) 323-7008

WAREHOUSE / INDUSTRIAL FACILITY  
629 SAWATCH ROAD  
LOT 4, 700 CHAMBERS SUBDIVISION  
EAGLE, COLORADO



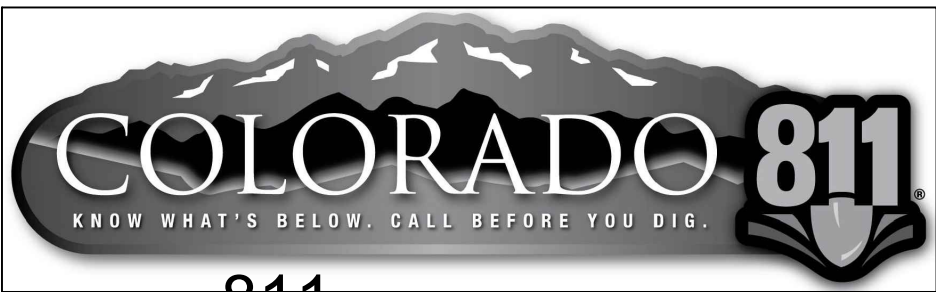
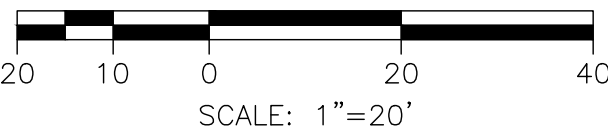
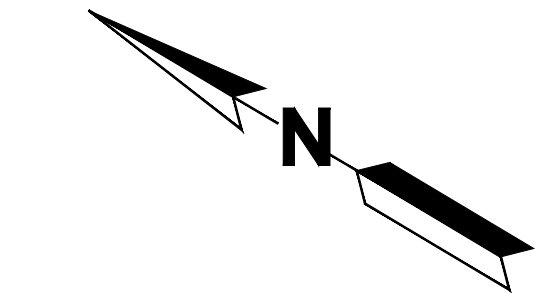
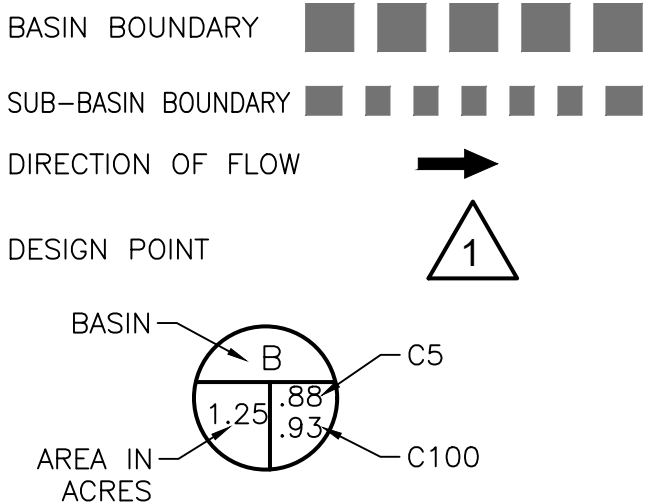
D:\DROPBOX\PROJECT FILES\23.005-629 SAWATCH ROAD, EAGLE\PLANS\01 DRAINAGE PLAN (PROPOSED)



NOTES:

- FOR ADDITIONAL INFORMATION REGARDING THE DRAINAGE PATTERNS AND FLOW RATES FOR THE PROJECT, RE: DRAINAGE REPORT.

LEGEND



CALL 811 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES

ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

THE DESIGNS SHOWN HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION & MODELS THEREOF, ARE PROPRIETARY & CAN NOT BE COPIED, REPRODUCED, OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE SOLE AND EXPRESS WRITTEN PERMISSION FROM YARNELL CONSULTING & CIVIL DESIGN, LLC.

NO.	ISSUE / REVISION	NAME	DATE
1.	SCHEMATIC DESIGN (NO CONST.)	J. YARNELL	12/19/24
2.	DESIGN DEVELOPMENT (NO CONST.)	J. YARNELL	1/17/25
3.		J. YARNELL	
4.		J. YARNELL	
5.		J. YARNELL	

DESIGN BY: J. YARNELL	DATE: 1/17/2025
DRAWN BY: J. YARNELL	
REVIEWED BY: J. YARNELL	
PROJECT NO.: 23.005	

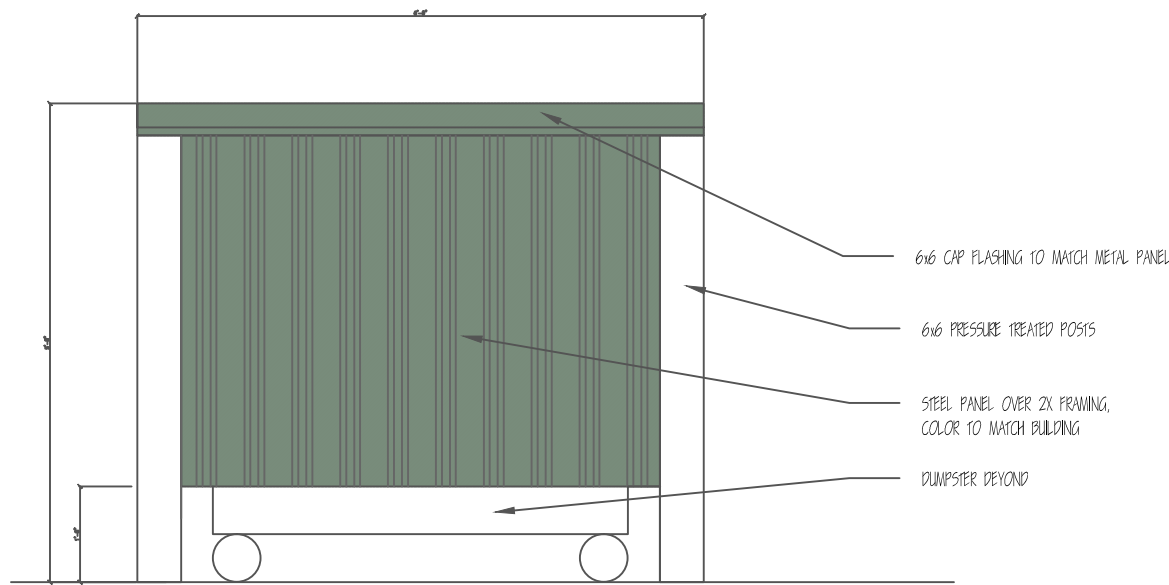
SHEET TITLE  
DRAINAGE PLAN  
(PROPOSED)

SHEET NO.  
D1

YARNELL CONSULTING &  
CIVIL DESIGN, LLC  
P.O. BOX 3901, EAGLE, COLORADO 81631  
(970) 323-7008

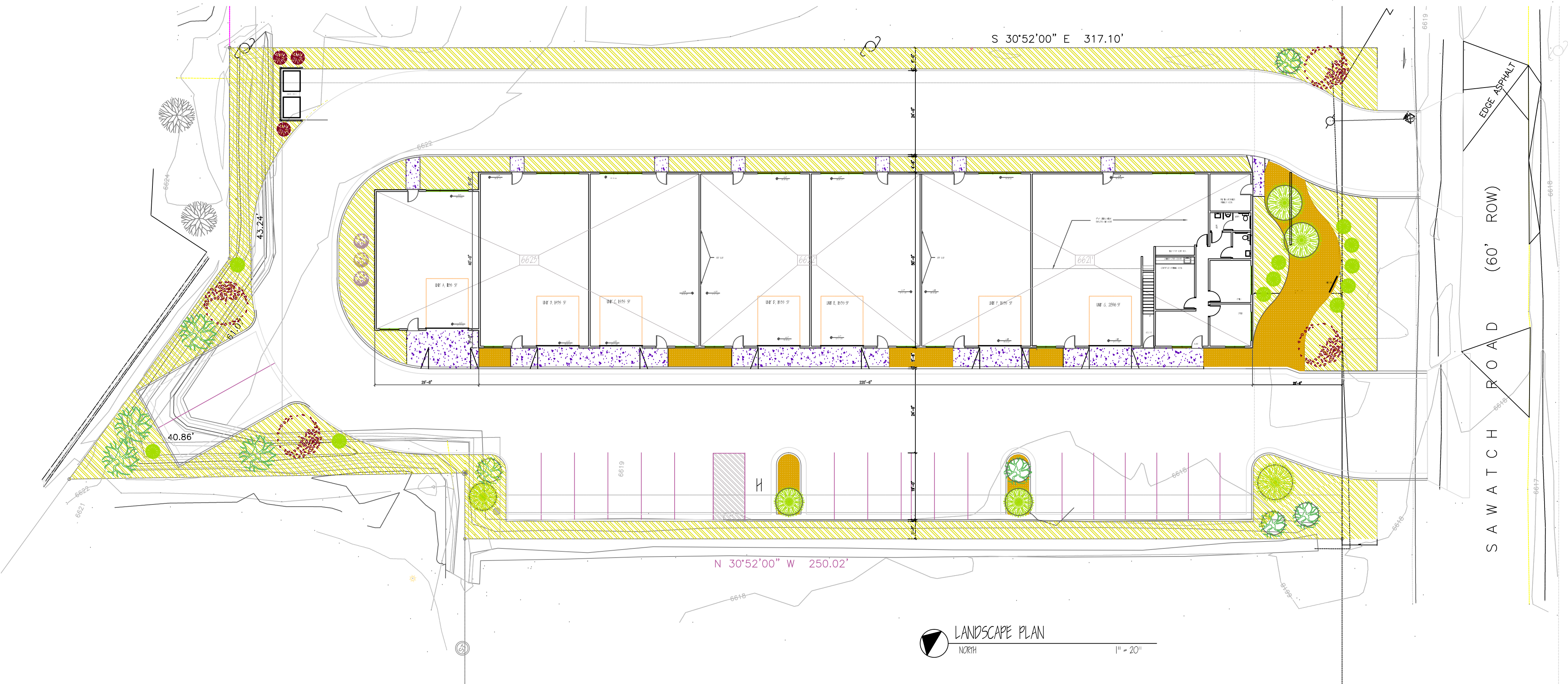
WAREHOUSE /  
INDUSTRIAL FACILITY  
629 SAWATCH ROAD  
LOT 4, 700 CHAMBERS SUBDIVISION  
EAGLE, COLORADO





DUMPSTER ENCLOSURE

1/2" = 1'-0"



LANDSCAPE PLAN  
1" = 20'

PLANT LEGEND				
SYM	QTY	SPACING	NOTES	QTY
1	1	10' x 10'	1	1
2	1	10' x 10'	2	1
3	1	10' x 10'	3	1
4	1	10' x 10'	4	1
5	1	10' x 10'	5	1
6	1	10' x 10'	6	1
7	1	10' x 10'	7	1
8	1	10' x 10'	8	1
9	1	10' x 10'	9	1
10	1	10' x 10'	10	1
11	1	10' x 10'	11	1
12	1	10' x 10'	12	1
13	1	10' x 10'	13	1
14	1	10' x 10'	14	1
15	1	10' x 10'	15	1
16	1	10' x 10'	16	1
17	1	10' x 10'	17	1
18	1	10' x 10'	18	1
19	1	10' x 10'	19	1
20	1	10' x 10'	20	1

IMPERVIOUS COVER BOX ALLOWED	
LOT SIZE = 44,592 SQ. FT. BOX = 35,675 SQ. FT. COVER ALLOWED	
BUILDING AREA	12,204
DRIVEWAY AND PARKING	21,505
SEWER/STORM	1,245
TOTAL IMPERVIOUS	35,142 SQ. FT.
35,142 SQ. FT. / 44,592 SQ. FT. (LOT SIZE) = 78.8%	



NEW ELECTRIC OFFICES AND WAREHOUSE  
629 SAWATCH ROAD  
TOWN OF EAGLE COLORADO

5-17-25 TOE Dev. Pmt  
12-7-25 Revised Dev. Pmt



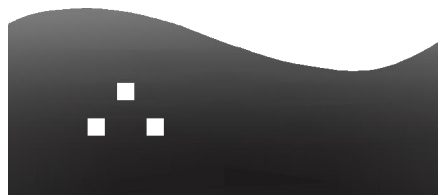
LANDSCAPE PLAN



A2.1





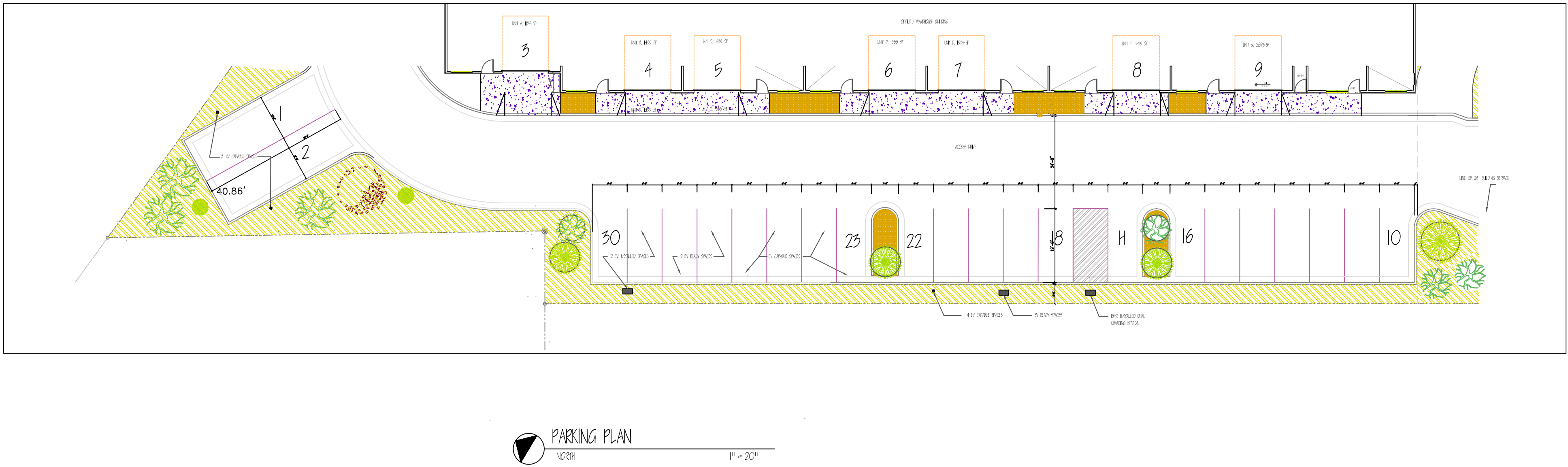


The McKinzie Group

P. O. Box 7  
652 Wall Street  
Eagle Colorado 81691  
Phone: 970-306-1407  
mckinzieeagle@gmail.com



NEW ELECTRIC OFFICES AND WAREHOUSE  
629 SAWATCH ROAD  
TOWN OF EAGLE COLORADO



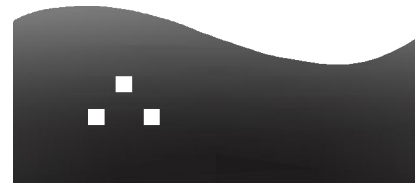
SITE INFORMATION / PARKING ANALYSIS	
IMPERVIOUS COVER 80% ALLOWED	
LOT SIZE = 44,992 SQ. FT. 80% = 35,993 SQ. FT. COVER ALLOWED	
BUILDING AREA	12,214
DRIVEWAY AND PARKING	21,989
SIDEWALKS	1,245
TOTAL IMPERVIOUS	35,142 SQ. FT.
35,142 SQ. FT. / 44,992 SQ. FT. (LOT SIZE) = 78.1%	
PARKING PROVIDED	30 TOTAL
21 EXTERIOR SPACES	
2 EXTERIOR TRUCK SPACES	
7 INTERIOR GARAGE SPACES	
PARKING CALCULATIONS	
NEW ELECTRIC	10 SPACES
FLUORESCENT TENANT LEASE SPACE	
2,214 SQ. FT. OFFICE AT 11/400	6 SPACES
6,641 SQ. FT. WAREHOUSE AT 1 / 1,000	7 SPACES
TOTAL PARKING REQUIRED	23 TOTAL
ELECTRIC VEHICLE CHARGING REQUIREMENTS	
EVSE INSTALLED SPACES AT 2% OF 23 = 1 MIN	2 PROVIDED
EV READY SPACES AT 8% OF 23 = 3 MIN	2 PROVIDED
EV CAPABLE SPACES AT 10% OF 23 = 3 MIN	6 PROVIDED
TOTAL REQUIRED 10,	10 PROVIDED

12-7-25 Revised Dev. Plan

PARKING PLAN

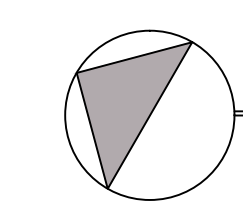
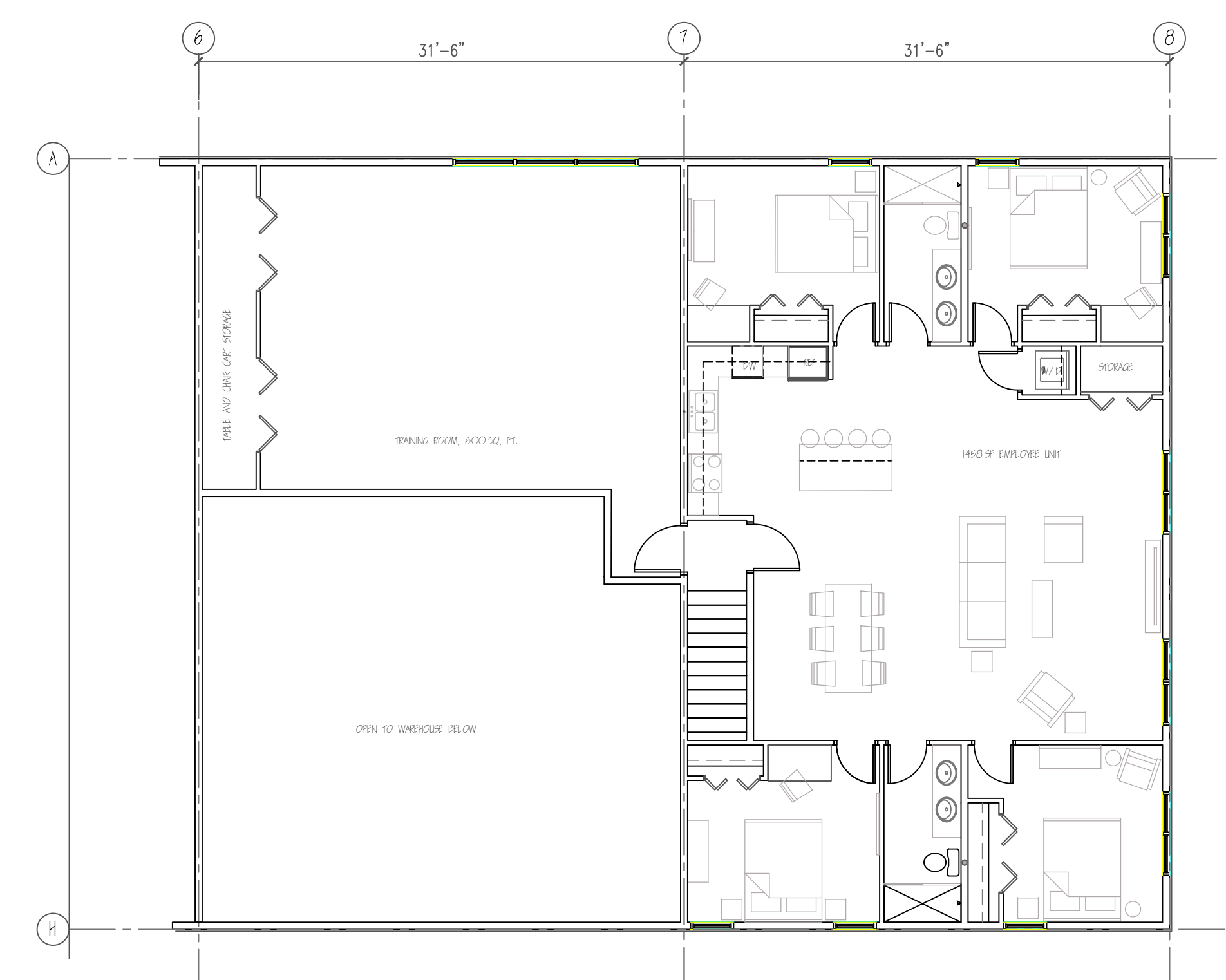
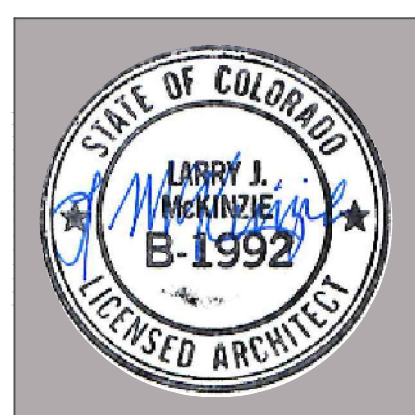
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The McKinzie Group

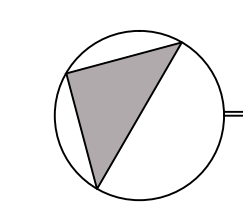
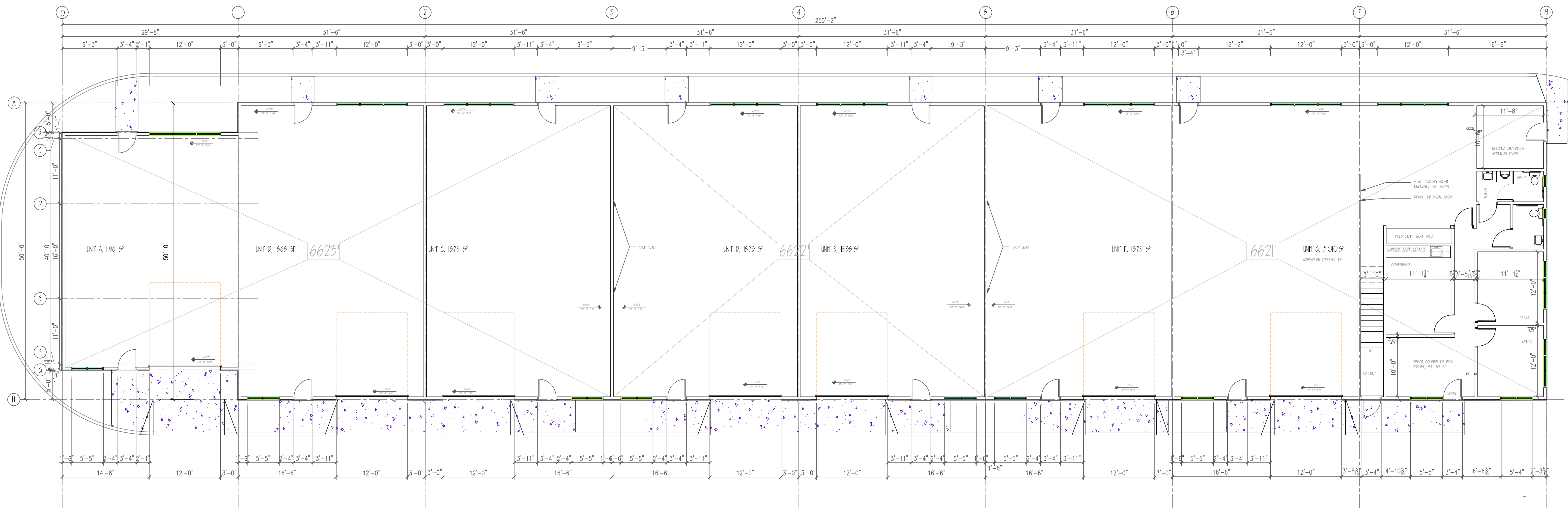
P. O. Box 7  
632 Wall Street  
Pueblo, Colorado 81069  
Phone: 970-506-1407  
mckinzieads@gmail.com



EMPLOYEE UNIT PLAN

1,458 SF

1/8" = 1'-0"



FLOOR PLAN

12,225 GROSS SQUARE FEET

1/8" = 1'-0"

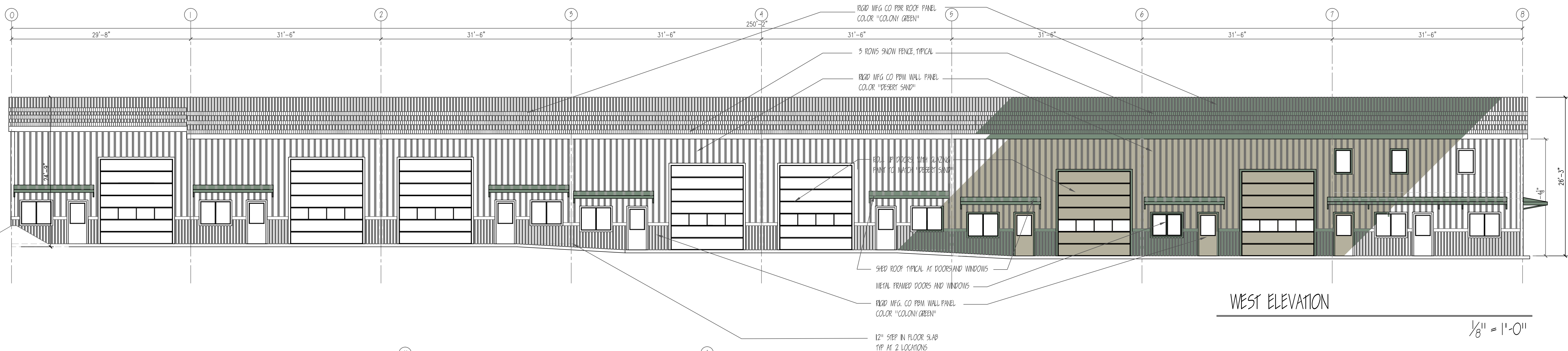
NEW ELECTRIC OFFICES AND WAREHOUSE  
629 SAWATCH ROAD  
TOWN OF EAGLE COLORADO

9-25-25 Development Permit  
12-7-25 Revised Development Permit

FLOOR PLANS

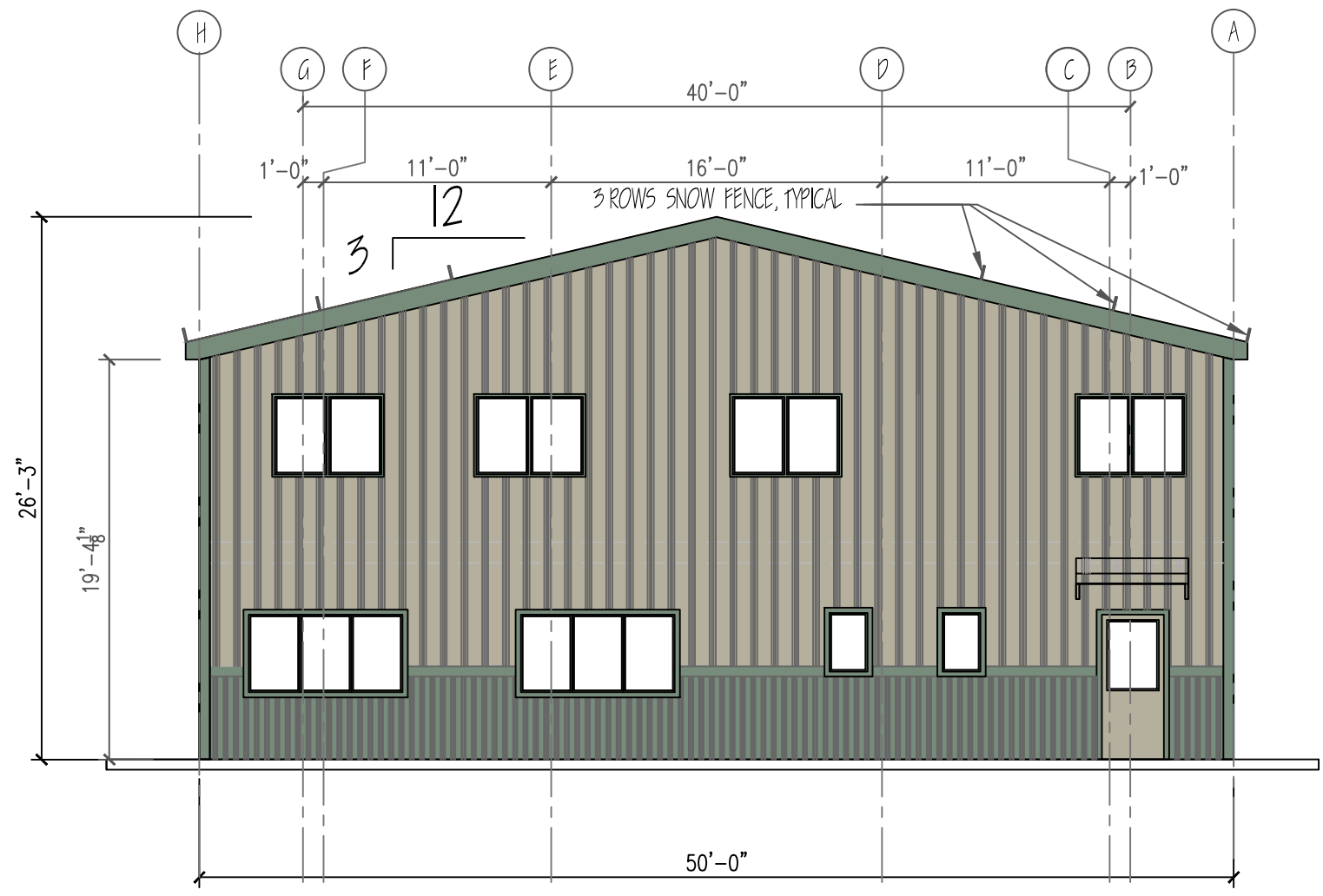
A3.1





WEST ELEVATION

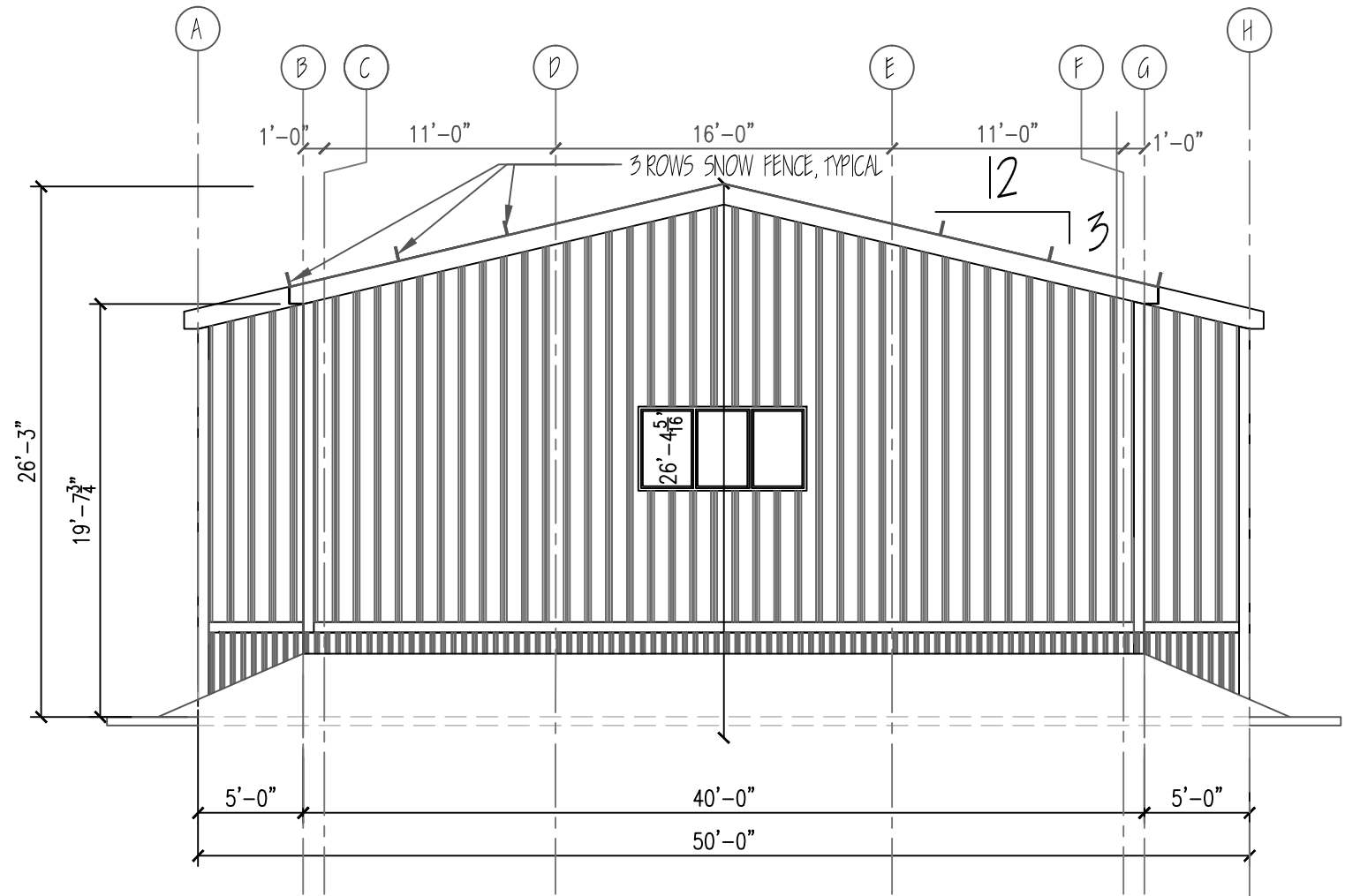
1/8" = 1'-0"



SOUTH ELEVATION

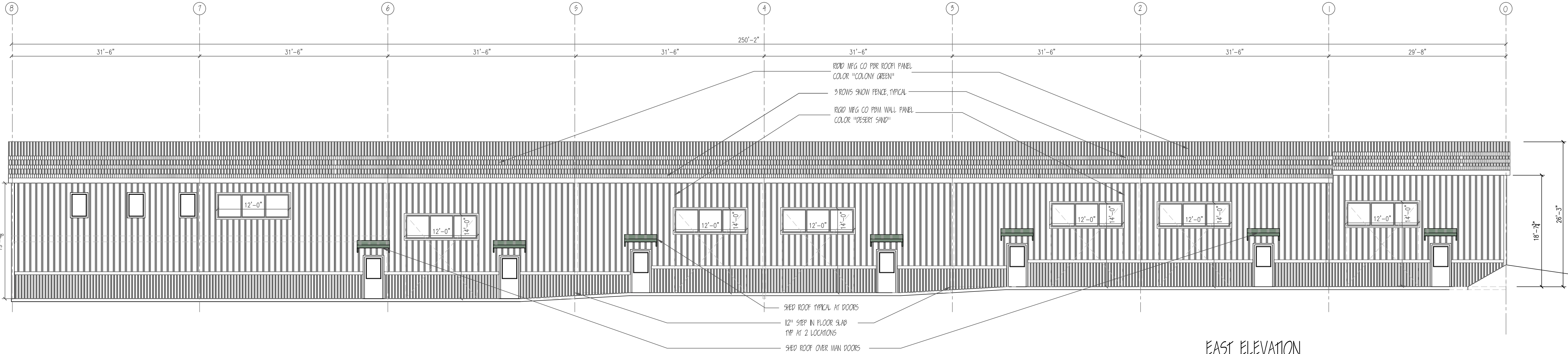
(STREET SIDE)

1/8" = 1'-0"



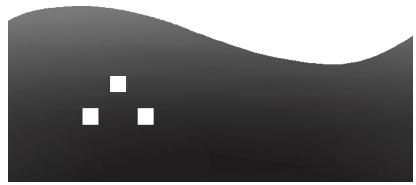
NORTH ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"



The McKinzie Group

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mckinzieads@gmail.com



NEW ELECTRIC OFFICES AND WAREHOUSE  
629 SAWATCH ROAD  
TOWN OF EAGLE COLORADO



8-18-25 Development Permit  
12-7-29 Revised Development Permit



ELEVATIONS



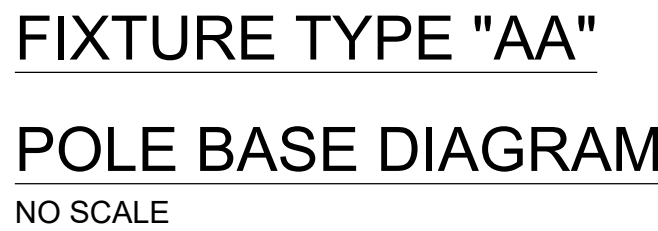
A4.1











UNIT PANEL GAS HEAT									
Demand Load Calculations									
(Per NEC Article 220 Parts I-III)									
	Quantity	Volt-Amps			Demand		Total (VA)		
<u>Lighting</u>									
Lighting	1435 SF	X	1.00	X	100%	=	1435		
<u>Receptacles</u>									
Commercial Areas Rec	1435 SF	X	1.0	=	1435	VA			
POS Rec	0	EA	X	1800	=	0			
Show Window Rec	0	EA	X	1800	=	0			
Receptacle Total	1	LS	X	1435 VA					
1st 10 kVA Receptacle Load at 100%	1	LS	X	1435	X	100%	=	1435	
>10 kVA Receptacle Load at 50%	1	LS	X	0	X	50%	=	0	
<u>Kitchen Equipment</u>									
Microwave	1	EA	X	1200	X	100%	=	1200	
Refrigerator	1	EA	X	1000	X	100%	=	1000	
Coffee	1	EA	X	1500	X	100%	=	1500	
<u>Misc Equipment &amp; Appliances</u>									
Electric Car Chargers	0	EA	X	20000	X	100%	=	0	
Solar PV Equip	0	EA	X	325	X	125%	=	0	
<u>Electric Heating Equipment</u>									
Unit Heaters	0	EA	X	5000	X	100%	=	0	
<u>Mechanical Equipment</u>									
Misc Mech	1	EA	X	5000	X	100%	=	5000	
Water Heater	1	EA	X	5000	X	100%	=	5000	
Add 125% of Max Motor Load	1	EA	X	5000	X	25%	=	1250	
<b>TOTAL</b>								17820	
For 208V, 3-Phase, 4 Wire Service		17820 (VA)	/	361	=	49 AMPS			
For 208V, 1-Phase, 3 Wire Service		17820 (VA)	/	208	=	86 AMPS			

UTILITY  
TRANSFORMER  
PAD MOUNTED  
HCE#1582 P2

2"(4 #500 MCM AL)4"C  
& (PULLWIRE)4"C  
REUSE EXISTING 4"  
CONDUITS ROUTED FROM NW  
CORNER OF PROPERTY TO  
UTILITY TRANSFORMER AS  
FIELD CONDITIONS PERMIT.

METERBANK  
600A, 120/208V, 3P, 4W  
SINGLE AND THREE PHASE OUT  
42kAIC

NO SCALE

NOTE: PROVIDE SHORT CIRCUIT BRACING TO MEET REQUIREMENTS NOTED AT ONE-LINE NOTED AS "A/C AVAILABLE". SERIES RATED COMBINATION ACCEPTABLE, SUBMIT MANUFACTURER'S SERIES RATINGS WITH SHOP DRAWING REVIEW.

CONTRACTOR SHALL VERIFY ALL SERVICE EQUIPMENT BEING USED WITH LOCAL UTILITY. CONTRACTOR IS RESPONSIBLE FOR PROVIDING SERVICE EQUIPMENT THAT IS ACCEPTABLE TO USE THROUGH THE UTILITY AND THE AHJ.



**COOPER**  
Lighting Solutions

P65159223EN page  
March 23, 2022

# WAREHOUSE INDUSTRIAL FACILITY

629 SAWATCH ROAD, EAGLE, COLORADO

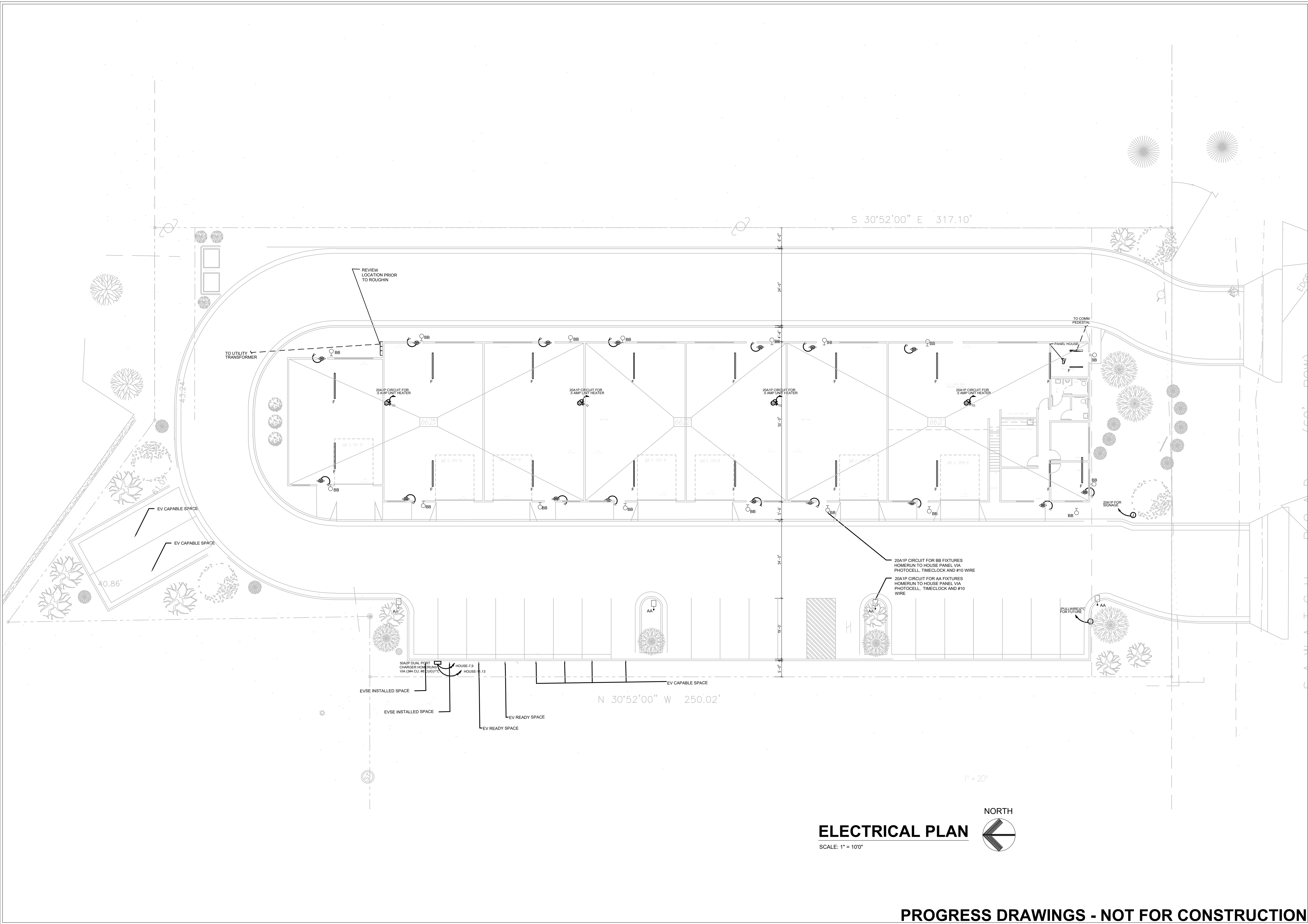
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DATE:	ISSUE:
01/21/25	PROGRESS DRAWINGS
01/30/25	PROGRESS DRAWINGS
05/09/25	PROGRESS DRAWINGS
12/08/25	SITE SUBMITTAL

Drawn By: <b>LGF</b>	Checked By: <b>SOH</b>
-------------------------	---------------------------

# ELECTRICAL ONLINE DIAGRAM & CALCS

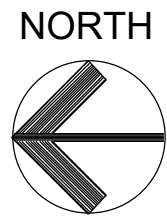
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2 of 4





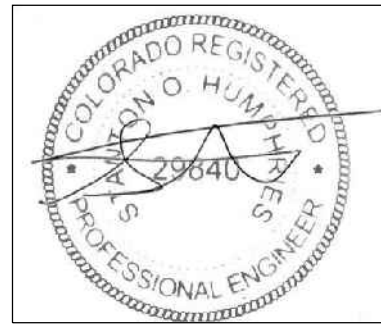
**ELECTRICAL PLAN**

SCALE: 1" = 10'0"



**PROGRESS DRAWINGS - NOT FOR CONSTRUCTION**

**aec**  
Architectural Engineering Consultants  
Mechanical, Electrical & Lighting Design Services  
An Office with LEED™ Accredited Professionals  
PO Box 8489, Avon, Colorado, 81620  
Telephone: 970-748-8520  
www.aec-vail.com



**WAREHOUSE  
INDUSTRIAL  
FACILITY**  
629 SAWATCH ROAD, EAGLE, COLORADO

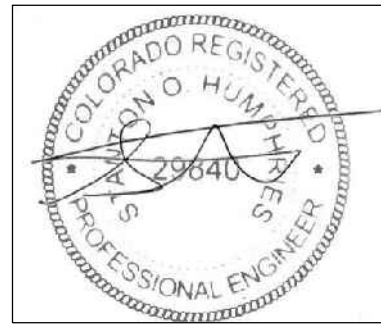
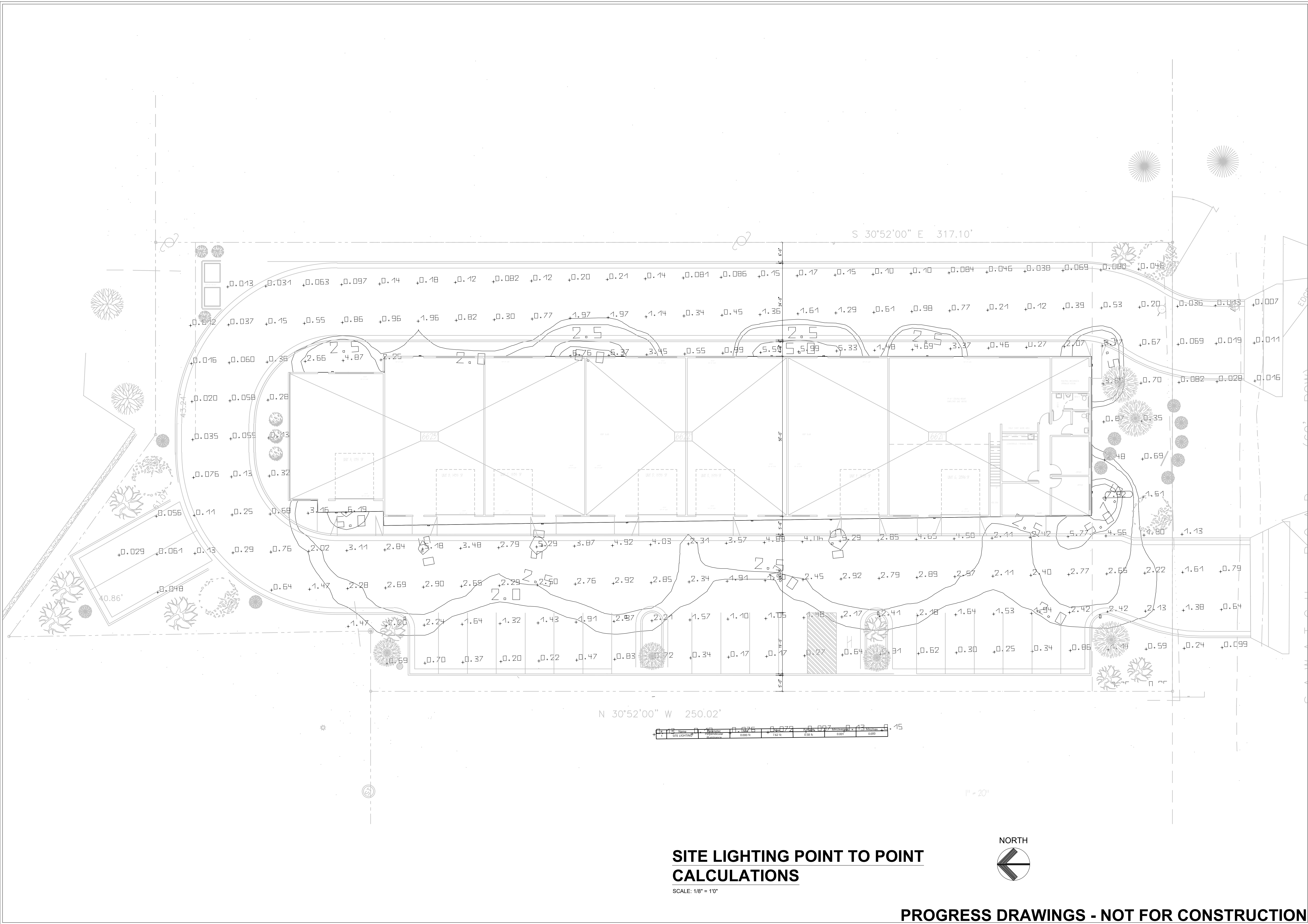
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DATE:	ISSUE:
01/21/25	PROGRESS DRAWINGS
01/30/25	PROGRESS DRAWINGS
05/09/25	PROGRESS DRAWINGS
12/08/25	SITE SUBMITTAL

Drawn By:	Checked By:
LGF	SOH

**MAIN  
LEVEL  
ELECTRICAL  
PLAN**  
SCALE 1/8" = 1'-0"

**E2.0**  
3 of 4  
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**WAREHOUSE  
INDUSTRIAL  
FACILITY**  
629 SAWATCH ROAD, EAGLE, COLORADO

AEC PROJECT #: 24080	
DATE:	ISSUE:
01/21/25	PROGRESS DRAWINGS
01/30/25	PROGRESS DRAWINGS
05/09/25	PROGRESS DRAWINGS
12/08/25	SITE SUBMITTAL

Drawn By:	Checked By:
LGF	SOH

**SITE  
LIGHTING  
POINT TO  
POINT CALCS**  
SCALE 1/8" = 1'-0"