

CHECKED BY: CG, MT
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GENERAL NOTES

1. THE CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF ANY WORK SHOWN ON THESE PLANS. THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
2. DRAWINGS ARE INTENDED TO BE PRINTED ON 24 X 36 PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
3. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
5. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
6. IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
7. CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
8. CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
11. UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
12. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
14. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
15. SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.
16. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
17. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
18. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
20. THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
21. MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
22. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
23. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
24. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
25. THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.

26. THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
27. THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED.
28. OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
29. DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS, DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
30. MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
31. LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKE PRECEDENCE OVER WRITTEN QUANTITIES.
3. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
4. THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
5. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
6. REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
7. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
9. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
10. ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT AS NOTED IN THE MATERIAL SCHEDULE AND/OR TECHNICAL SPECIFICATIONS.
11. TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTRACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
12. THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
13. ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
14. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
15. ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.

LAYOUT NOTES

1. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
2. SHOULD SITE CONDITIONS BE DIFFERENT THAN WHAT IS INDICATED ON THE DRAWINGS CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
3. CURVED WALKS AND CURB EDGES ARE INTENDED TO BE CONSTRUCTED WITH SMOOTH FLOWING CURVES. ANYTHING OTHER THAN SMOOTH FLOWING CURVES WILL BE REJECTED.
4. THE CONTRACTOR SHALL OBTAIN, AT THEIR EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
5. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING WHO WILL PROVIDE SURVEY SERVICES FOR LAYOUT OF THE WORK.
6. THE CONTRACTOR SHALL REVIEW WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT ALL STAKING PRIOR TO SETTING FORMS OR COMPLETING FLATWORK AND PERFORM MINOR MODIFICATIONS AS REQUIRED TO ACHIEVE PROPER DRAINAGE OR ACCESSIBILITY AS REQUIRED FOR THE DESIGN, AT NO ADDITIONAL COST TO THE OWNER.
7. THE CONTRACTOR SHALL INSTALL SLEEVING FOR IRRIGATION IMPROVEMENTS PRIOR TO INSTALLING CONCRETE FLATWORK. REFER TO IRRIGATION PLANS.
8. LAYOUT WALKS, SCORE JOINTS AND PAVING PATTERNS AS CLOSELY AS POSSIBLE TO PLANS, DETAILS, AND SPECIFICATIONS. DO NOT DEVIATE FROM PLANS UNLESS SPECIFIC APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.
9. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK. SEE TECHNICAL SPECIFICATIONS.
10. WHEN APPLICABLE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY FENCING AROUND ALL PLAY STRUCTURES UNTIL PROPER FALL SURFACE IS COMPLETELY INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
11. CONTRACTOR IS RESPONSIBLE FOR SUPERVISING ALL SAFETY SURFACING AND PAVEMENT DURING THE CURING PROCESS.

16. ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS CONTAINING SPECIFIED WOOD MULCH; REFER TO MATERIAL SCHEDULE. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
17. PLANTING BEDS ARE TO BE CONTAINED BY SPECIFIED EDGER; REFER TO MATERIAL SCHEDULE. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
18. PLANTING BEDS TO BE MULCHED WITH SPECIFIED MULCH; REFER TO MATERIAL SCHEDULE.
19. AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
20. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
21. CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
22. ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
23. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
24. SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH SPECIFIED METAL EDGER; REFER TO MATERIAL SCHEDULE.
25. THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.
26. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL IMPROVEMENTS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT.

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LP-502	LANDSCAPE DETAILS		

ABBREVIATIONS

&	AND	INSUL	INSULATION
@	AT	IN	INCH
CL	CENTERLINE	INT	INTEGRAL
Ø	DIAMETER OR ROUND POUND OR NUMBER	INV	INVERT
AB	ANCHOR BOLT	JST	JOIST
AD	AREA DRAIN	JNT	JOINT
ADDM	ADDENDUM	KJ	KEYED JOINT
ADJ	ADJUSTABLE	LP	LOW POINT
AGG	AGGREGATE	LF	LINEAL FEET
ALUM	ALUMINUM	LBS	POUNDS
ALT	ALTERNATE	MAX	MAXIMUM
APPROX	APPROXIMATE	ME	MATCH EXISTING
ASPH	ASPHALT	MECH	MECHANICAL
ARCH	ARCHITECT(URAL)	MEMB	MEMBRANE
		MED	MEDIUM
BOC	BACK OF CURB	MET	METAL
BW	BOTTOM OF WALL	MFG	MANUFACTURER
BS	BOTTOM OF STAIR	MH	MANHOLE
BEV	BEVEL	MID	MIDDLE
BITUM	BITUMINOUS	MIN	MINIMUM
BLDG	BUILDING	MIR	MIRROR
BM	BENCHMARK	MISC	MISCELLANEOUS
BRKT	BRACKET	MTD	MOUNTED
BOT	BOTTOM	MTG	MOUNTING
BSMT	BASEMENT		
BTWN	BETWEEN	N	NORTH
BRLP	BURLAP	NIC	NOT IN CONTRACT
		NO, #	NUMBER
		NOM	NOMINAL
		NTS	NOT TO SCALE
CB	CATCH BASIN		
CF	CUBIC FOOT/FEET	OA	OVERALL
CHAM	CHAMFER	OC	ON CENTER
CIP	CAST IN PLACE	OPP	OPPOSITE
CJ	CONTROL JOINT	OH	OVERHEAD
CL	CENTER LINE		
CMU	CONCRETE MASONRY UNIT(S)	PA	PLANTING AREA
CO	CLEAN OUT	PC	POINT OF CURVATURE
COL	COLUMN	PL	PROPERTY LINE
COMP	COMPACTED	PLBG	PLUMBING
CONC	CONCRETE	PLNTG	PLANTING
COND	CONDITION	PNL	PANEL
CONSTR	CONSTRUCTION	POL	POLISHED
CONT	CONTINUOUS	PR	PAIR
CONTR	CONTRACTOR	PRCST	PRECAST
CTR	CENTER	PSI	POUNDS PER SQUARE INCH
CY	CUBIC YARD(S)	PT	POINT OF TANGENCY
DPTH	DEEP,DEPTH	PTD	PAINTED
DBL	DOUBLE	PVC	POLYVINYL CHLORIDE
DEMO	DEMOLISH, DEMOLITION	PVMT	PAVEMENT
DEP	DEPRESSED		
DEPT	DEPARTMENT	RAD	RADIUS
DET	DETAIL	REF	REFERENCE
DIA	DIAMETER	REINF	REINFORCING
DIM	DIMENSION	REQ	REQUIRED
DN	DOWN	RESIL	RESILIENT
DR	DOOR	ROW	RIGHT OF WAY
DWG	DRAWING	S	SOUTH
		SC	SCALE
E	EAST	SCHD	SCHEDULE
EJ	EACH	SCRN	SCREEN
EA	EXPANSION JOINT	SECT	SECTION
ELEV	ELEVATION	SF	SQUARE FOOT (FEET)
ELEC	ELECTRICAL	SHT	SHEET
ENCL	ENCLOSURE	SG	SUBGRADE
EQ	EQUAL	SQ	SQUARE
EW	EACH WAY	SST	STAINLESS STEEL
EQUIV	EQUIVALENT	STA	STATION
EXIST, EX	EXISTING	STD	STANDARD
FD	FLOOR DRAIN	STL	STEEL
FDN	FOUNDATION	STRC	STRUCTURAL
FF	FACE FOOT	SY	SQUARE YARD
FFE	FINISH FLOOR ELEVATION	SYM	SYMMETRICAL
FIN	FINISHED)		
FG	FINISH GRADE	TC	TOP OF CURB
FL	FLOWLINE	TS	TOP OF STEP/SEAT
FLR	FLOOR	TW	TOP OF WALL
FLASH	FLASHING	TYP	TYPICAL
FT	FOOT, FEET		
FTG	FOOTING	VAR	VARIES
		VERT	VERTICAL
GA	GAUGE	W	WEST
GALV	GALVANIZED	W/	WITH
GC	GENERAL CONTRACT(OR)	WID	WIDTH
GLULAM	GLUE LAMINATED	WL	WATER LEVEL
GND	GROUND	W/O	WITHOUT
GR	GRADE	WT	WEIGHT
		WWM	WELDED WIRE MESH
HT	HEIGHT		
HORIZ	HORIZONTAL		
HP	HIGH POINT		

NORRIS
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WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO

OWNER:
ABRIKA PROPERTIES, LLC

8250 SW 27TH AVE
OCALA FL, 34476
352.854.7753

NOT FOR
CONSTRUCTION

DATE:
08/01/25 MAJOR
DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

SHEET TITLE:
LANDSCAPE
NOTES

LS-001



CHECKED BY: CG, MT
DRAWN BY: BP, CG, LF, NP

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	DROUGHT TOLERANCE
DECIDUOUS CANOPY TREES							
CE OC	4	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	3" CAL.	LOW	HIGH
PO AN	6	POPULUS ANGUSTIFOLIA	NARROWLEAF COTTONWOOD	B & B	3" CAL.	LOW	HIGH
EVERGREEN TREES							
JU SC	10	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	B & B	6" HEIGHT	VERY LOW	HIGH
PI BS	4	PICEA PUNGENS 'GLAUCA'	BLUE COLORADO SPRUCE	B & B	8-10' HT. MIN	LOW	HIGH
PI ED	13	PINUS EDULIS	PINYON PINE	B & B	8-10' HT. MIN	LOW	HIGH
ORNAMENTAL TREES							
AC FL	7	ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	B & B	3" CAL.	LOW	HIGH
AC GL	23	ACER GLABRUM	ROCKY MOUNTAIN MAPLE	B & B	3" CAL.	LOW	MOD
AM SE	9	AMELANCHIER ALNIFOLIA	SERVICEBERRY	B & B	3" CAL.	MOD	HIGH
BE OC	10	BETULA OCCIDENTALIS	WATER BIRCH	B & B	3" CAL.	MOD	HIGH
PO TR	32	POPULUS TREMULOIDES	QUAKING ASPEN	B & B	3" CAL.	MOD	MOD
DECIDUOUS SHRUBS							
AR TR	87	ARTEMISIA TRIDENTATA	BIG SAGEBRUSH	CONT.	#5	VERY LOW	HIGH
CE IN	26	CERCOCARPUS INTRICATUS	LITTLE LEAF MOUNTAIN MAHOGANY	CONT.	#5	LOW	HIGH
CE MO	75	CERCOCARPUS MONTANUS MONTANUS	MOUNTAIN MAHOGANY	CONT.	#5	LOW	HIGH
CH MI	134	CHAMAEBATARIA MILLEFOLIUM	FERNBUSH	CONT.	#5	LOW	HIGH
CH NN	148	CHRYSOTHAMNUS NAUSEOSUS	BABY BLUE RABBITBRUSH	CONT.	#5	LOW	HIGH
CO AL	6	CORNUS ALBA 'ARGENTEOMARGINATA'	VARIEGATED DOGWOOD	CONT.	#5	MOD	HIGH
CR RE	8	CORNUS SERICEA	RED TWIG DOGWOOD	CONT.	#5	MOD	HIGH
CO AF	81	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	CONT.	#5	LOW	HIGH
CO AC	33	COTONEASTER ACUTIFOLIUS (LUCIDUS)	PEKING COTONEASTER	CONT.	#5	LOW	HIGH
HO DU	3	HOLODISCUS DUMOSUS	ROCK SPIREA	CONT.	#5	LOW	HIGH
LO AR	12	LONICERA TATARICA 'ARNOLD'S RED'	ARNOLD'S RED HONEYSUCKLE	CONT.	#5	LOW	HIGH
PH MO	151	PHYSOCARPUS MONOGYNUS	MOUNTAIN NINEBARK	CONT.	#5	LOW	HIGH
PO FR	218	POTENTILLA FRUTICOSA	POTENTILLA	CONT.	#5	LOW	HIGH
PO PB	57	POTENTILLA FRUTICOSA 'PINK BEAUTY'	PINK BEAUTY POTENTILLA	CONT.	#5	LOW	HIGH
RH CI	5	RHUS GLABRA 'CISMONTANA'	WESTERN SMOOTH SUMAC	CONT.	#5	LOW	HIGH
RH TR	3	RHUS TRILOBATA	SKUNKBUSH SUMAC	CONT.	#5	LOW	HIGH
RI AU	92	RIBES AUREUM	GOLDEN CURRANT	CONT.	#5	LOW	HIGH
RO WO	248	ROSA WOODSII	MOUNTAIN ROSE	CONT.	#5	LOW	HIGH
SA GE	53	SALIX GEYERIANA	GEYER WILLOW	CONT.	#5	MOD	HIGH
SO ST	3	SORBARIA SORBIFOLIA STELLIPILA	URAL FALSE SPIREA	CONT.	#5	LOW	HIGH
SY OR	101	SYMPHORICARPOS OREOPHILUS	MOUNTAIN SNOWBERRY	CONT.	#5	LOW	HIGH
SY VU	27	SYRINGA VULGARIS	COMMON PURPLE LILAC	CONT.	#5	LOW	HIGH
EVERGREEN SHRUBS							
JU BL	97	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	CONT.	#5	LOW	HIGH
JU BU	65	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	CONT.	#5	LOW	HIGH
PI GL	30	PICEA PUNGENS 'GLOBOSA'	DWARF GLOBE GREEN SPRUCE	CONT.	#5	LOW	HIGH
PI BI	23	PINUS MUGO 'BIG TUNA'	BIG TUNA MUGO PINE	CONT.	#5	LOW	HIGH
PI TA	59	PINUS MUGO 'TANNENBAUM'	TANNENBAUM MUGO PINE	CONT.	#5	LOW	HIGH
ORNAMENTAL GRASSES							
AN GE	135	ANDROPOGON GERARDII	BIG BLUESTEM	CONT.	#1	LOW	HIGH
FE EB	204	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	CONT.	#1	LOW	HIGH
MI SI	43	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	CONT.	#1	MOD	MOD
PA SH	29	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	CONT.	#1	LOW	HIGH
SC SC	97	SCHIZACHYRIUM SCOPARIUM 'BLAZE'	BLAZE LITTLE BLUESTEM	CONT.	#1	LOW	HIGH
PERENNIALS							
* AC CO	57	ACHILLEA X 'CORONATION GOLD'	CORONATION GOLD YARROW	CONT.	#1	LOW	HIGH
AQ CA	31	AQUILEGIA CAERULEA	ROCKY MOUNTAIN COLUMBINE	CONT.	#1	LOW	HIGH
* LU AL	37	LUPINUS X ALPESTRIS	MOUNTAIN LUPINE	CONT.	#1	LOW	HIGH
PH BI	53	PHLOX BIFIDA	SNOWMASS PHLOX	CONT.	#1	LOW	HIGH
RU FU	67	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK-EYED SUSAN	CONT.	#1	LOW	HIGH
SA SU	65	SALVIA X SUPERBA	PERENNIAL SAGE	CONT.	#1	LOW	HIGH

NOTES:

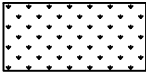
- 1) * INDICATES THIS PLANT IS FOUND ON THE CSU EXTENSION OFFICE'S LOW-FLAMMABILITY LANDSCAPE PLANTS LIST WHICH MEETS THE IDAHO FIREWISE METHODOLOGY FOR RATING A PLANT'S FLAMMABILITY
- 2) THE DESIGN TEAM IS WORKING WITH AN ECOLOGIST FROM BIRCH ECOLOGY TO ENSURE PLANTS BEST FIT THE REQUIRED WATER USE, DROUGHT-TOLERANCE, AND FIREWISE STANDARDS

LANDSCAPE MATERIAL SCHEDULE

CODE	DESCRIPTION	PRODUCT NAME	SUPPLIER/MANUFACTURER	MODEL #	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
M-01	WOOD MULCH	CASCADE CEDAR MULCH	SITEONE OR APPROVED EQUAL	BUMU-0131	NATURAL	SEE PLANS FOR AREA	1 / LP-501 2 / LP-501 3 / LP-501	TO BE PLACED IN TREE PLANTING RINGS AND PERENNIAL/ORNAMENTAL GRASS AREAS AT 3" MIN. DEPTH. WEED BARRIER NOT REQUIRED
M-02	COBBLE MULCH	BULK RIVER ROCK LOCAL (COLORADO)	SITEONE OR APPROVED EQUAL	DAGG-5320-TN	NATURAL COLORADO	1-1/2"	N/A	TO BE PLACED IN AREAS INDICATED ON PLAN AT 4" MIN. DEPTH OVER WEED BARRIER, MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES
M-03	CRUSHER FINES	BULK TAN BREEZE	SITEONE OR APPROVED EQUAL	CAGG-0224	TAN	SEE PLANS	7 / LP-501	4" MIN. DEPTH OVER COMPACTED SUBGRADE, STABILIZER TO BE ADDED
M-04	DECORATIVE ROCK MULCH	BULK PIONEER BLUE	SITEONE OR APPROVED EQUAL	DAGG-5196	BLUES AND GREYS	1-1/2"	N/A	TO BE PLACED IN AREAS INDICATED ON PLAN AT 4" MIN. DEPTH OVER WEED BARRIER, MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES
M-05	METAL EDGER	METAL EDGER	DURAEDGE OR APPROVED EQUAL	ROLLED TOP EDGE	POWDER COAT GREEN	4" X 14 GAUGE	6 / LP-501	TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS. REFER TO GENERAL LANDSCAPE NOTES
M-06	LANDSCAPE BOULDERS	SILOAM STONE, MIX	SILOAM STONE INC. OR APPROVED EQUAL	N/A	NATURAL	MIX OF 3'-5' DIA.	1 / LP-502	REFER TO DETAIL
M-07	STONE SLAB	STONE SLABS	SILOAM STONE INC. OR APPROVED EQUAL	N/A	NATURAL	18" W X 24" H X 4' L	3 / LP-502	REFER TO DETAIL

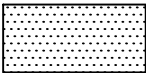
AMENITY SCHEDULE

CODE	DESCRIPTION	PRODUCT NAME	MANUFACTURER	MODEL #	COLOR / FINISH	SIZE / DIMENSIONS	NOTES
S-01	PICNIC TABLES	MIDVALE PICNIC TABLE	THOMAS STEEL OR APPROVED EQUAL	MVT-8HCS-WI-P	MATERIAL: IPE; POWDER COAT: BEIGE GRAY	8' ADA	SURFACE MOUNT, INSTALL PER MANUFACTURERS SPECIFICATIONS
S-02	BIKE RACK	U BIKE RACK	MADRAX OR APPROVED EQUAL	U190-IG-ES	BEIGE GRAY POWDER COAT	1-7/8"	IN GROUND MOUNTED; INSTALL PER MANUFACTURERS SPECIFICATIONS
S-03	PERGOLA	TOSA PERGOLA	STURDESIGN OR APPROVED EQUAL	TOSA E	PURLINS: WOOD GRAIN ALUMINUM, POWDER COAT: DARK TAUPE SATIN	10' W X 18' L X 8' H	INSTALL PER MANUFACTURERS SPECIFICATIONS



LOW GROW NATIVE SEED MIX

COMMON NAME	SCIENTIFIC NAME	PLS LBS PER ACRE	PERCENT PER ACRE
REGREEN		8.0	26.8%
BLUE FESCUE	FESTUCA GLAUCA	4.4	14.7%
BLUE GRAMA	BOUTELOUA GRACILIS	3.3	11.1%
ROCKY MOUNTAIN FESCUE	FESTUCA SAXIMONTANA	3.3	11.1%
CANBY BLUEGRASS	POA SECUNDA 'CANBAR'	3.3	11.1%
INDIAN RICEGRASS	ORYZOPSIS HYMENOIDES	2.2	7.4%
SANDBERG BLUE	POA SECUNDA	2.2	7.4%
SIDEOATS GRAMA	BOUTELOUA CURTIPENDULA	2.2	7.4%
BIG BLUEGRASS	POA SECUNDA SSP. AMPLA	0.45	1.5%
BOTTLEBRUSH SQUIRRELTAIL	ELYMUS ELYMOIDES	0.45	1.5%
TOTAL		29.8	100%
- SLOPES OVER 3:1 SHALL BE HAYED AND TECKIFIED, NETTED, OR HYDROMULCHED			
- SPREAD SEED AT A RATE OF 29.8 LBS PER ACRE			



SHORT DRY GRASS NATIVE SEED MIX

COMMON NAME	PLS LBS PER 1000 SF	PERCENT PER SF
HARD FESCUE, VNS	0.6	24%
CREEPING RED FESCUE, VNS	0.6	24%
QUICKGUARD STERILE TRITICALE	0.5	20%
SHEEP FESCUE, MEKLENBERGER	0.5	20%
CANADA BLUEGRASS, RUBENS	0.2	8%
CANBY BLUEGRASS, CANBAR	0.1	4%
TOTAL	2.5	100%
- SLOPES OVER 3:1 SHALL BE HAYED AND TECKIFIED, NETTED, OR HYDROMULCHED		
- SPREAD SEED AT A RATE OF 2.5 LBS PER 1000 SF		





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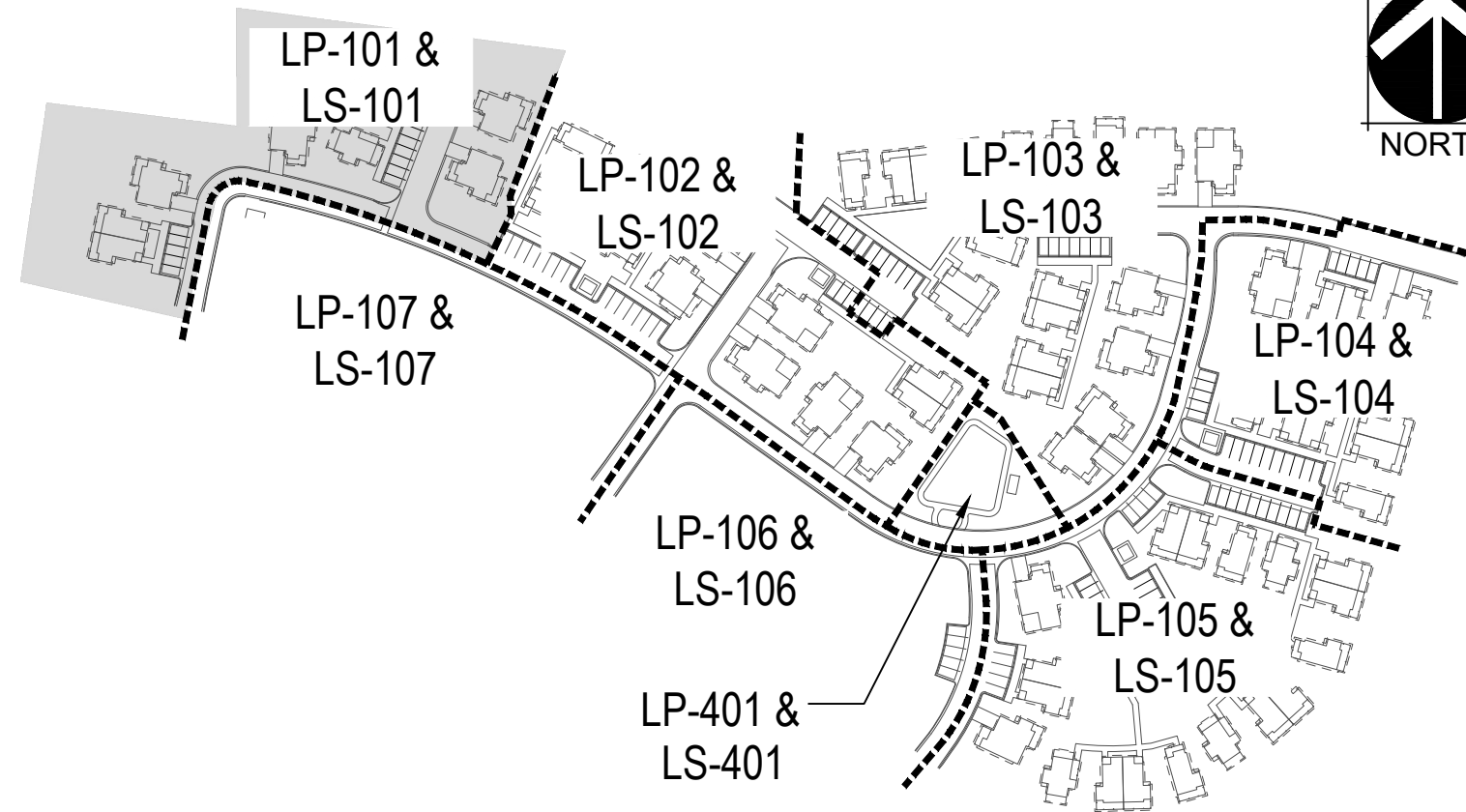
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DATE:
08/01/25 MAJOR
DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

SHEET TITLE:
HARDSCAPE
PLAN

LS-101

KEY MAP



LEGEND

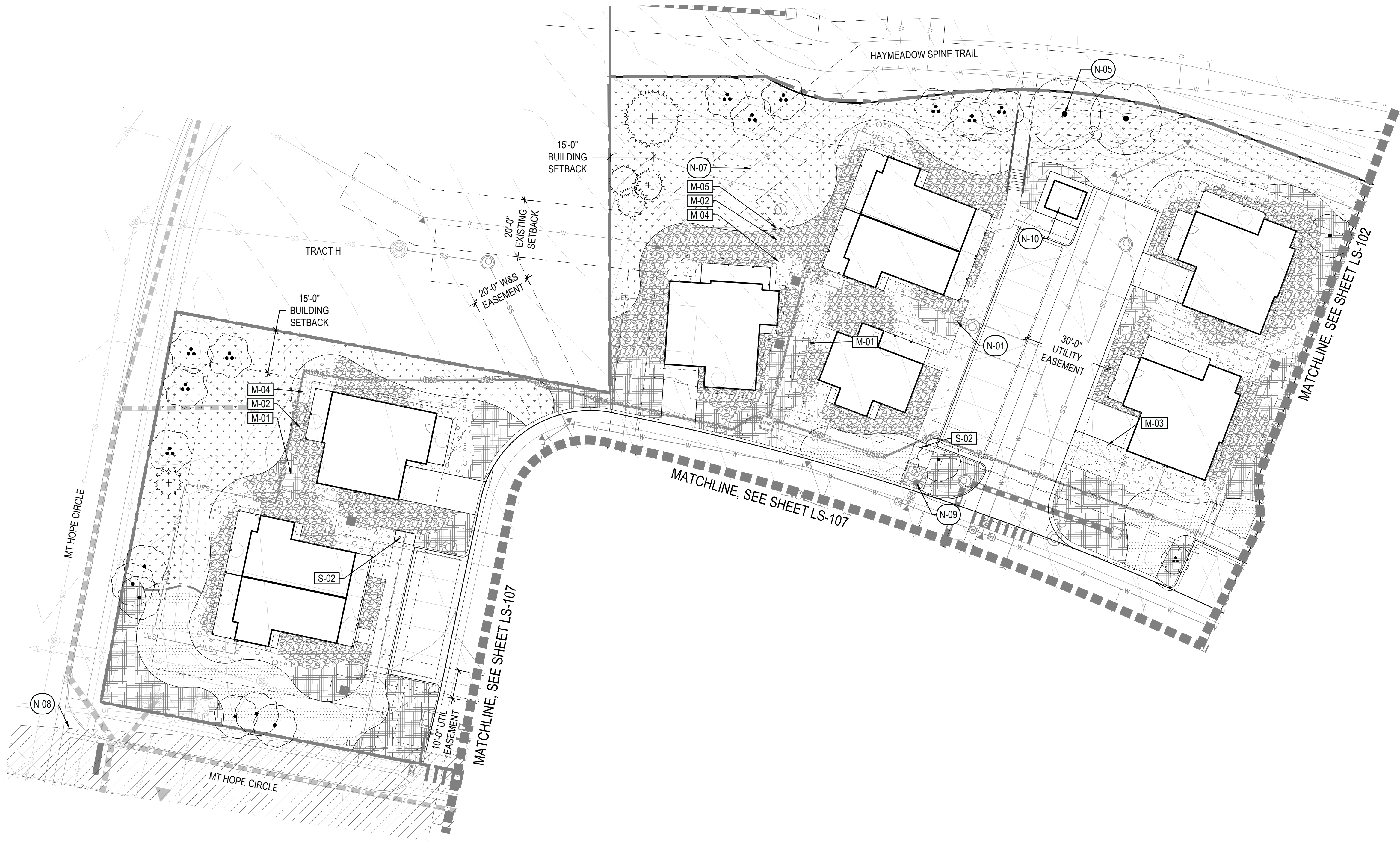
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	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
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	TEMPORARY SEED MIX

SYMBOL	CODE	DESCRIPTION
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	M-02	COBBLE MULCH
	M-03	CRUSHER FINES
	M-04	DECORATIVE ROCK MULCH
	M-05	METAL EDGER
	M-06	LANDSCAPE BOULDERS
	M-07	STONE SLAB

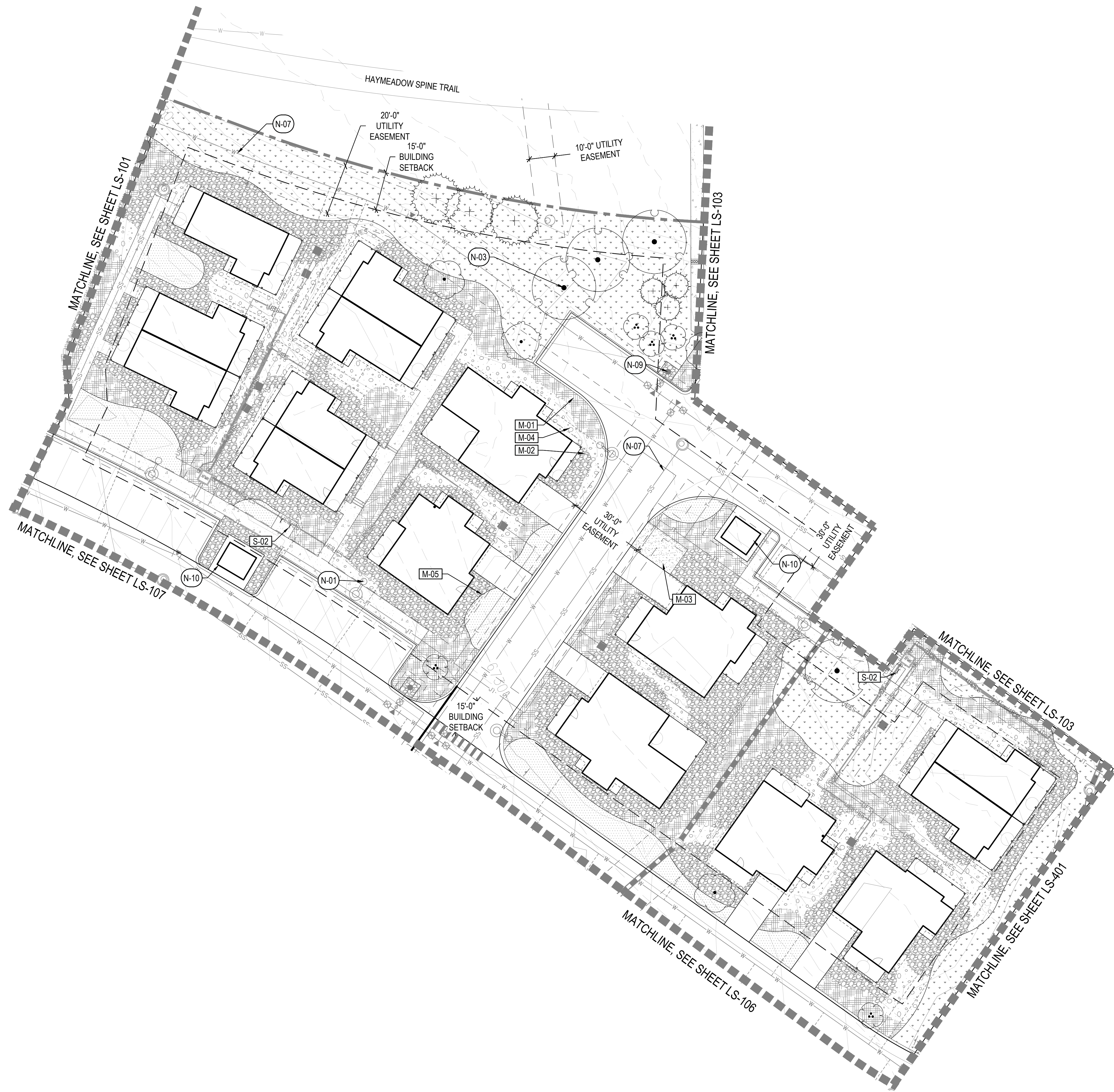
SYMBOL	CODE	DESCRIPTION
	S-01	PICNIC TABLES
	S-02	BIKE RACK
	S-03	PERGOLA

KEY NOTES

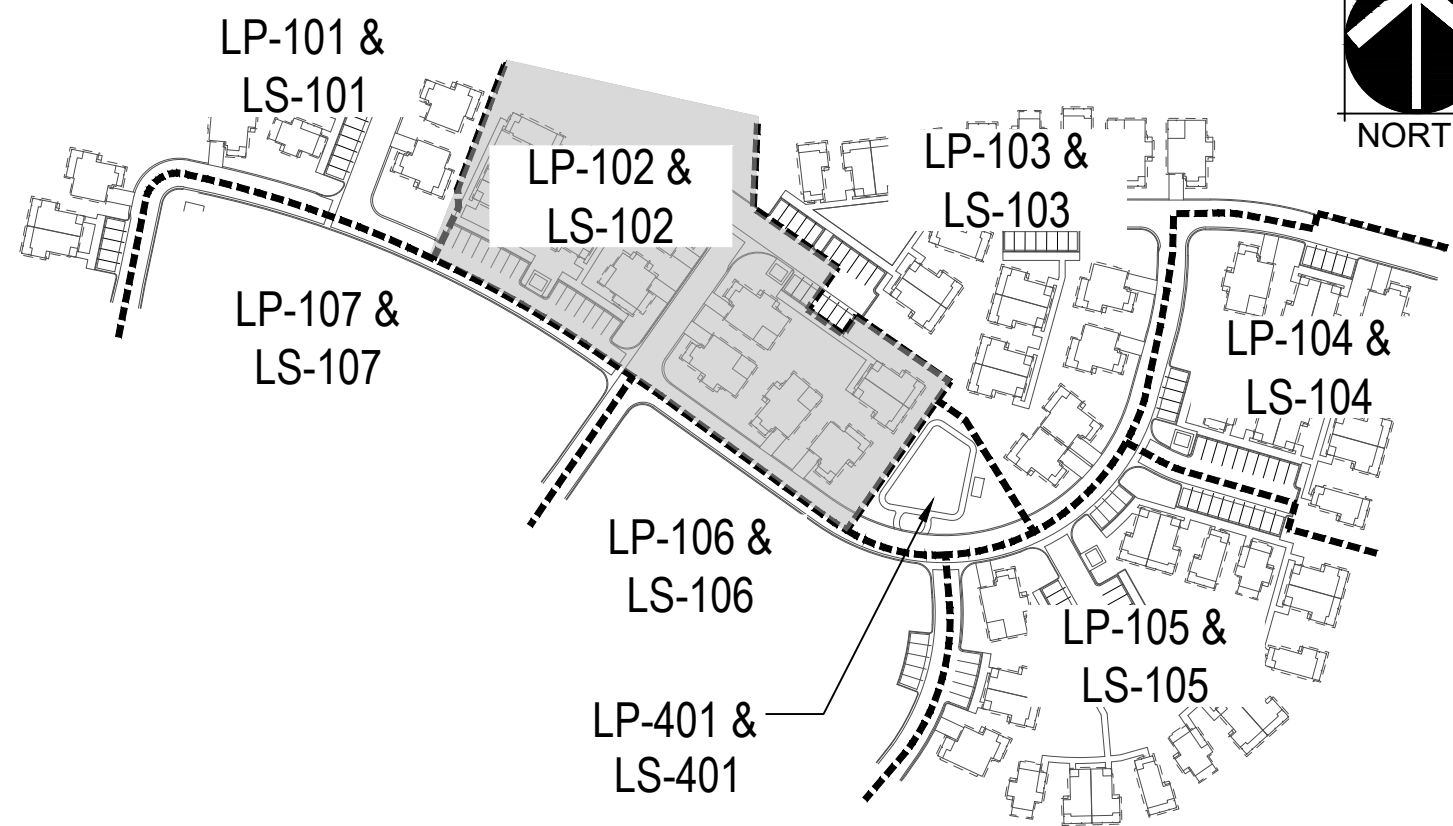
CODE	DESCRIPTION	DETAIL
N-01	PEDESTRIAN LIGHT , TYP.	RE: PHOTOMETRICS
N-02	BOULDER RETAINING WALL	2 / LP-502
N-03	TREE PLANTING	1 / LP-501
N-04	SHRUB PLANTING	2 / LP-501
N-05	TREE PLANTING ON SLOPE	3 / LP-501
N-06	CIP CONCRETE WALL	TBD
N-07	PROPOSED UTILITIES, TYP.	RE: CIVIL
N-08	SIGHT TRIANGLES, TYP.	RE: CIVIL
N-09	FIRE HYDRANT, TYP.	RE: CIVIL
N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL



CHECKED BY: CG, MT
DRAWN BY: BP, CG, LF, NP



KEY MAP



LEGEND

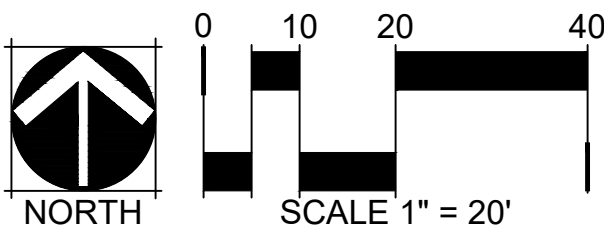
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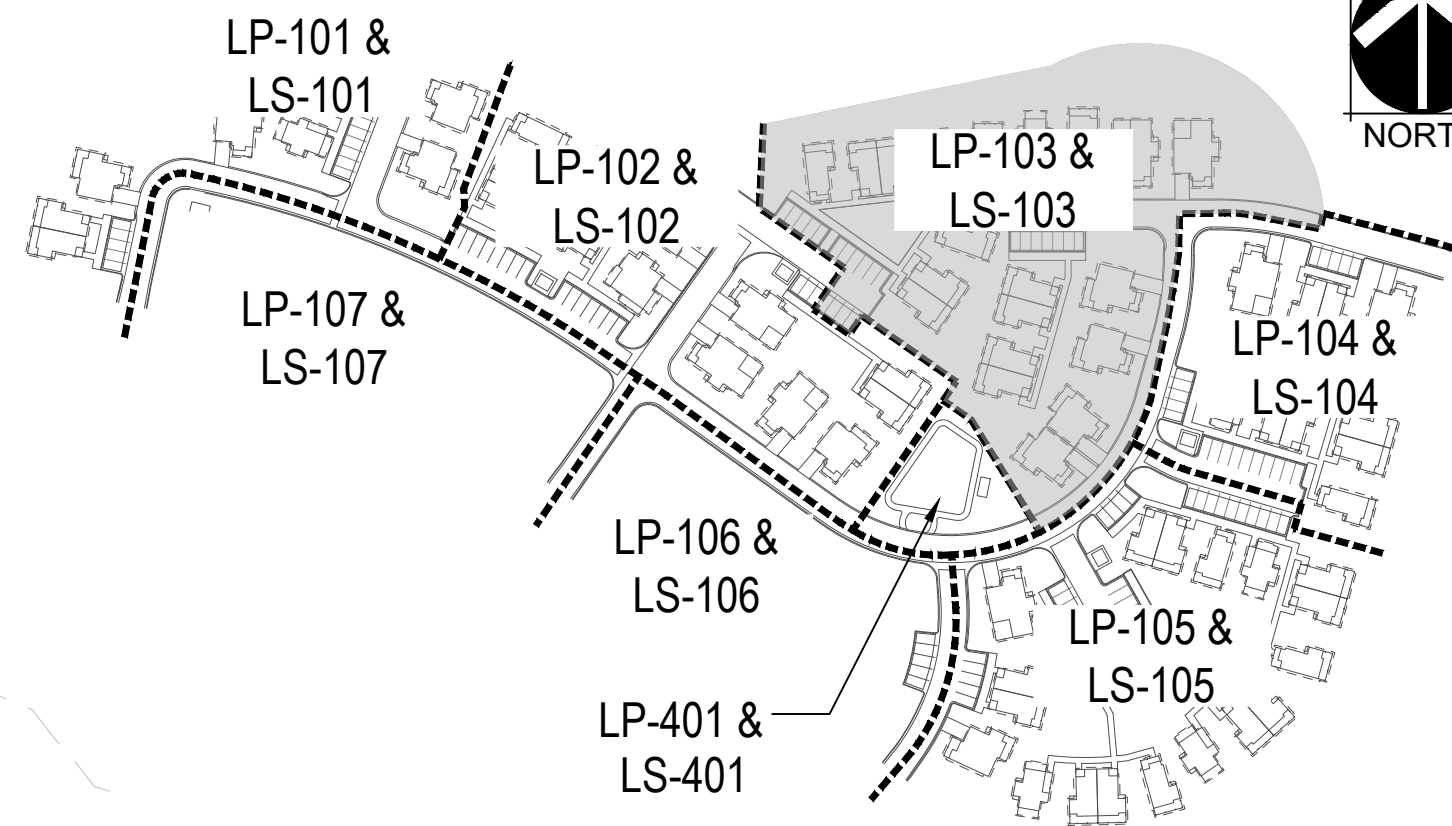
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LS-103

KEY MAP



LEGEND

	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
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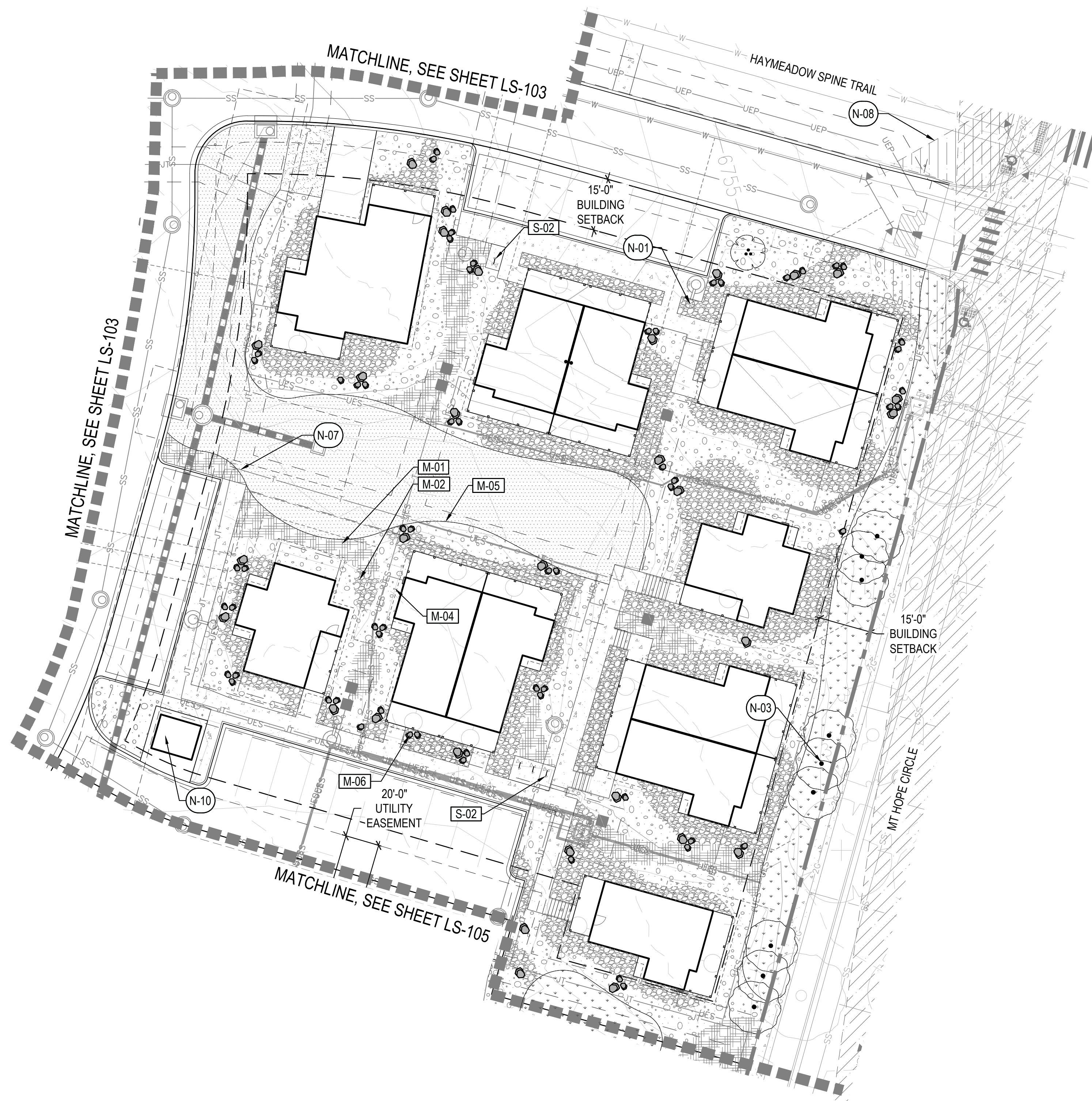
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	S-03	PERGOLA

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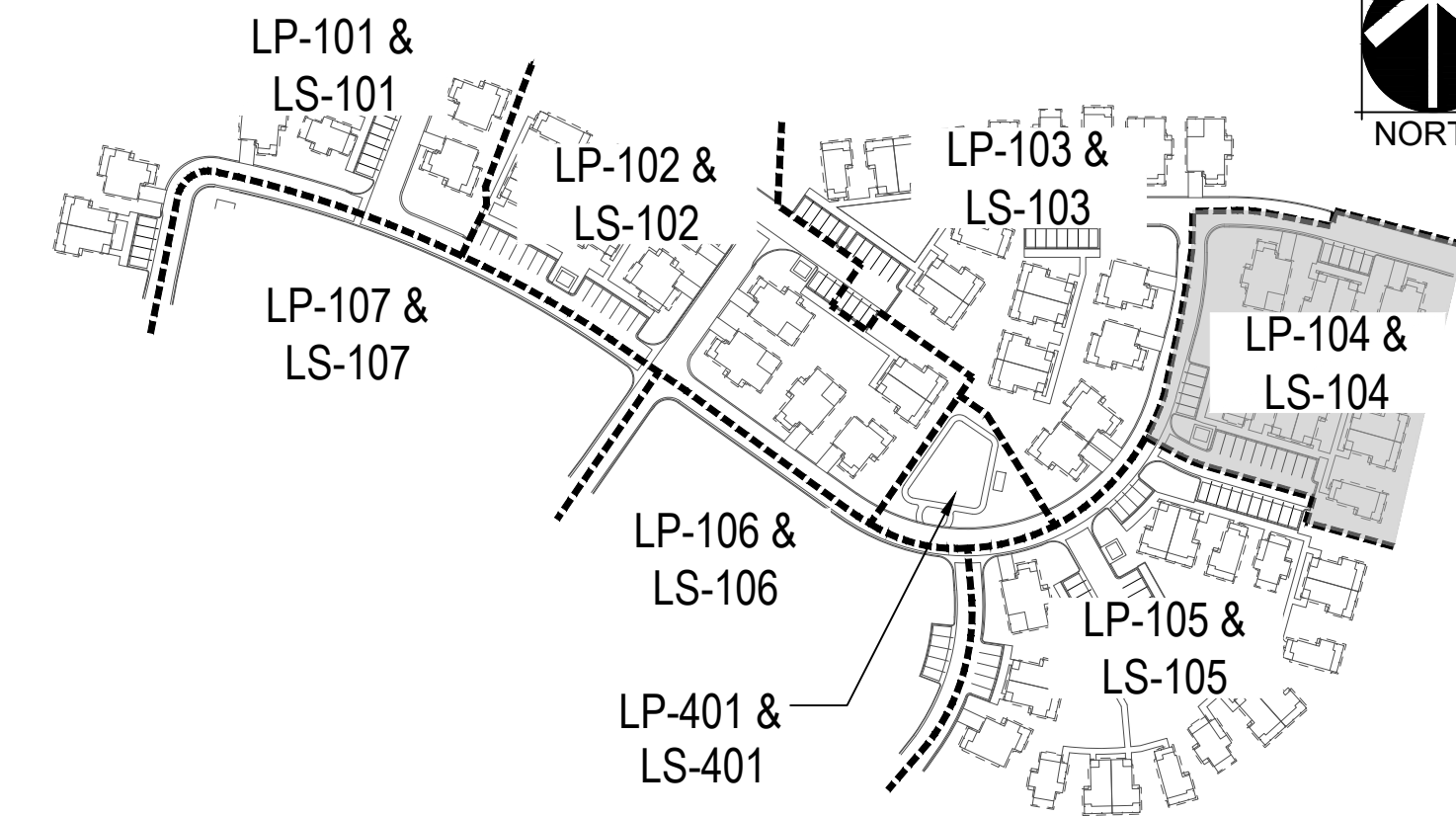
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CHECKED BY: CG, MT
DRAWN BY: BP, CG, LF, NP



KEY MAP



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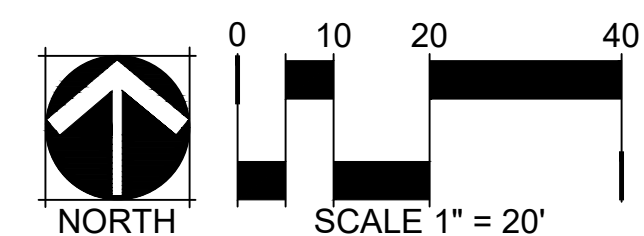
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LS-104

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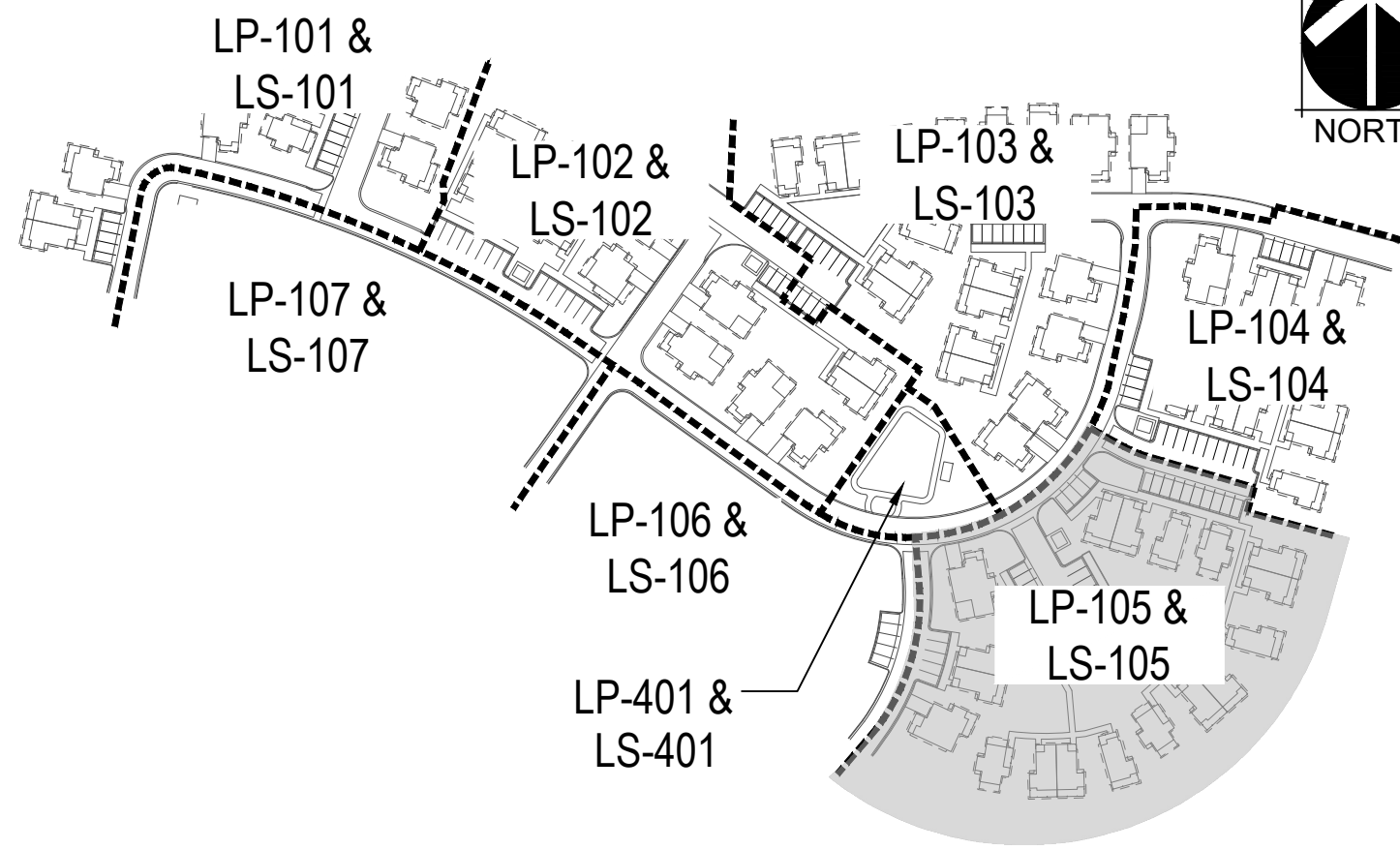
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HARDSCAPE
PLAN

LS-105

KEY MAP



LEGEND

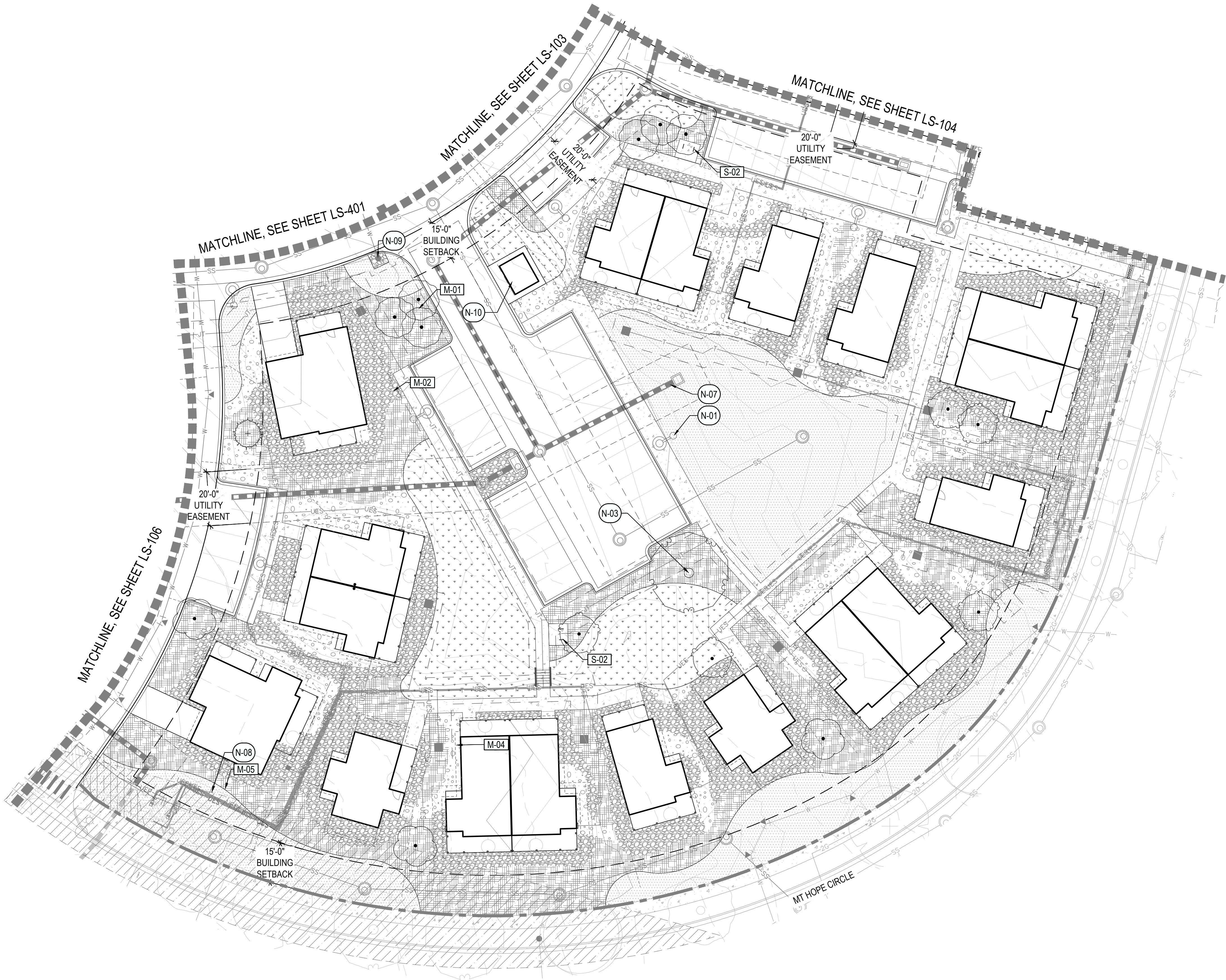
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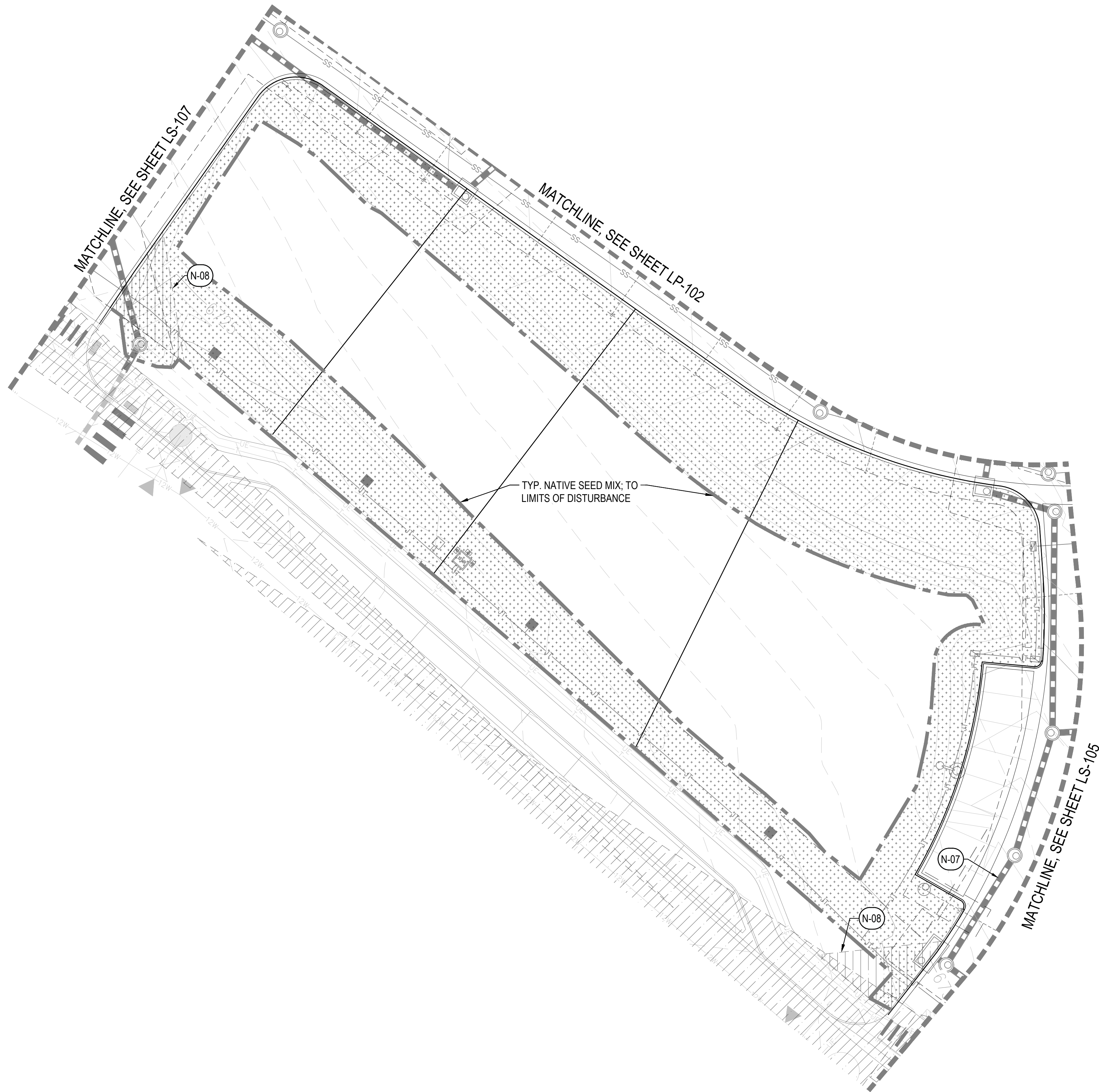
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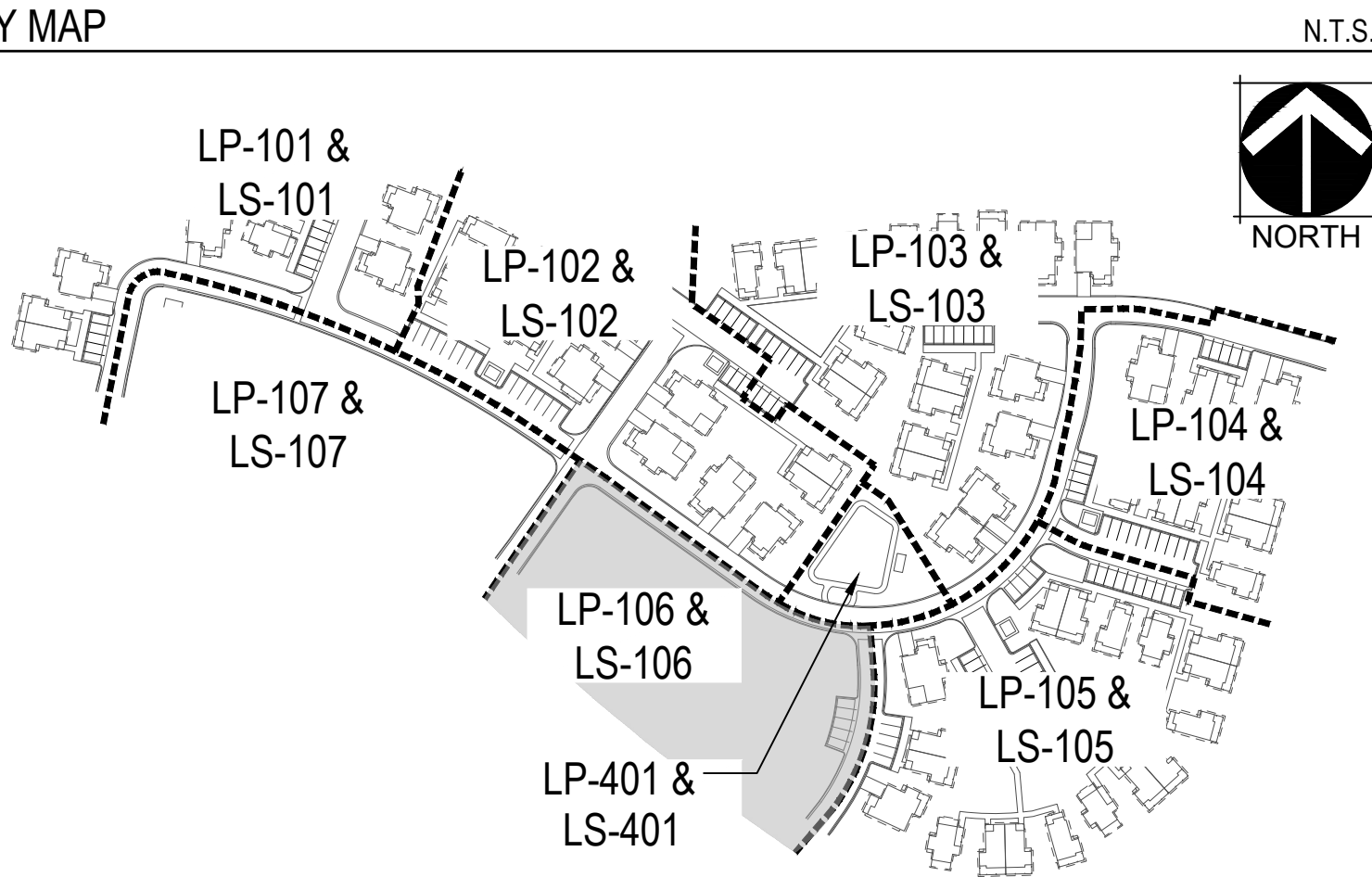
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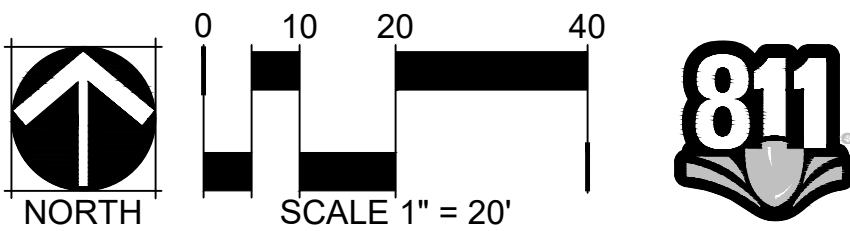
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	SHORT DRY GRASS NATIVE SEED MIX
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	TEMPORARY SEED MIX

SYMBOL	CODE	DESCRIPTION
	M-01	WOOD MULCH
	M-02	COBBLE MULCH
	M-03	CRUSHER FINES
	M-04	DECORATIVE ROCK MULCH
	M-05	METAL EDGER
	M-06	LANDSCAPE BOULDERS
	M-07	STONE SLAB

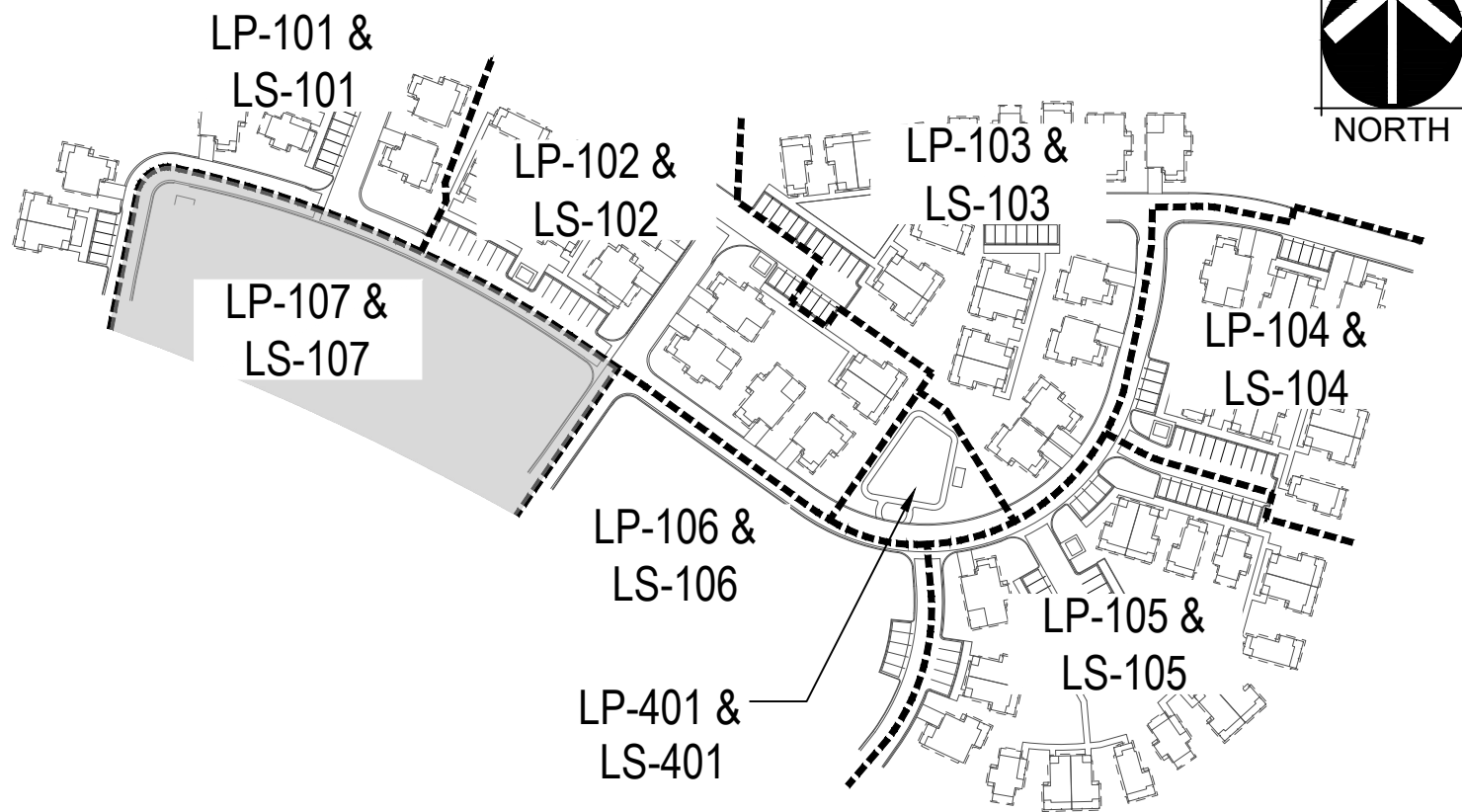
SYMBOL	CODE	DESCRIPTION
	S-01	PICNIC TABLES
	S-02	BIKE RACK
	S-03	PERGOLA

KEY NOTES

CODE	DESCRIPTION	DETAIL
N-01	PEDESTRIAN LIGHT , TYP.	RE: PHOTOMETRICS
N-02	BOULDER RETAINING WALL	2 / LP-502
N-03	TREE PLANTING	1 / LP-501
N-04	SHRUB PLANTING	2 / LP-501
N-05	TREE PLANTING ON SLOPE	3 / LP-501
N-06	CIP CONCRETE WALL	TBD
N-07	PROPOSED UTILITIES, TYP.	RE: CIVIL
N-08	SIGHT TRIANGLES, TYP.	RE: CIVIL
N-09	FIRE HYDRANT, TYP.	RE: CIVIL
N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL



KEY MAP



LEGEND

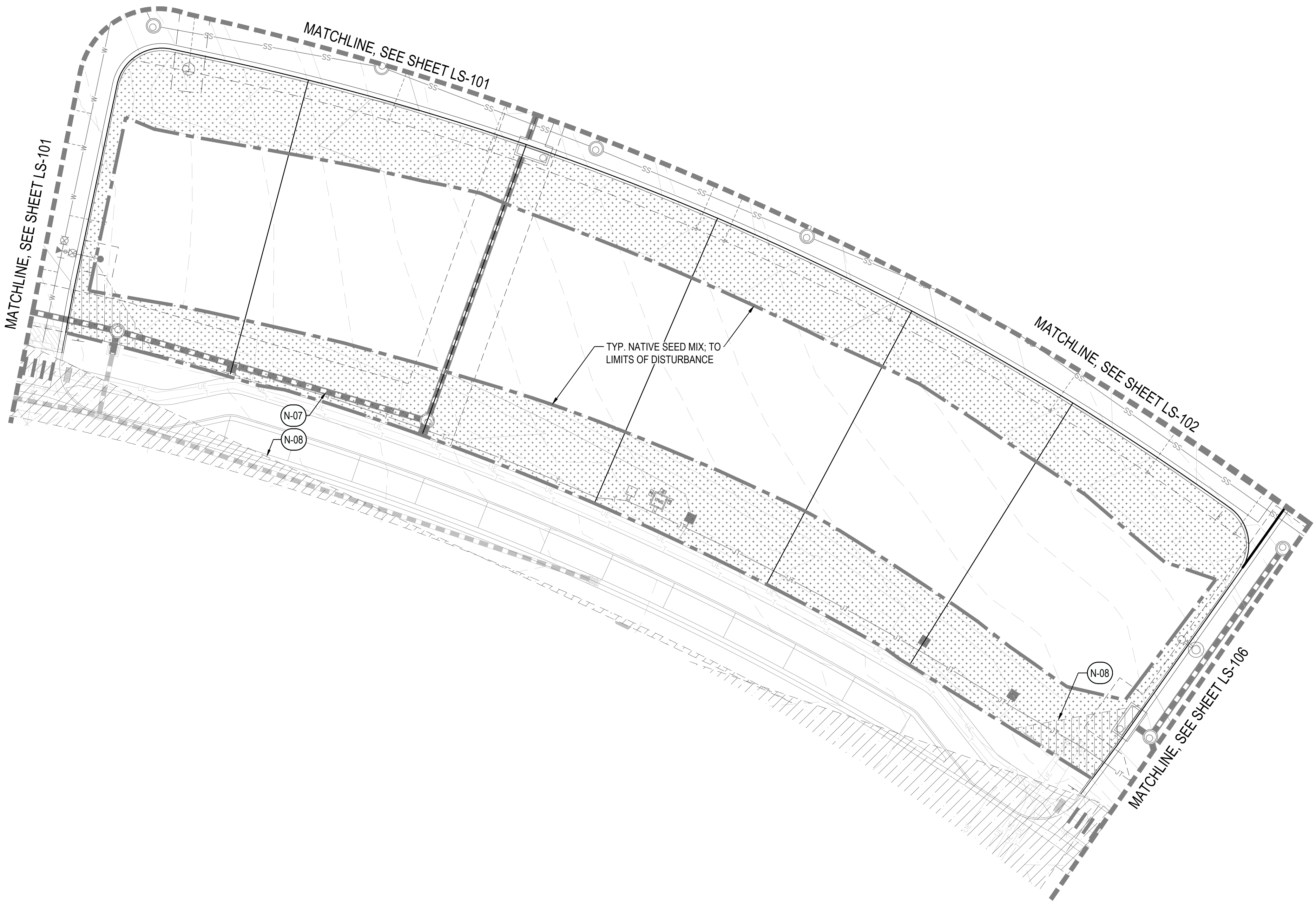
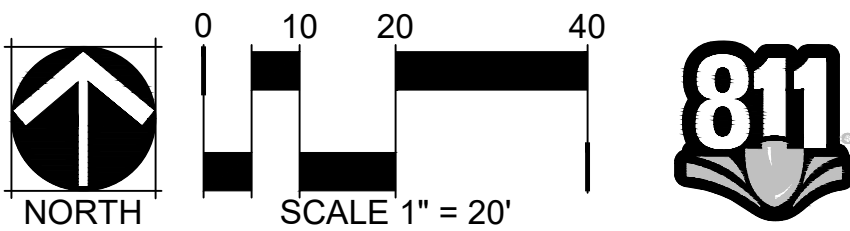
	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX

SYMBOL	CODE	DESCRIPTION
	M-01	WOOD MULCH
	M-02	COBBLE MULCH
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	M-05	METAL EDGER
	M-06	LANDSCAPE BOULDERS
	M-07	STONE SLAB

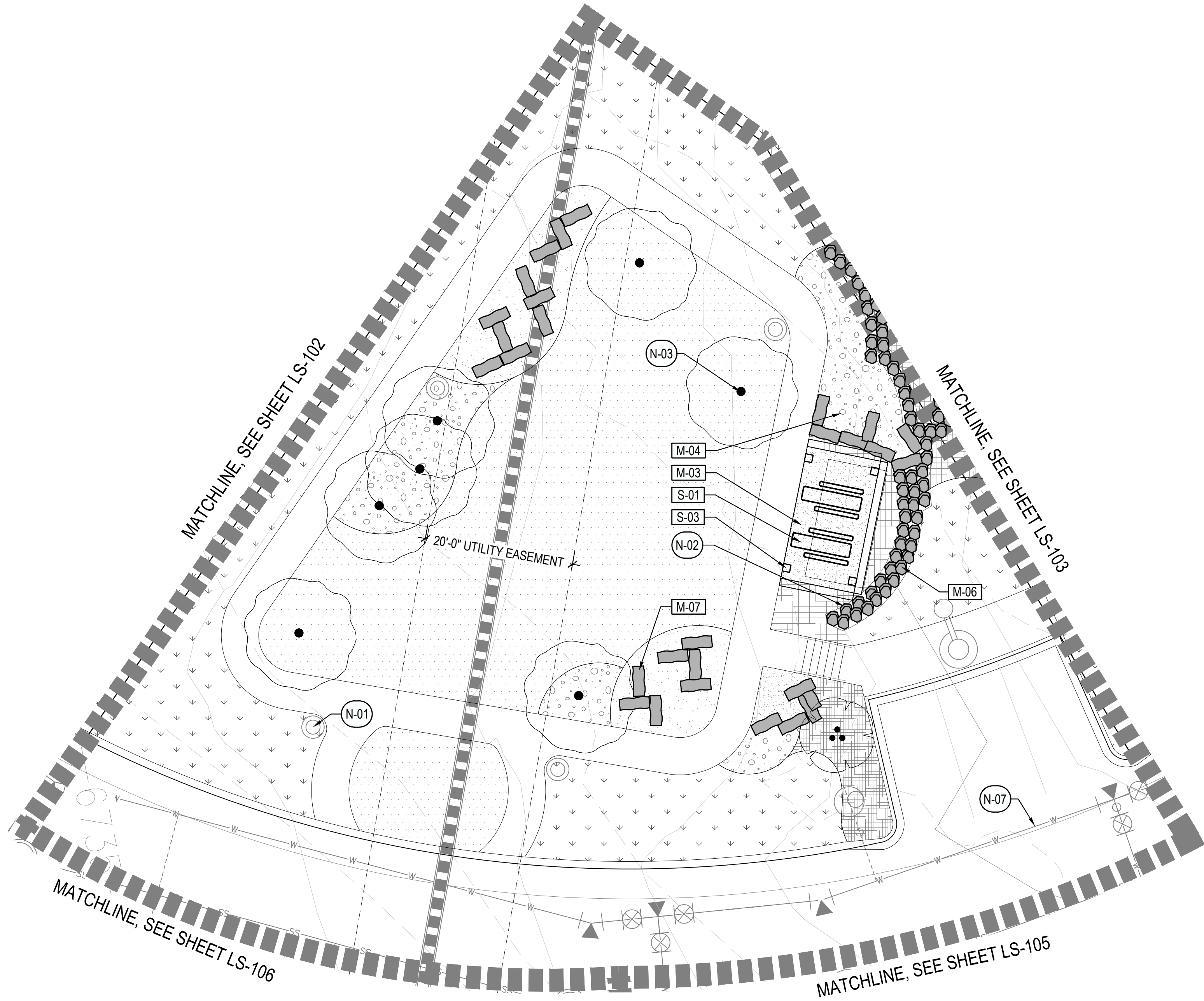
SYMBOL	CODE	DESCRIPTION
	S-01	PICNIC TABLES
	S-02	BIKE RACK
	S-03	PERGOLA

KEY NOTES

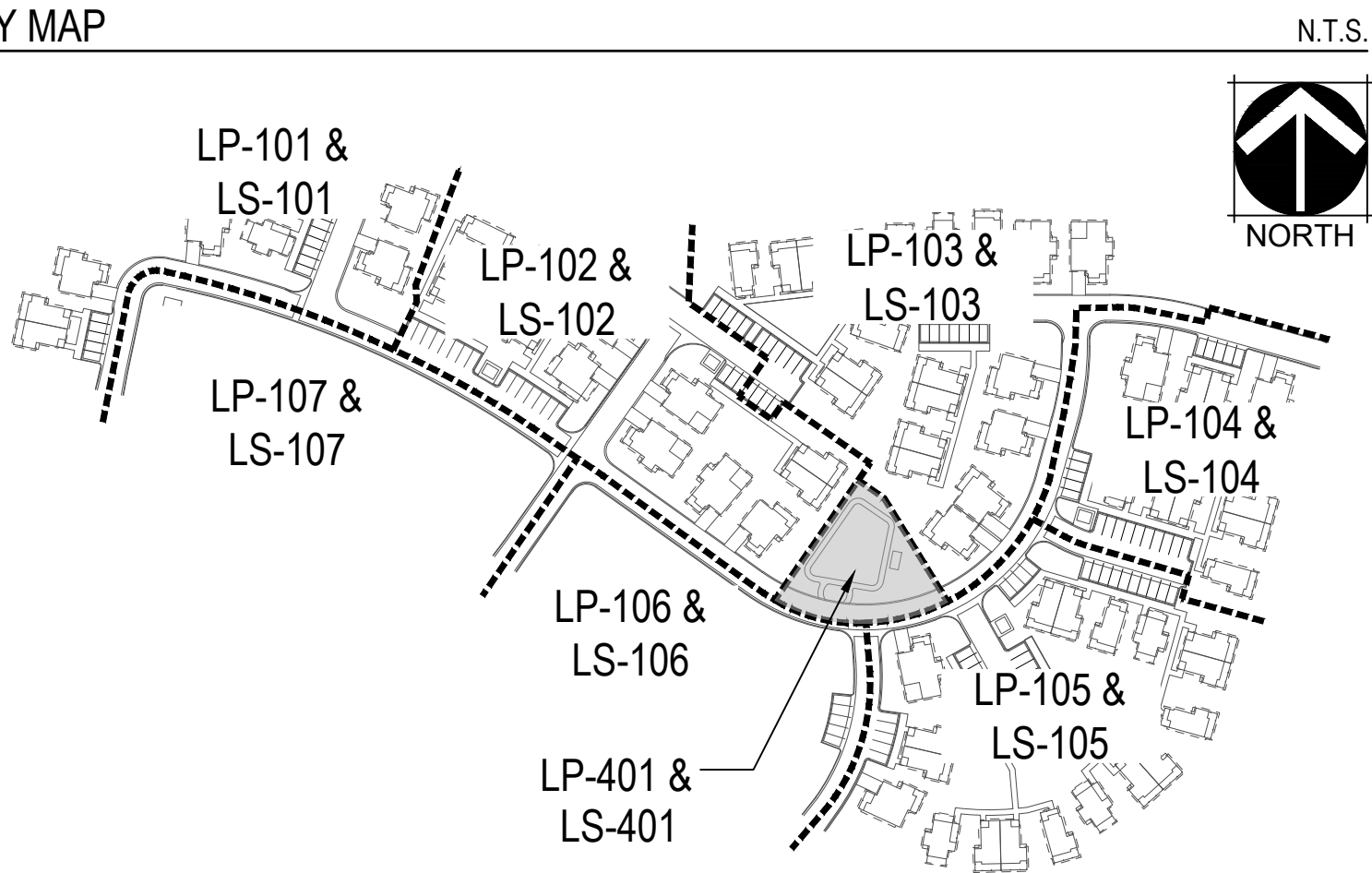
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N-06	CIP CONCRETE WALL	TBD
N-07	PROPOSED UTILITIES, TYP.	RE: CIVIL
N-08	SIGHT TRIANGLES, TYP.	RE: CIVIL
N-09	FIRE HYDRANT, TYP.	RE: CIVIL
N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL



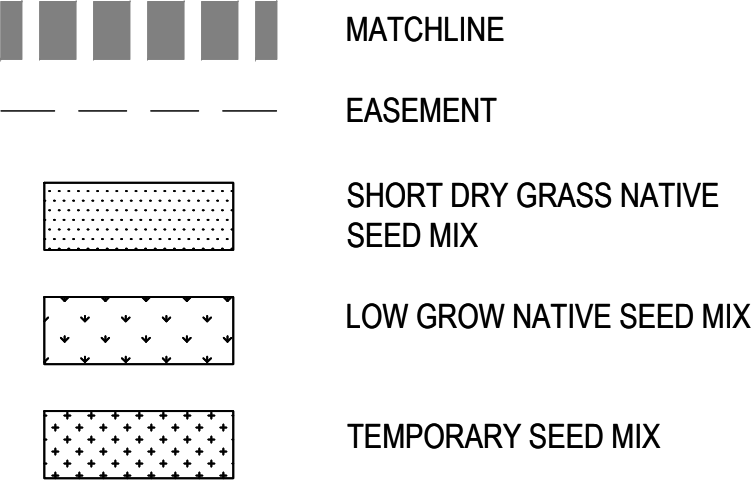
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DRAWN BY: BP, CG, LF, NP



KEY MAP



LEGEND

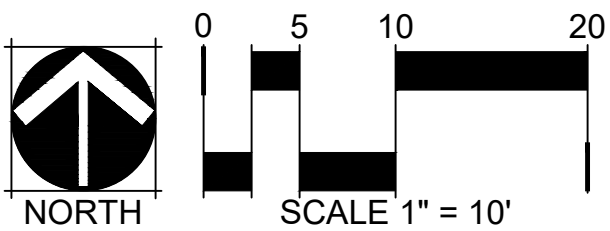


SYMBOL	CODE	DESCRIPTION
	M-01	WOOD MULCH
	M-02	COBBLE MULCH
	M-03	CRUSHER FINES
	M-04	DECORATIVE ROCK MULCH
	M-05	METAL EDGER
	M-06	LANDSCAPE BOULDERS
	M-07	STONE SLAB

SYMBOL	CODE	DESCRIPTION
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	S-03	PERGOLA

KEY NOTES

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N-09	FIRE HYDRANT, TYP.	RE: CIVIL
N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL



WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO

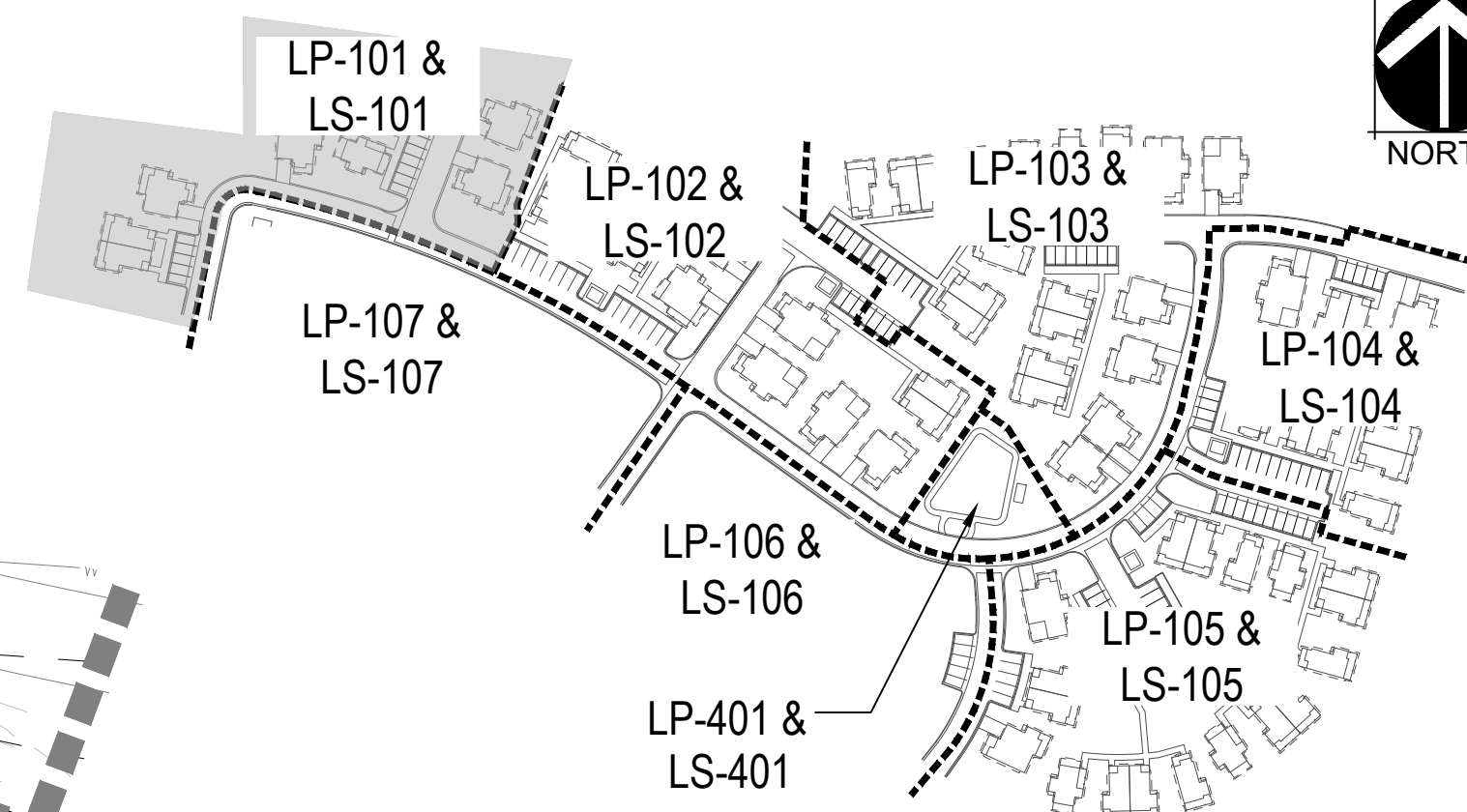
OWNER:
ABRIKA PROPERTIES, LLC
8250 SW 27TH AVE
OCALA FL, 34476
352.854.7753

NOT FOR
CONSTRUCTION

DATE:
08/01/25 MAJOR
DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

SHEET TITLE:
HARDSCAPE
ENLARGEMENT

KEY MAP



PLANT SCHEDULE

CODE	COMMON NAME
DECIDUOUS CANOPY TREES	
CE OC	COMMON HACKBERRY
PO AN	NARROWLEAF COTTONWOOD

EVERGREEN TREES	
PI BS	BLUE COLORADO SPRUCE
PI ED	PINYON PINE
JU SC	ROCKY MOUNTAIN JUNIPER

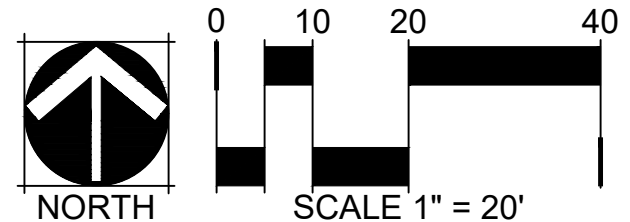
ORNAMENTAL TREES	
AC FL	FLAME AMUR MAPLE
PO TR	QUAKING ASPEN
AC GL	ROCKY MOUNTAIN MAPLE
AM SE	SERVICEBERRY
BE OC	WATER BIRCH

DECIDUOUS SHRUBS	
CO AF	ARCTIC FIRE DOGWOOD
LO AR	ARNOLD'S RED HONEYSUCKLE
CH NN	BABY BLUE RABBITBRUSH
AR TR	BIG SAGEBRUSH
SY VU	COMMON PURPLE LILAC
CH MI	FERNBUSH
SA GE	GEYER WILLOW
RI AU	GOLDEN CURRANT
CE IN	LITTLE LEAF MOUNTAIN MAHOGANY
CE MO	MOUNTAIN MAHOGANY
PH MO	MOUNTAIN NINEBARK
RO WO	MOUNTAIN ROSE
SY OR	MOUNTAIN SNOWBERRY
CO AC	PEKING COTONEASTER
PO PB	PINK BEAUTY POTENTILLA
PO FR	POTENTILLA
CR RE	RED TWIG DOGWOOD
HO DU	ROCK SPIREA
RH TR	SKUNKBUSH SUMAC
SO ST	URAL FALSE SPIREA
CO AL	VARIEGATED DOGWOOD
RH CI	WESTERN SMOOTH SUMAC

EVERGREEN SHRUBS	
PI BI	BIG TUNA MUGO PINE
JU BL	BLUE CHIP JUNIPER
JU BU	BUFFALO JUNIPER
PI GL	DWARF GLOBE GREEN SPRUCE
PI TA	TANNENBAUM MUGO PINE

ORNAMENTAL GRASSES	
AN GE	BIG BLUESTEM
SC SC	BLAZE LITTLE BLUESTEM
FE EB	BLUE FESCUE
MI SI	MAIDEN GRASS
PA SH	SWITCH GRASS

PERENNIALS	
RU FU	BLACK-EYED SUSAN
AC CO	CORONATION GOLD YARROW
LU AL	MOUNTAIN LUPINE
SA SU	PERENNIAL SAGE
AQ CA	ROCKY MOUNTAIN COLUMBINE



LEGEND

	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX

SYMBOL	DESCRIPTION
	WOOD MULCH
	COBBLE MULCH
	CRUSHER FINES
	DECORATIVE ROCK MULCH
	METAL EDGER
	LANDSCAPE BOULDERS
	STONE SLAB
	PICNIC TABLES
	BIKE RACK
	PERGOLA

KEY NOTES

CODE	DESCRIPTION	DETAIL
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N-07	PROPOSED UTILITIES, TYP.	RE: CIVIL
N-08	SIGHT TRIANGLES, TYP.	RE: CIVIL
N-09	FIRE HYDRANT, TYP.	RE: CIVIL
N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL

WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO

OWNER:
ABRIKA PROPERTIES, LLC
8250 SW 27TH AVE
OCALA FL, 34476
352.854.7753

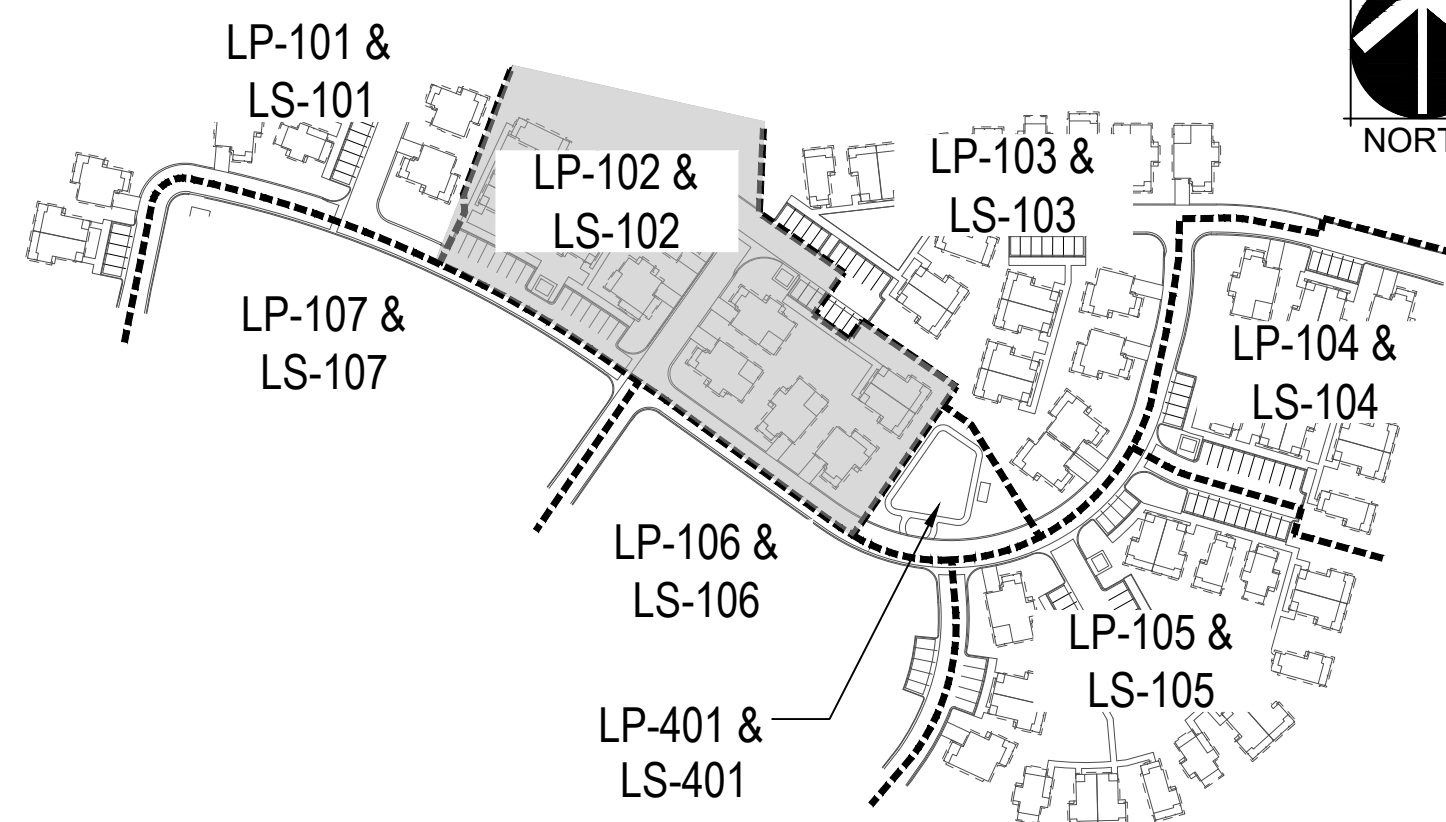
NOT FOR
CONSTRUCTION

DATE:
08/01/25 MAJOR
DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

SHEET TITLE:
LANDSCAPE
PLAN

LP-102

KEY MAP



N.T.S.



LEGEND

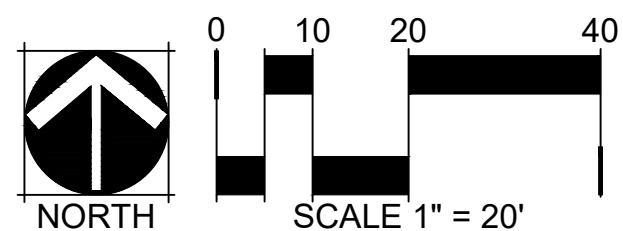
	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX
	WOOD MULCH
	COBBLE MULCH
	CRUSHER FINES
	DECORATIVE ROCK MULCH
	METAL EDGER
	LANDSCAPE BOULDERS
	STONE SLAB
	PICNIC TABLES
	BIKE RACK
	PERGOLA

KEY NOTES

CODE	DESCRIPTION	DETAIL
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N-02	BOULDER RETAINING WALL	2 / LP-502
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N-09	FIRE HYDRANT, TYP.	RE: CIVIL
N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL

PLANT SCHEDULE

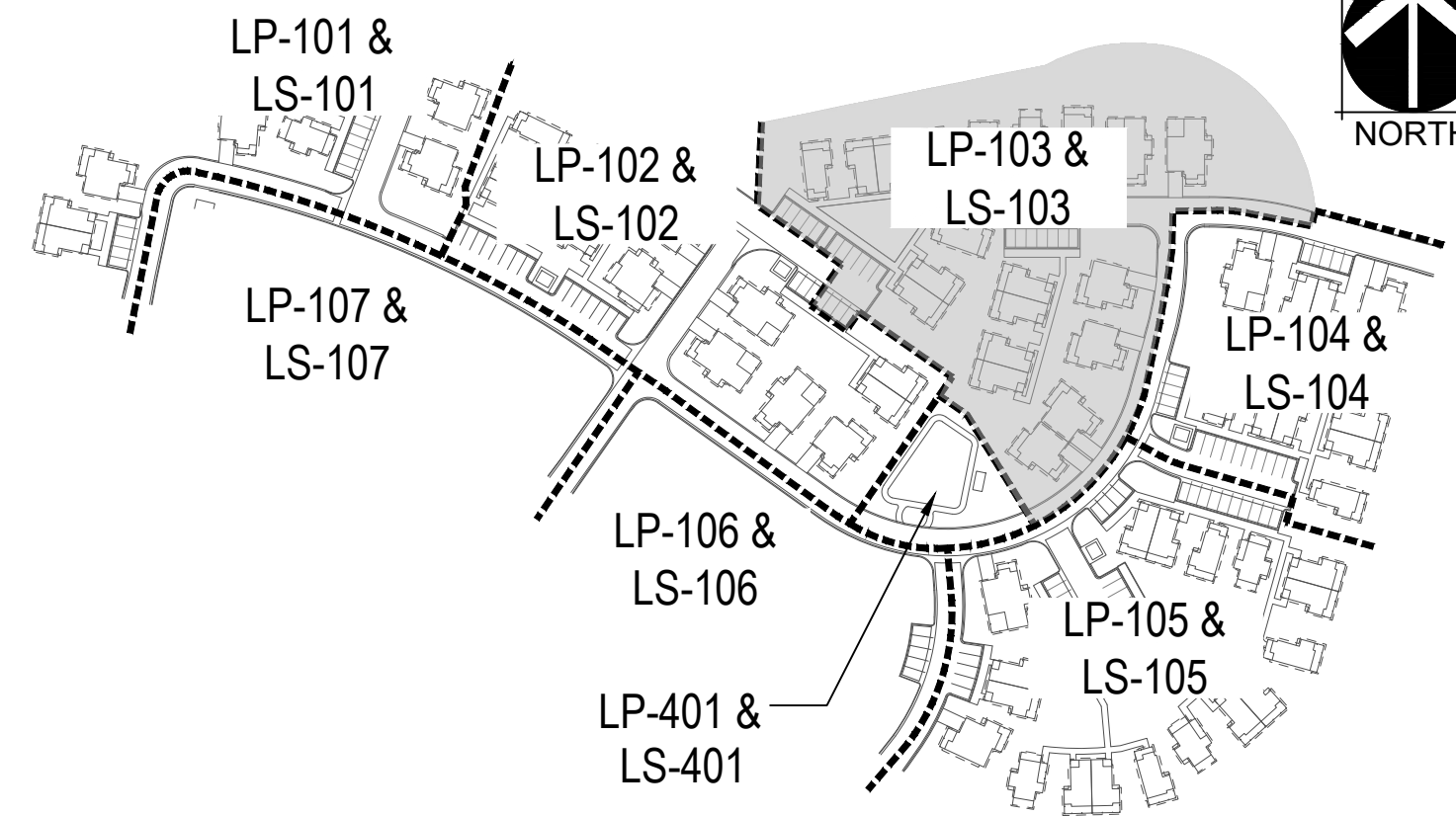
CODE	COMMON NAME
DECIDUOUS CANOPY TREES	
CE OC	COMMON HACKBERRY
PO AN	NARROWLEAF COTTONWOOD
EVERGREEN TREES	
PI BS	BLUE COLORADO SPRUCE
PI ED	PINYON PINE
JU SC	ROCKY MOUNTAIN JUNIPER
ORNAMENTAL TREES	
AC FL	FLAME AMUR MAPLE
PO TR	QUAKING ASPEN
AC GL	ROCKY MOUNTAIN MAPLE
AM SE	SERVICEBERRY
BE OC	WATER BIRCH
DECIDUOUS SHRUBS	
CO AF	ARCTIC FIRE DOGWOOD
LO AR	ARNOLD'S RED HONEYSUCKLE
CH NN	BABY BLUE RABBITBRUSH
AR TR	BIG SAGEBRUSH
SY VU	COMMON PURPLE LILAC
CH MI	FERNBUSH
SA GE	GEYER WILLOW
RI AU	GOLDEN CURRANT
CE IN	LITTLE LEAF MOUNTAIN MAHOGANY
CE MO	MOUNTAIN MAHOGANY
PH MO	MOUNTAIN NINEBARK
RO WO	MOUNTAIN ROSE
SY OR	MOUNTAIN SNOWBERRY
CO AC	PEKING COTONEASTER
PO PB	PINK BEAUTY POTENTILLA
PO FR	POTENTILLA
CR RE	RED TWIG DOGWOOD
HO DU	ROCK SPIREA
RH TR	SKUNKBUSH SUMAC
SO ST	URAL FALSE SPIREA
CO AL	VARIEGATED DOGWOOD
RH CI	WESTERN SMOOTH SUMAC
EVERGREEN SHRUBS	
PI BI	BIG TUNA MUGO PINE
JU BL	BLUE CHIP JUNIPER
JU BU	BUFFALO JUNIPER
PI GL	DWARF GLOBE GREEN SPRUCE
PI TA	TANNENBAUM MUGO PINE
ORNAMENTAL GRASSES	
AN GE	BIG BLUESTEM
SC SC	BLAZE LITTLE BLUESTEM
FE EB	BLUE FESCUE
MI SI	MAIDEN GRASS
PA SH	SWITCH GRASS
PERENNIALS	
RU FU	BLACK-EYED SUSAN
AC CO	CORONATION GOLD YARROW
LU AL	MOUNTAIN LUPINE
SA SU	PERENNIAL SAGE



SCALE 1" = 20'



KEY MAP



PLANT SCHEDULE

CODE	COMMON NAME
DECIDUOUS CANOPY TREES	
CE OC	COMMON HACKBERRY
PO AN	NARROWLEAF COTTONWOOD

EVERGREEN TREES	
PI BS	BLUE COLORADO SPRUCE
PI ED	PINYON PINE
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ORNAMENTAL TREES	
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CE IN	LITTLE LEAF MOUNTAIN MAHOGANY
CE MO	MOUNTAIN MAHOGANY
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SO ST	URAL FALSE SPIREA
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RH CI	WESTERN SMOOTH SUMAC

EVERGREEN SHRUBS	
PI BI	BIG TUNA MUGO PINE
JU BL	BLUE CHIP JUNIPER
JU BU	BUFFALO JUNIPER
PI GL	DWARF GLOBE GREEN SPRUCE
PI TA	TANNENBAUM MUGO PINE

ORNAMENTAL GRASSES	
AN GE	BIG BLUESTEM
SC SC	BLAZE LITTLE BLUESTEM
FE EB	BLUE FESCUE
MI SI	MAIDEN GRASS
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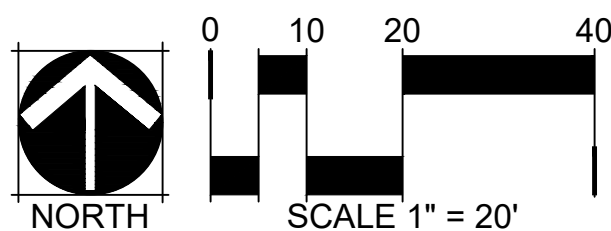
PERENNIALS	
RU FU	BLACK-EYED SUSAN
AC CO	CORONATION GOLD YARROW
LU AL	MOUNTAIN LUPINE
SA SU	PERENNIAL SAGE

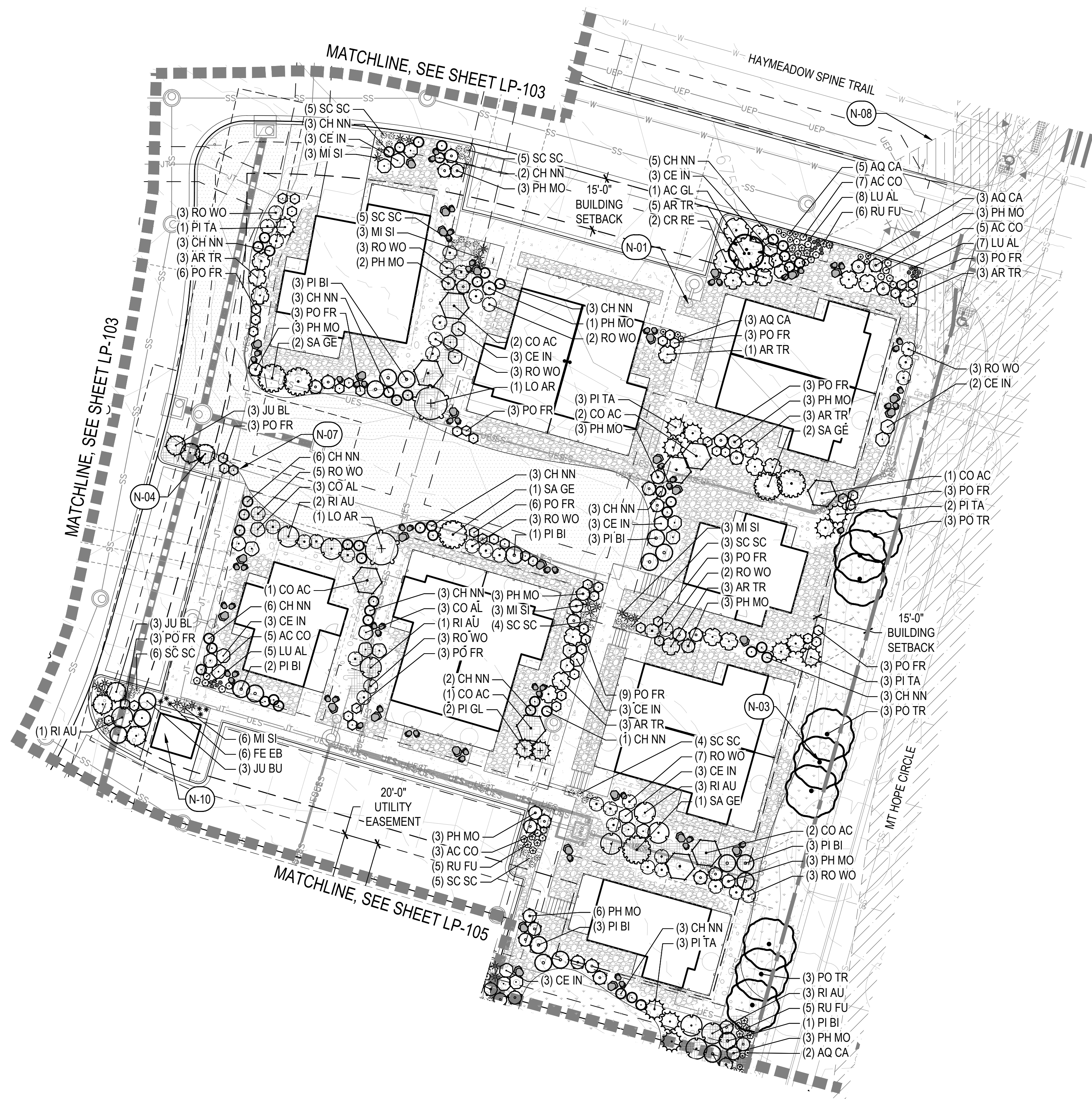
LEGEND

	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX
	DESCRIPTION
	WOOD MULCH
	COBBLE MULCH
	CRUSHER FINES
	DECORATIVE ROCK MULCH
	METAL EDGER
	LANDSCAPE BOULDERS
	STONE SLAB
	DESCRIPTION
	PICNIC TABLES
	BIKE RACK
	PERGOLA

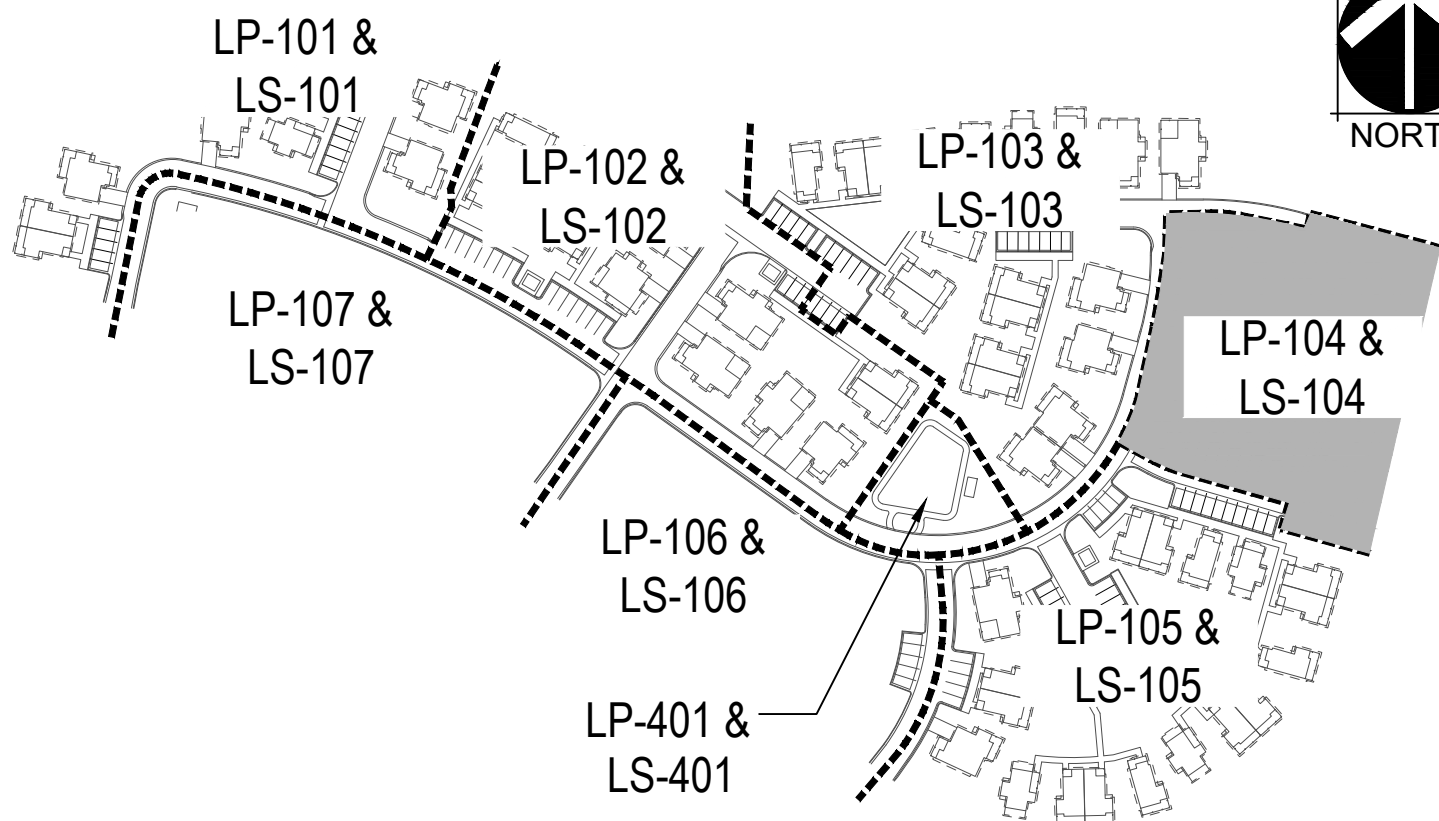
KEY NOTES

CODE	DESCRIPTION	DETAIL
N-01	PEDESTRIAN LIGHT, TYP.	RE: PHOTOMETRICS
N-02	BOULDER RETAINING WALL	2 / LP-502
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N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL





KEY MAP



LEGEND

	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
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	WOOD MULCH
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	METAL EDGER
	LANDSCAPE BOULDERS
	STONE SLAB
SYMBOL	DESCRIPTION
	PICNIC TABLES
	BIKE RACK
	PERGOLA

KEY NOTES

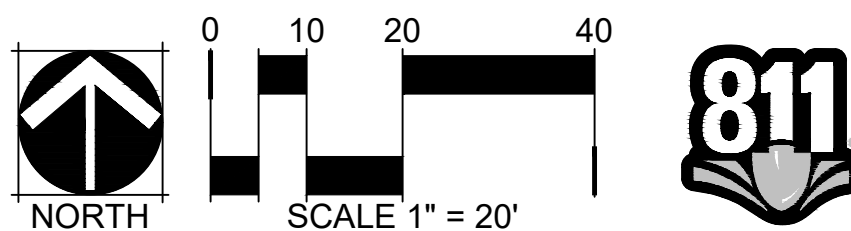
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N-11	CIP RETAINING WALL	RE: CIVIL

PLANT SCHEDULE

CODE	COMMON NAME
DECIDUOUS CANOPY TREES	
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PO AN	NARROWLEAF COTTONWOOD
EVERGREEN TREES	
PI BS	BLUE COLORADO SPRUCE
PI ED	PINYON PINE
JU SC	ROCKY MOUNTAIN JUNIPER
ORNAMENTAL TREES	
AC FL	FLAME AMUR MAPLE
PO TR	QUAKING ASPEN
AC GL	ROCKY MOUNTAIN MAPLE
AM SE	SERVICEBERRY
BE OC	WATER BIRCH
DECIDUOUS SHRUBS	
CO AF	ARCTIC FIRE DOGWOOD
LO AR	ARNOLD'S RED HONEYSUCKLE
CH NN	BABY BLUE RABBITBRUSH
AR TR	BIG SAGEBRUSH
SY VU	COMMON PURPLE LILAC
CH MI	FERNBUSH
SA GE	GEYER WILLOW
RI AU	GOLDEN CURRANT
CE IN	LITTLE LEAF MOUNTAIN MAHOGANY
CE MO	MOUNTAIN MAHOGANY
PH MO	MOUNTAIN NINEBARK
RO WO	MOUNTAIN ROSE
SY OR	MOUNTAIN SNOWBERRY
CO AC	PEKING COTONEASTER
PO PB	PINK BEAUTY POTENTILLA
PO FR	POTENTILLA
CR RE	RED TWIG DOGWOOD
HO DU	ROCK SPIREA
RH TR	SKUNKBUSH SUMAC
SO ST	URAL FALSE SPIREA
CO AL	VARIEGATED DOGWOOD
RH CI	WESTERN SMOOTH SUMAC
EVERGREEN SHRUBS	
PI BI	BIG TUNA MUGO PINE
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ORNAMENTAL GRASSES	
AN GE	BIG BLUESTEM
SC SC	BLAZE LITTLE BLUESTEM
FE EB	BLUE FESCUE
MI SI	MAIDEN GRASS
PA SH	SWITCH GRASS

PERENNIALS	
RU FU	BLACK-EYED SUSAN
AC CO	CORONATION GOLD YARROW
LU AL	MOUNTAIN LUPINE
SA SU	PERENNIAL SAGE



WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO

OWNER:
ABRIKA PROPERTIES, LLC
8250 SW 27TH AVE
OCALA FL, 34476
352.854.7753

NOT FOR
CONSTRUCTION

DATE:
08/01/25 MAJOR
DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

SHEET TITLE:
LANDSCAPE
PLAN

WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO

OWNER:
ABRIKA PROPERTIES, LLC
8250 SW 27TH AVE
OCALA FL, 34476
352.854.7753

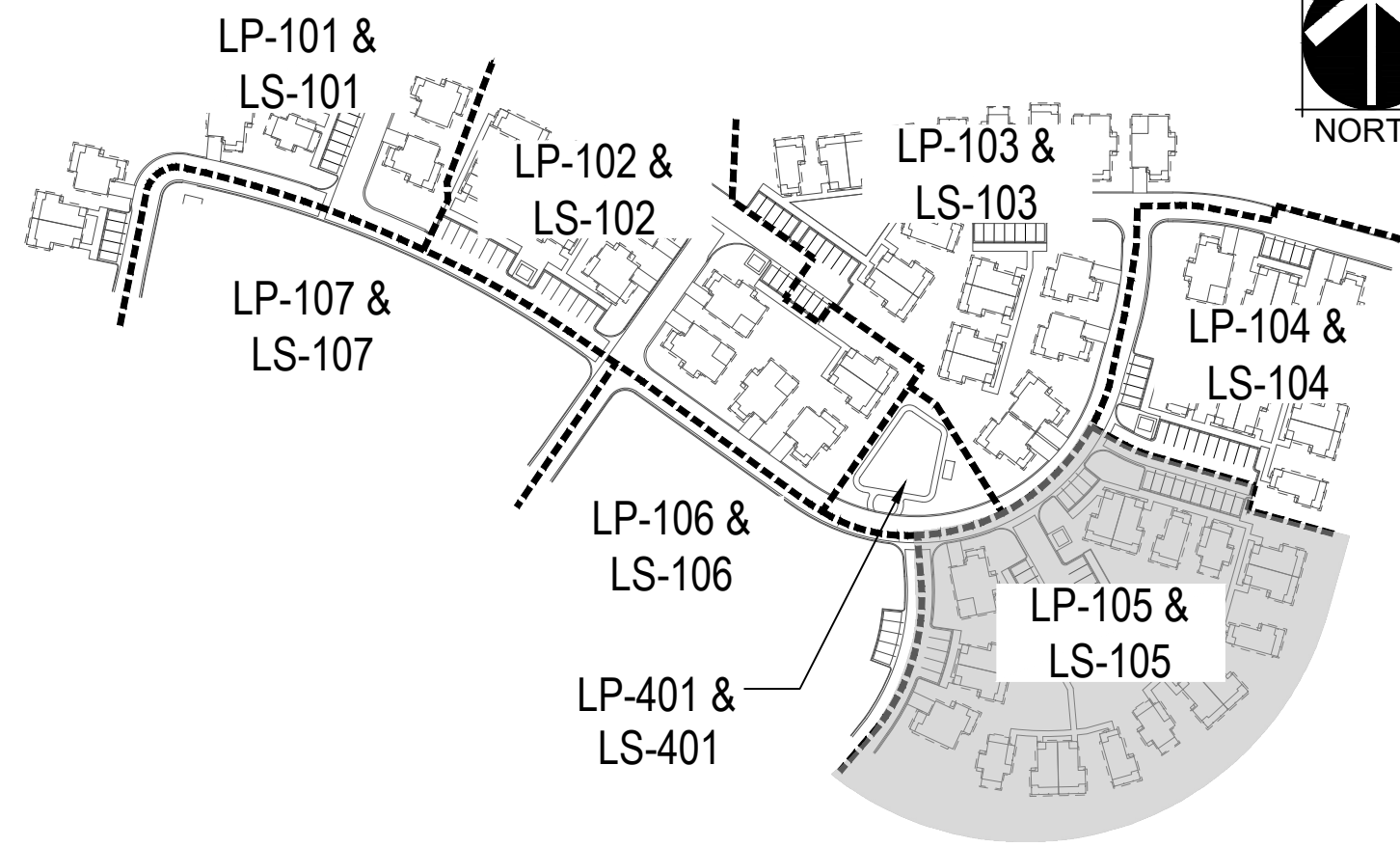
NOT FOR
CONSTRUCTION

DATE:
08/01/25 MAJOR
DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

SHEET TITLE:
LANDSCAPE
PLAN

LP-105

KEY MAP



LEGEND

	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX
	WOOD MULCH
	COBBLE MULCH
	CRUSHER FINES
	DECORATIVE ROCK MULCH
	METAL EDGER
	LANDSCAPE BOULDERS
	STONE SLAB
	PICNIC TABLES
	BIKE RACK
	PERGOLA

KEY NOTES

CODE	DESCRIPTION	DETAIL
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N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL

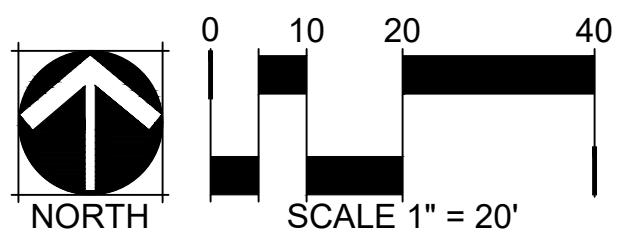
PLANT SCHEDULE

CODE	COMMON NAME
CE OC	COMMON HACKBERRY
PO AN	NARROWLEAF COTTONWOOD
PI BS	BLUE COLORADO SPRUCE
PI ED	PINYON PINE
JU SC	ROCKY MOUNTAIN JUNIPER
AC FL	FLAME AMUR MAPLE
PO TR	QUAKING ASPEN
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CE MO	MOUNTAIN MAHOGANY
PH MO	MOUNTAIN NINEBARK
RO WO	MOUNTAIN ROSE
SY OR	MOUNTAIN SNOWBERRY
CO AC	PEKING COTONEASTER
PO PB	PINK BEAUTY POTENTILLA
PO FR	POTENTILLA
CR RE	RED TWIG DOGWOOD
HO DU	ROCK SPIREA
RH TR	SKUNKBUSH SUMAC
SO ST	URAL FALSE SPIREA
CO AL	VARIEGATED DOGWOOD
RH CI	WESTERN SMOOTH SUMAC

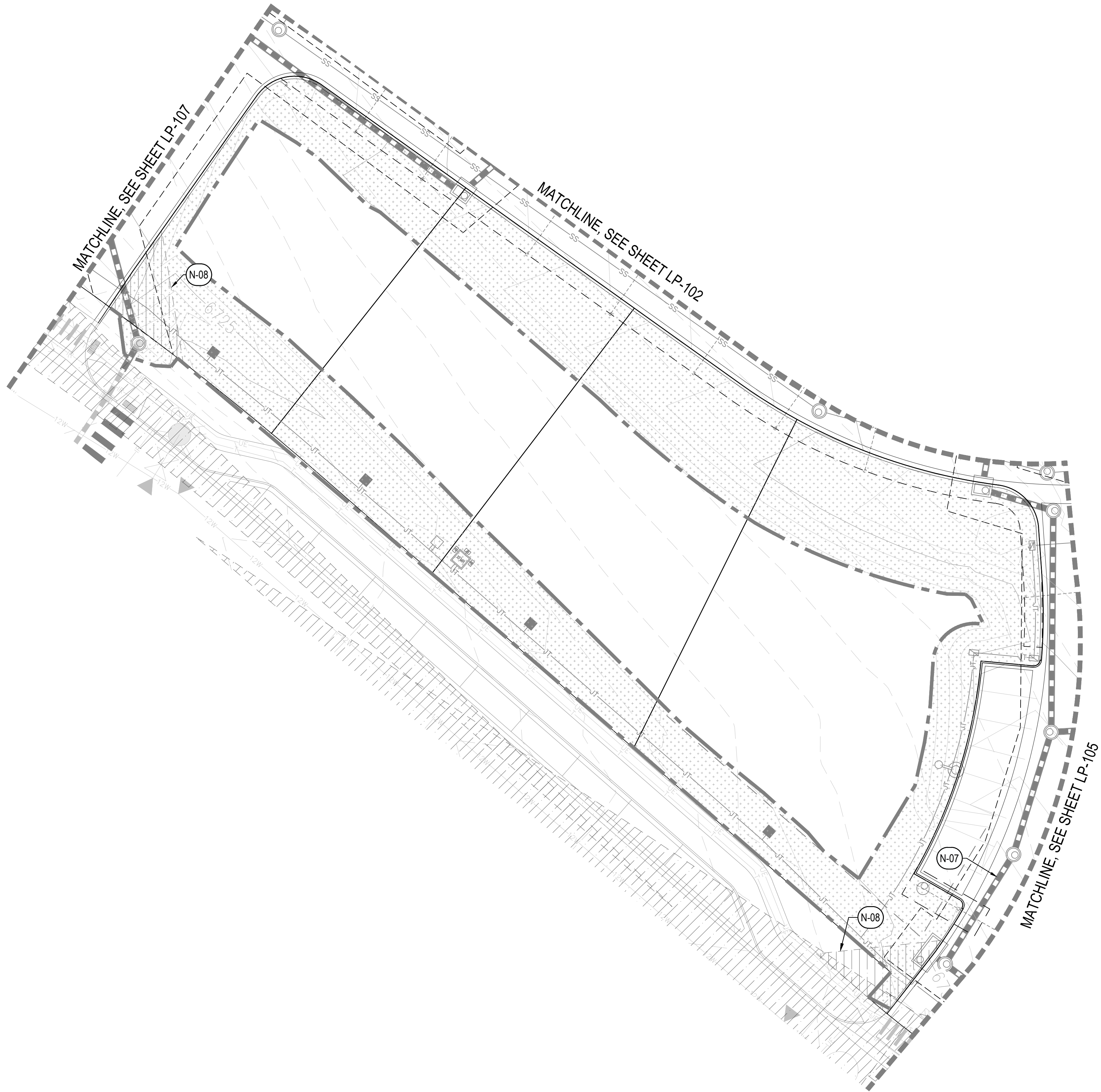
PI BI	BIG TUNA MUGO PINE
JU BL	BLUE CHIP JUNIPER
JU BU	BUFFALO JUNIPER
PI GL	DWARF GLOBE GREEN SPRUCE
PI TA	TANNENBAUM MUGO PINE

AN GE	BIG BLUESTEM
SC SC	BLAZE LITTLE BLUESTEM
FE EB	BLUE FESCUE
MI SI	MAIDEN GRASS
PA SH	SWITCH GRASS

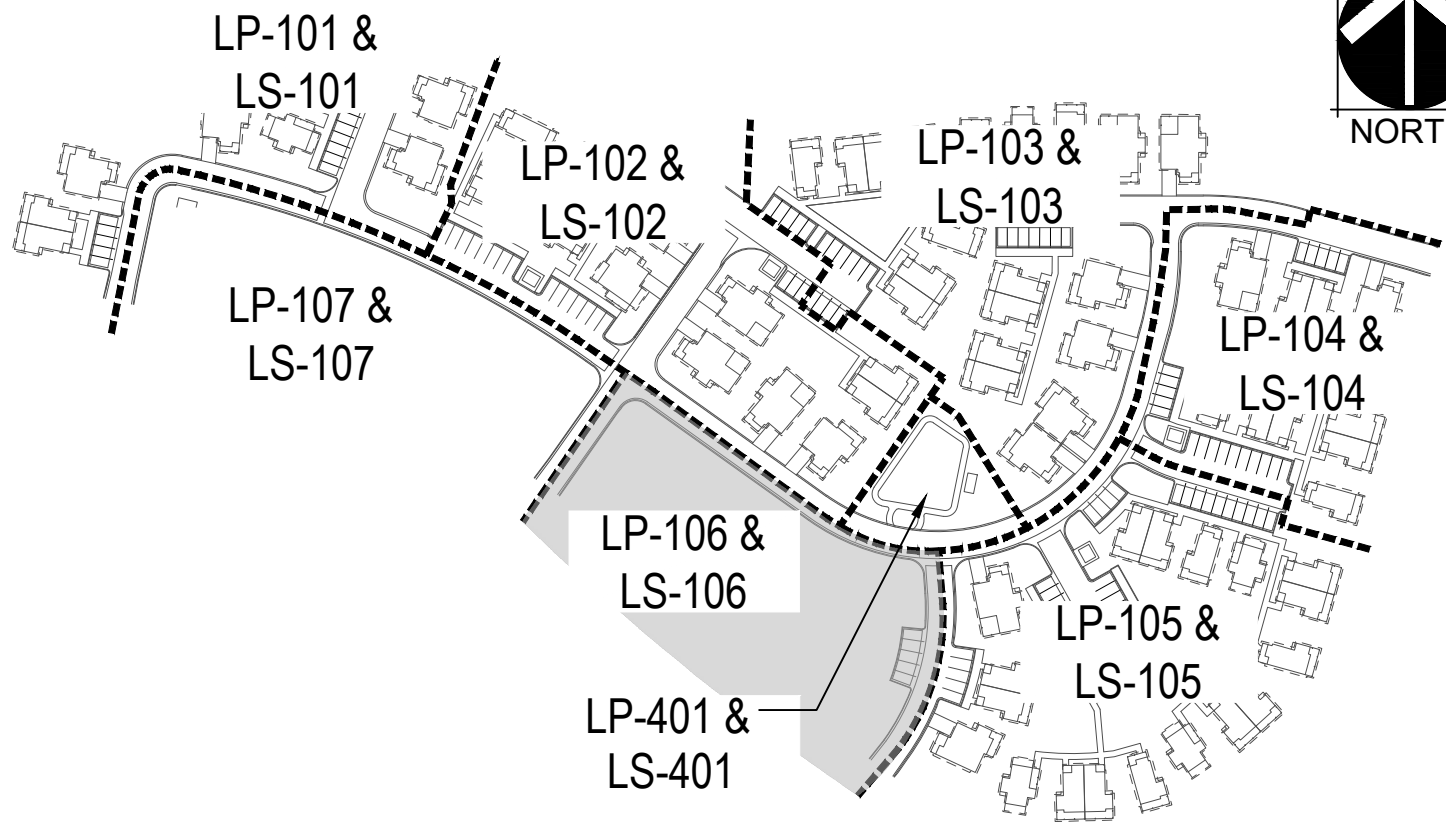
RU FU	BLACK-EYED SUSAN
AC CO	CORONATION GOLD YARROW
LU AL	MOUNTAIN LUPINE
SA SU	PERENNIAL SAGE



CHECKED BY: CG, MT
DRAWN BY: BP, CG, LF, NP



KEY MAP



LEGEND

	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX
<u>SYMBOL</u>	<u>DESCRIPTION</u>
	WOOD MULCH
	COBBLE MULCH
	CRUSHER FINES
	DECORATIVE ROCK MULCH
	METAL EDGER
	LANDSCAPE BOULDERS
	STONE SLAB
<u>SYMBOL</u>	<u>DESCRIPTION</u>
	PICNIC TABLES
	BIKE RACK
	PERGOLA

KEY NOTES

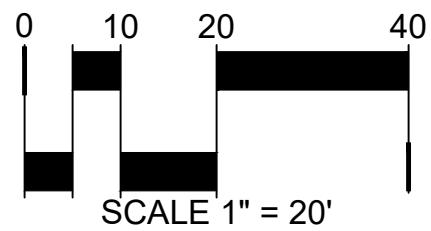
CODE	DESCRIPTION	DETAIL
N-01	PEDESTRIAN LIGHT , TYP.	RE: PHOTOMETRICS
N-02	BOULDER RETAINING WALL	2 / LP-502
N-03	TREE PLANTING	1 / LP-501
N-04	SHRUB PLANTING	2 / LP-501
N-05	TREE PLANTING ON SLOPE	3 / LP-501
N-06	CIP CONCRETE WALL	TBD
N-07	PROPOSED UTILITIES, TYP.	RE: CIVIL
N-08	SIGHT TRIANGLES, TYP.	RE: CIVIL
N-09	FIRE HYDRANT, TYP.	RE: CIVIL
N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL

PLANT SCHEDULE

CODE	COMMON NAME
DECIDUOUS CANOPY TREES	
CE OC	COMMON HACKBERRY
PO AN	NARROWLEAF COTTONWOOD
EVERGREEN TREES	
PI BS	BLUE COLORADO SPRUCE
PI ED	PINYON PINE
JU SC	ROCKY MOUNTAIN JUNIPER
ORNAMENTAL TREES	
AC FL	FLAME AMUR MAPLE
PO TR	QUAKING ASPEN
AC GL	ROCKY MOUNTAIN MAPLE
AM SE	SERVICEBERRY
BE OC	WATER BIRCH
DECIDUOUS SHRUBS	
CO AF	ARCTIC FIRE DOGWOOD
LO AR	ARNOLD'S RED HONEYSUCKLE
CH NN	BABY BLUE RABBITBRUSH
AR TR	BIG SAGEBRUSH
SY VU	COMMON PURPLE LILAC
CH MI	FERNBUSH
SA GE	GEYER WILLOW
RI AU	GOLDEN CURRANT
CE IN	LITTLE LEAF MOUNTAIN MAHOGANY
CE MO	MOUNTAIN MAHOGANY
PH MO	MOUNTAIN NINEBARK
RO WO	MOUNTAIN ROSE
SY OR	MOUNTAIN SNOWBERRY
CO AC	PEKING COTONEASTER
PO PB	PINK BEAUTY POTENTILLA
PO FR	POTENTILLA
CR RE	RED TWIG DOGWOOD
HO DU	ROCK SPIREA
RH TR	SKUNKBUSH SUMAC
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ORNAMENTAL GRASSES	
AN GE	BIG BLUESTEM
SC SC	BLAZE LITTLE BLUESTEM
FE EB	BLUE FESCUE
MI SI	MAIDEN GRASS
PA SH	SWITCH GRASS

PERENNIALS	
RU FU	BLACK-EYED SUSAN
AC CO	CORONATION GOLD YARROW
LU AL	MOUNTAIN LUPINE
SA SU	PERENNIAL SAGE



WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO

OWNER:
ABRIKA PROPERTIES, LLC
8250 SW 27TH AVE
OCALA FL, 34476
352.854.7753

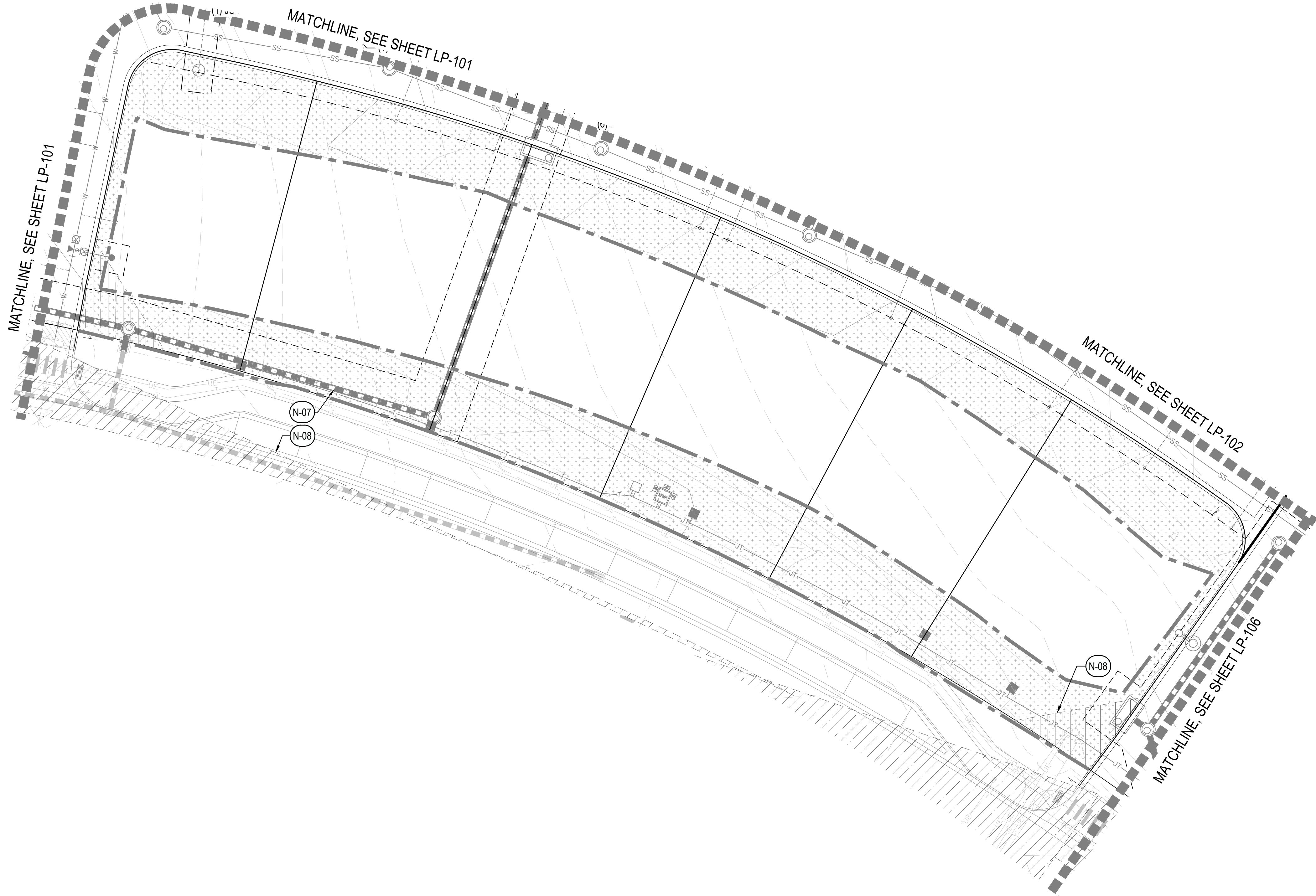
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CONSTRUCTION

DATE:
08/01/25 MAJOR
DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

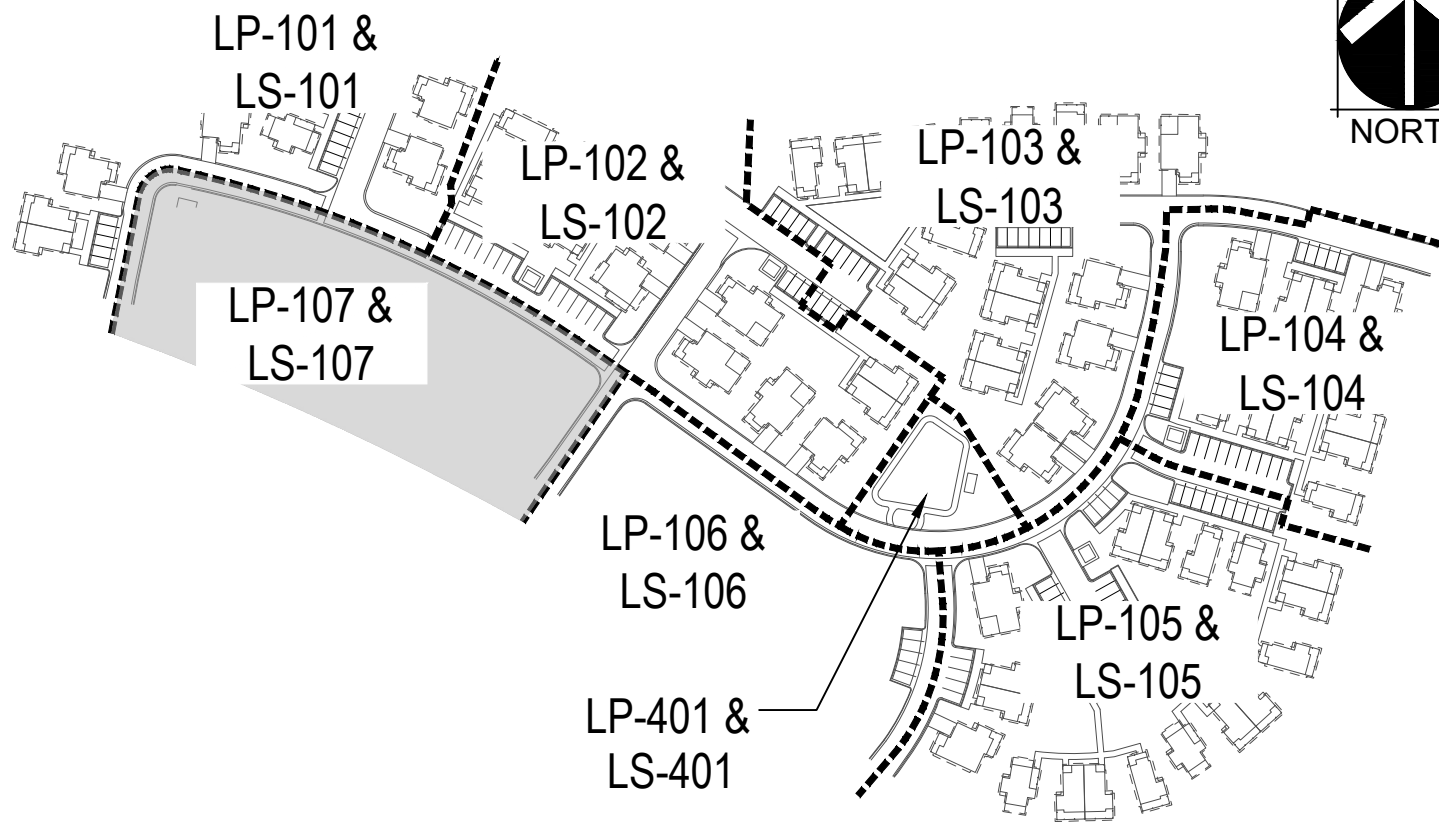
SHEET TITLE:
LANDSCAPE
PLAN

LP-106

CHECKED BY: CG, MT
DRAWN BY: BP, CG, LF, NP



KEY MAP



LEGEND

	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX
SYMBOL	DESCRIPTION
	WOOD MULCH
	COBBLE MULCH
	CRUSHER FINES
	DECORATIVE ROCK MULCH
	METAL EDGER
	LANDSCAPE BOULDERS
	STONE SLAB
SYMBOL	DESCRIPTION
	PICNIC TABLES
	BIKE RACK
	PERGOLA

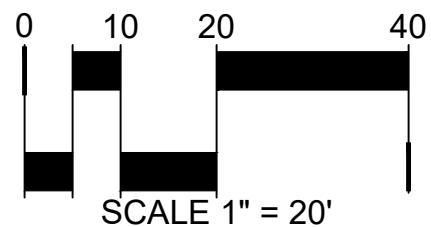
KEY NOTES

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EAGLE, COLORADO

OWNER:
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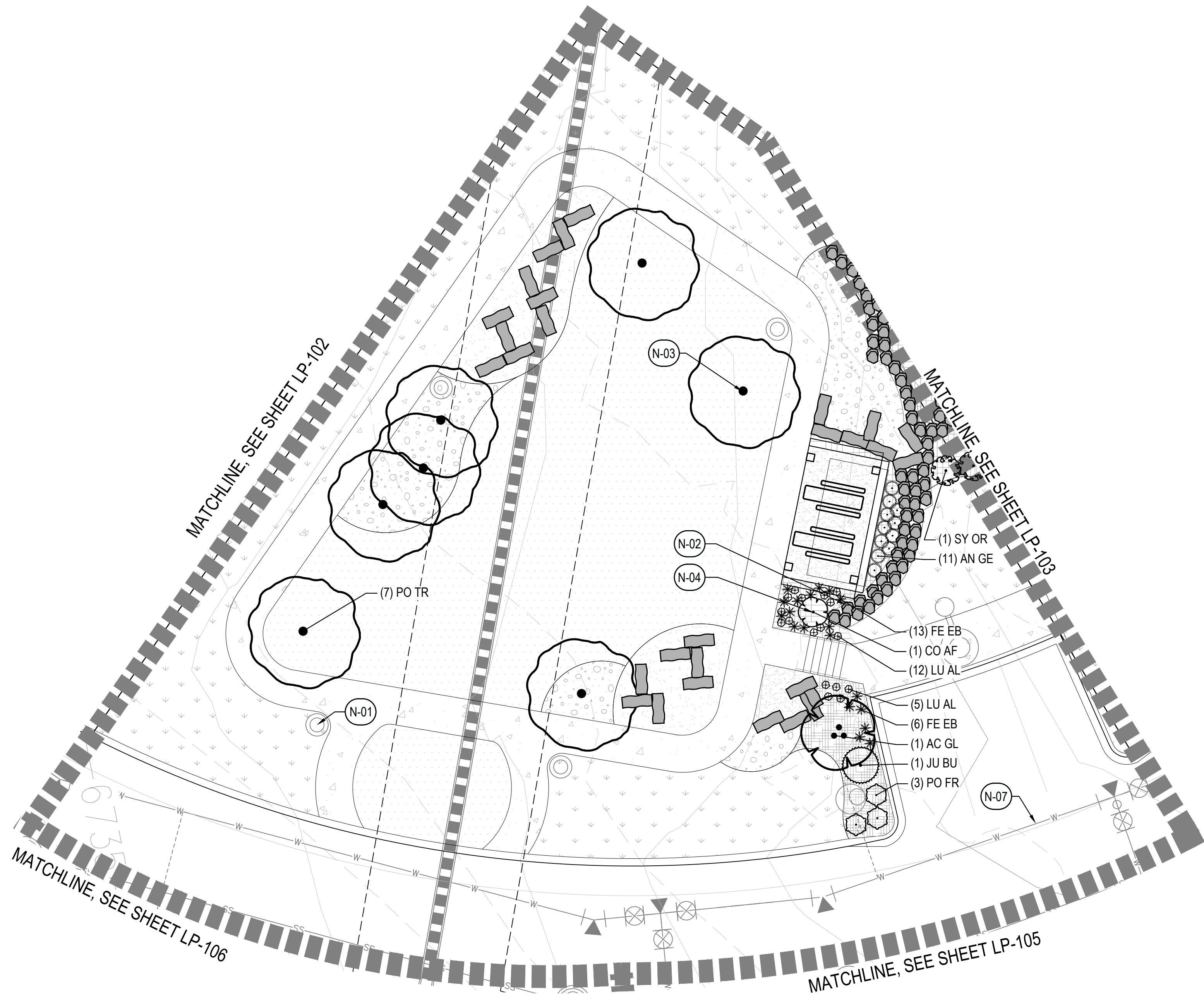
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DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

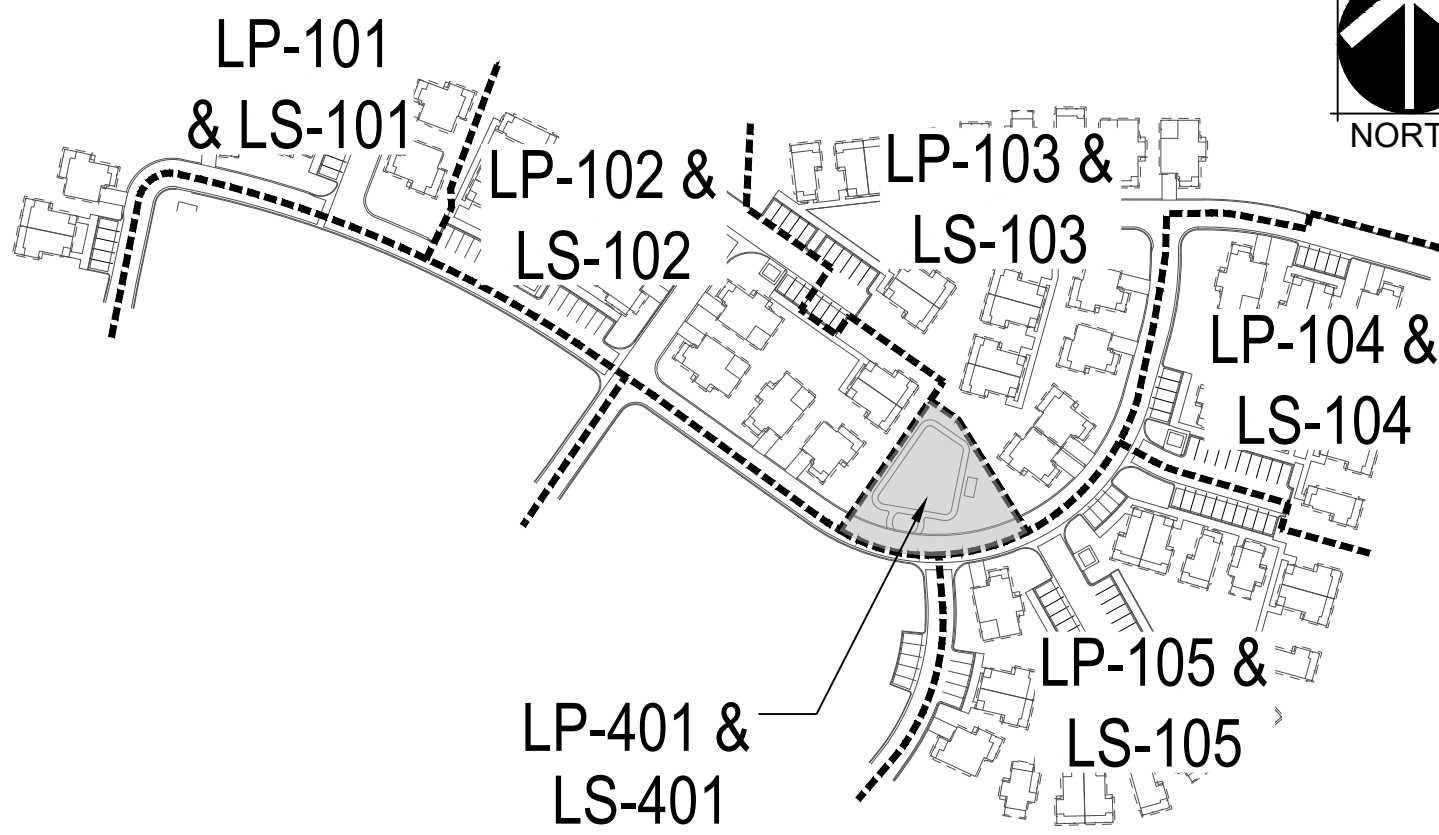
SHEET TITLE:
LANDSCAPE
PLAN

LP-107

CHECKED BY: CG, MT
DRAWN BY: BP, CG, LF, NP



KEY MAP



PLANT SCHEDULE

CODE	COMMON NAME
CE OC	COMMON HACKBERRY
PO AN	NARROWLEAF COTTONWOOD

EVERGREEN TREES	
PI BS	BLUE COLORADO SPRUCE
PI ED	PINYON PINE
JU SC	ROCKY MOUNTAIN JUNIPER

ORNAMENTAL TREES	
AC FL	FLAME AMUR MAPLE
PO TR	QUAKING ASPEN
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LEGEND

	MATCHLINE
	EASEMENT
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX

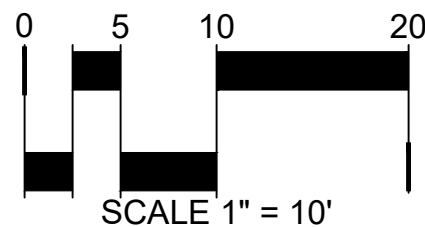
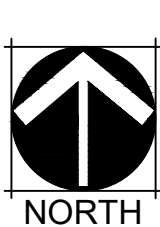
SYMBOL	DESCRIPTION
	WOOD MULCH
	COBBLE MULCH
	CRUSHER FINES
	DECORATIVE ROCK MULCH

	METAL EDGER
	LANDSCAPE BOULDERS
	STONE SLAB

SYMBOL	DESCRIPTION
	PICNIC TABLES
	BIKE RACK
	PERGOLA

KEY NOTES

CODE	DESCRIPTION	DETAIL
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WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO

OWNER:
ABRIKA PROPERTIES, LLC
8250 SW 27TH AVE
OCALA FL, 34476
352.854.7753

NOT FOR
CONSTRUCTION

DATE:
08/01/25 MAJOR
DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

SHEET TITLE:
LANDSCAPE
ENLARGEMENT

LP-401



Snow Storage		
Total Parking/Paving Area (sf)	Snow Storage Required (sf)	Snow Storage Provided (sf)
91,061	22,763	29,970

NOTES:
1) TOTAL SNOW STORAGE REQUIRED EQUAL TO 25% OF TOTAL PARKING/PAVING AREA.

- LEGEND**
- LOT LINES
 - LIMIT OF WORK
 - EASEMENTS
 - METAL EDGER
 - SNOW STORAGE
 - WOOD MULCH
 - COBBLE MULCH
 - CRUSHER FINES
 - DECORATIVE ROCK MULCH

WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO

OWNER:
ABRIKA PROPERTIES, LLC

8250 SW 27TH AVE
OCALA FL, 34476
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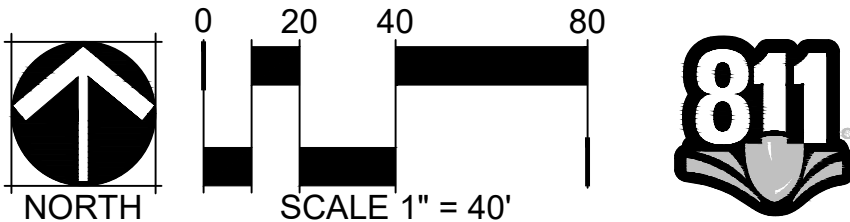
NOT FOR
CONSTRUCTION

DATE:
08/01/25 MAJOR
DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

SHEET TITLE:
SNOW
STORAGE PLAN

LP-402

CHECKED BY: CG, MT
DRAWN BY: BP, CG, LF, NP



WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO

OWNER:
ABRIKA PROPERTIES, LLC

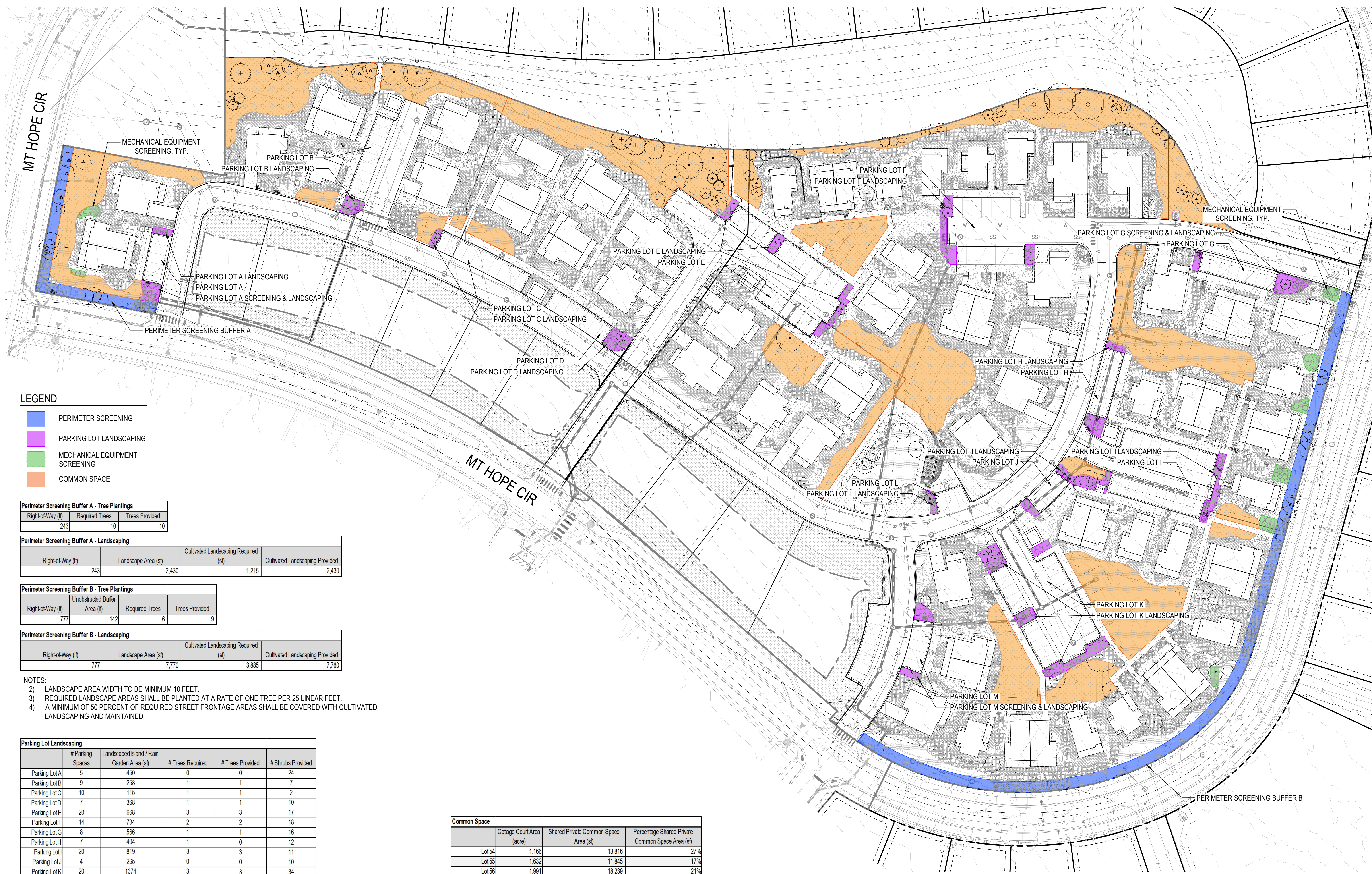
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DEVELOPMENT PLAN 02

SHEET TITLE:
LANDSCAPE
BUFFER PLAN

LP-403



LEGEND

- PERIMETER SCREENING
- PARKING LOT LANDSCAPING
- MECHANICAL EQUIPMENT SCREENING
- COMMON SPACE

Perimeter Screening Buffer A - Tree Plantings			
Right-of-Way (lf)	Required Trees	Trees Provided	
243	10	10	

Perimeter Screening Buffer A - Landscaping			
Right-of-Way (lf)	Landscape Area (sf)	Cultivated Landscaping Required (sf)	Cultivated Landscaping Provided
243	2,430	1,215	2,430

Perimeter Screening Buffer B - Tree Plantings			
Right-of-Way (lf)	Unobstructed Buffer Area (lf)	Required Trees	Trees Provided
777	142	6	9

Perimeter Screening Buffer B - Landscaping			
Right-of-Way (lf)	Landscape Area (sf)	Cultivated Landscaping Required (sf)	Cultivated Landscaping Provided
777	7,770	3,885	7,760

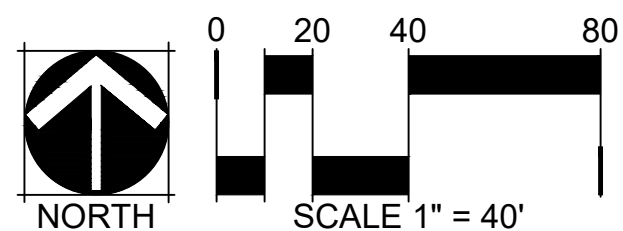
- NOTES:
- LANDSCAPE AREA WIDTH TO BE MINIMUM 10 FEET.
 - REQUIRED LANDSCAPE AREAS SHALL BE PLANTED AT A RATE OF ONE TREE PER 25 LINEAR FEET.
 - A MINIMUM OF 50 PERCENT OF REQUIRED STREET FRONTAGE AREAS SHALL BE COVERED WITH CULTIVATED LANDSCAPING AND MAINTAINED.

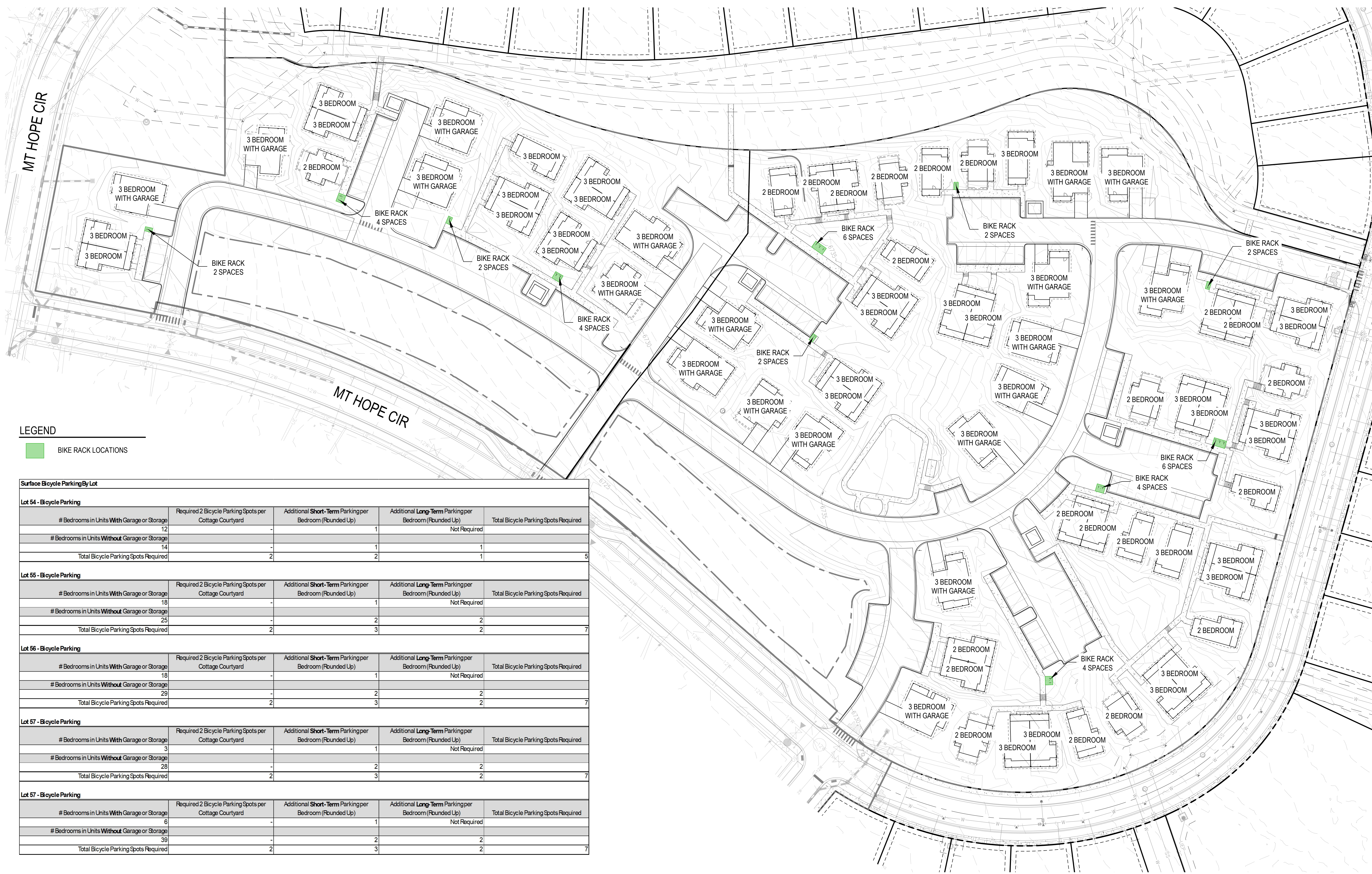
Parking Lot Landscaping					
	# Parking Spaces	Landscaped Island / Rain Garden Area (sf)	# Trees Required	# Trees Provided	# Shrubs Provided
Parking Lot A	5	450	0	0	24
Parking Lot B	9	258	1	1	7
Parking Lot C	10	115	1	1	2
Parking Lot D	7	368	1	1	10
Parking Lot E	20	668	3	3	17
Parking Lot F	14	734	2	2	18
Parking Lot G	8	566	1	1	16
Parking Lot H	7	404	1	0	12
Parking Lot I	20	819	3	3	11
Parking Lot J	4	265	0	0	10
Parking Lot K	20	1374	3	3	34
Parking Lot L	3	135	0	1	4
Parking Lot M	5	344	0	1	9

- NOTES:
- PARKING LOT LANDSCAPED ISLANDS OR RAIN GARDENS SHALL BE MINIMUM OF SIX FEET WIDE AND CONTAIN A MINIMUM OF 75 SQUARE FEET OF LANDSCAPED AREA. REQUIRED LANDSCAPE AREAS SHALL BE PLANTED AT A RATE OF ONE TREE PER 25 LINEAR FEET.
 - PARKING LOT LANDSCAPED ISLANDS OR RAIN GARDENS SHALL BE MINIMUM OF ONE TREE FOR EVERY 6 PARKING SPACES IN RESIDENTIAL ZONE DISTRICTS.
 - PERIMETER SCREENING BUFFERS SHALL BE A MINIMUM OF FIVE FEET WIDE OR A COMBINATIONS OF FENCING AND A TWO FOOT WIDE BUFFER.

Common Space			
	Cottage Court Area (acre)	Shared Private Common Space Area (sf)	Percentage Shared Private Common Space Area (sf)
Lot 54	1.166	13,816	27%
Lot 55	1.632	11,845	17%
Lot 56	1.991	18,239	21%
Lot 57	1.051	5,860	13%
Lot 58	1.954	10,741	13%

- NOTES:
- MAXIMUM COTTAGE COURT PROJECT SIZE IS 2 ACRES.
 - MAXIMUM DENSITY IS 16,000 SQUARE FEET OF GROSS FLOOR AREA IN COTTAGE UNITS PER ACRE OF PROJECT SITE AREA.
 - SHARED PRIVATE COMMON SPACE CONTAINING AT LEAST 10% OF THE PROJECT AREA SHALL BE REQUIRED.





LEGEND

BIKE RACK LOCATIONS

Surface Bicycle Parking By Lot				
Lot 54 - Bicycle Parking				
# Bedrooms in Units With Garage or Storage	Required 2 Bicycle Parking Spots per Cottage Courtyard	Additional Short-Term Parking per Bedroom (Rounded Up)	Additional Long-Term Parking per Bedroom (Rounded Up)	Total Bicycle Parking Spots Required
12	-	1	Not Required	
# Bedrooms in Units Without Garage or Storage	-	1	1	
14	-	1	1	
Total Bicycle Parking Spots Required	2	2	1	5
Lot 55 - Bicycle Parking				
# Bedrooms in Units With Garage or Storage	Required 2 Bicycle Parking Spots per Cottage Courtyard	Additional Short-Term Parking per Bedroom (Rounded Up)	Additional Long-Term Parking per Bedroom (Rounded Up)	Total Bicycle Parking Spots Required
18	-	1	Not Required	
# Bedrooms in Units Without Garage or Storage	-	2	2	
25	-	2	2	
Total Bicycle Parking Spots Required	2	3	2	7
Lot 56 - Bicycle Parking				
# Bedrooms in Units With Garage or Storage	Required 2 Bicycle Parking Spots per Cottage Courtyard	Additional Short-Term Parking per Bedroom (Rounded Up)	Additional Long-Term Parking per Bedroom (Rounded Up)	Total Bicycle Parking Spots Required
18	-	1	Not Required	
# Bedrooms in Units Without Garage or Storage	-	2	2	
29	-	2	2	
Total Bicycle Parking Spots Required	2	3	2	7
Lot 57 - Bicycle Parking				
# Bedrooms in Units With Garage or Storage	Required 2 Bicycle Parking Spots per Cottage Courtyard	Additional Short-Term Parking per Bedroom (Rounded Up)	Additional Long-Term Parking per Bedroom (Rounded Up)	Total Bicycle Parking Spots Required
3	-	1	Not Required	
# Bedrooms in Units Without Garage or Storage	-	2	2	
28	-	2	2	
Total Bicycle Parking Spots Required	2	3	2	7
Lot 57 - Bicycle Parking				
# Bedrooms in Units With Garage or Storage	Required 2 Bicycle Parking Spots per Cottage Courtyard	Additional Short-Term Parking per Bedroom (Rounded Up)	Additional Long-Term Parking per Bedroom (Rounded Up)	Total Bicycle Parking Spots Required
6	-	1	Not Required	
# Bedrooms in Units Without Garage or Storage	-	2	2	
39	-	2	2	
Total Bicycle Parking Spots Required	2	3	2	7

Overall Surface Bicycle Parking					
	Minimum 2 Bicycle Parking Spots per Cottage Courtyard	Additional Short-Term Bicycle Parking Spots Required	Additional Long-Term Bicycle Parking Spots Required	Total Bicycle Parking Spots Required	Total Bicycle Parking Spots Provided
Lot 54	2	2	1	5	6
Lot 55	2	3	2	7	8
Lot 56	2	3	2	7	8
Lot 57	2	3	2	7	8
Lot 58	2	3	2	7	8

- NOTES:
- 1) SHORT-TERM BICYCLE PARKING REQUIRED TO BE MINIMUM 2 BICYCLE PARKING SPACES PER COTTAGE COURTYARD, PLUS 0.05 SPACES PER BEDROOM.
 - 2) LONG-TERM BICYCLE PARKING REQUIRED TO BE MINIMUM 2 BICYCLE PARKING SPACES PER COTTAGE COURTYARD, PLUS 0.05 SPACES PER BEDROOM.
 - 3) NO LONG-TERM BICYCLE PARKING IS REQUIRED FOR UNITS WITH A PRIVATE GARAGE OR APPROPRIATELY SIZED LOCKED STORAGE.

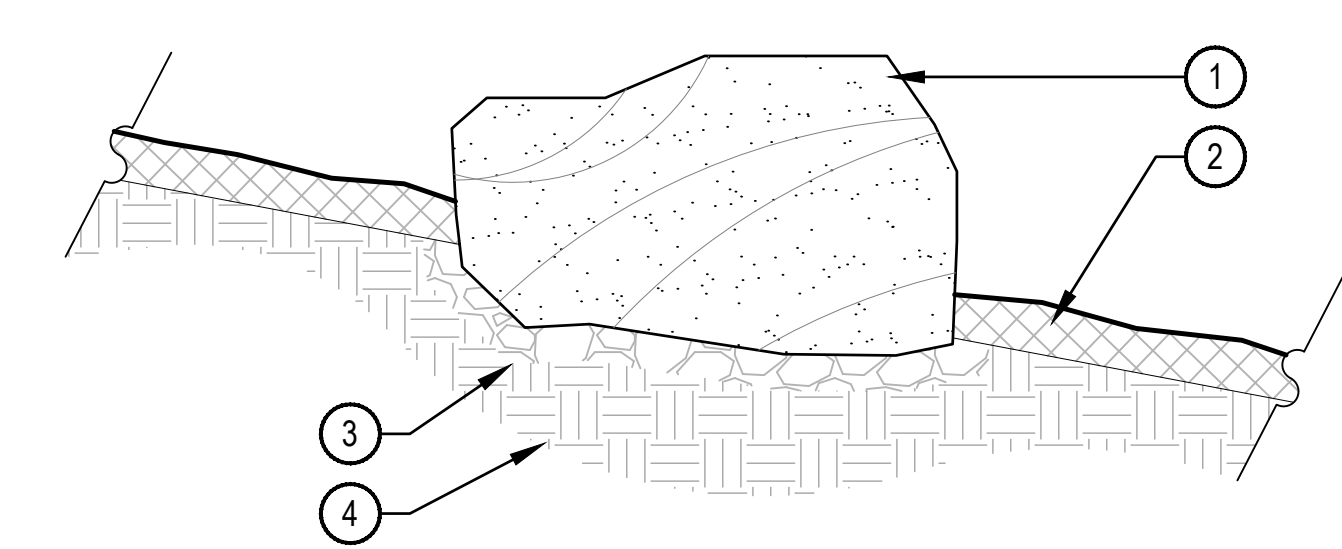




CHECKED BY: CG, MT
DRAWN BY: BP, CG, LF, NP

1 LANDSCAPE BOULDER

SCALE: 3/4" = 1'-0"



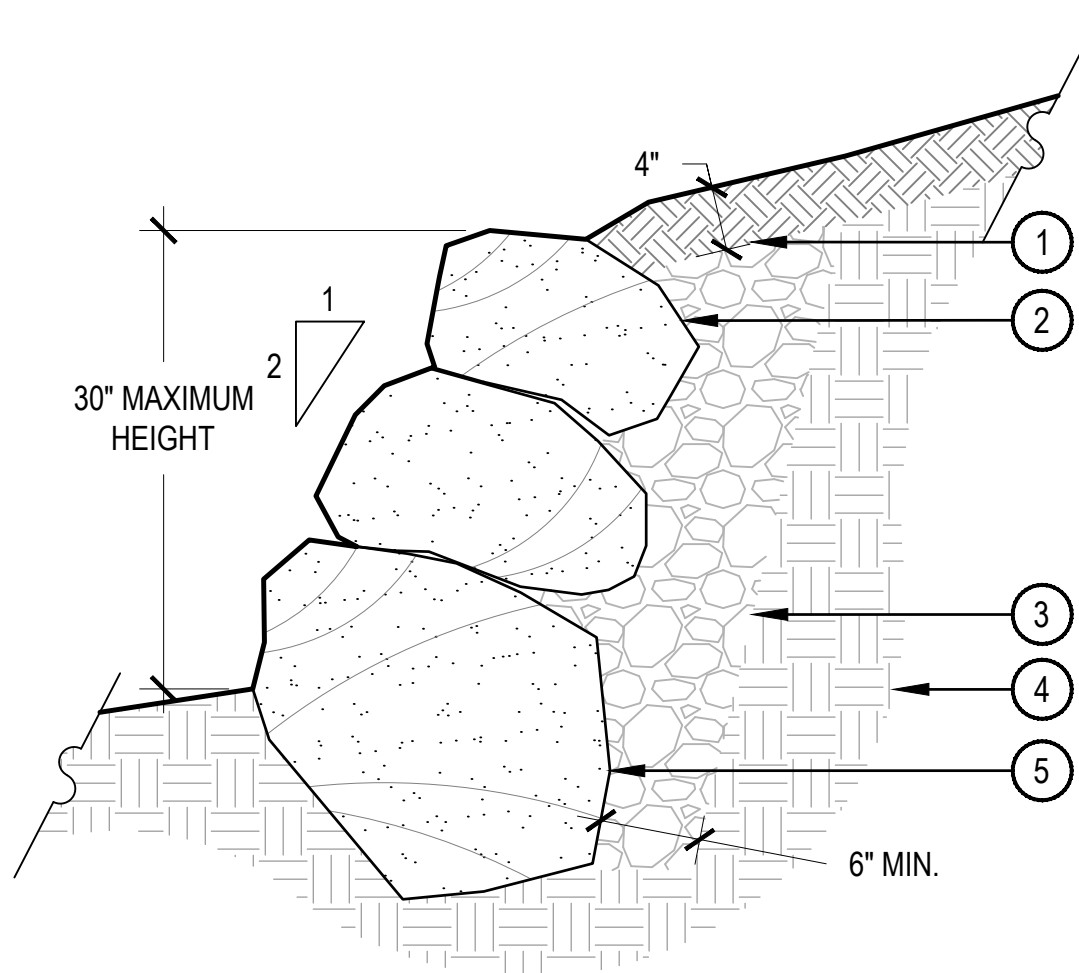
- 1 BOULDER, NATURALLY SET BOULDER SO THAT A MINIMUM 1/4 OF BOULDER IS BELOW FINISH GRADE, REFER TO MATERIAL SCHEDULE, SHEET LP-002
- 2 SPECIFIED MULCH, CRUSHER FINES OR COBBLE, REFER TO PLAN
- 3 3" MINIMUM ROAD BASE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY
- 4 UNDISTURBED GRADE

BOULDER SIZES	
ITEM	SIZE
A'	3' x 3' x 3'
B'	4' x 4' x 3'
C'	5' x 4' x 3'

- NOTES:
- THESE ARE FREE STANDING BOULDERS ONLY. BOULDERS ASSOCIATED WITH THE BOULDER RETAINING WALLS, PARK ENTRY SIGNS AND INTERPRETIVE SIGNS ARE NOT INCLUDED IN THIS COUNT.
 - THE OWNERS REPRESENTATIVE SHALL APPROVE LOCATIONS AND SIZES OF ALL BOULDERS PRIOR TO PLACING.
 - CONTRACTOR SHALL SUBMIT SAMPLE OR PHOTOS FOR APPROVAL.

2 BOULDER RETAINING WALL

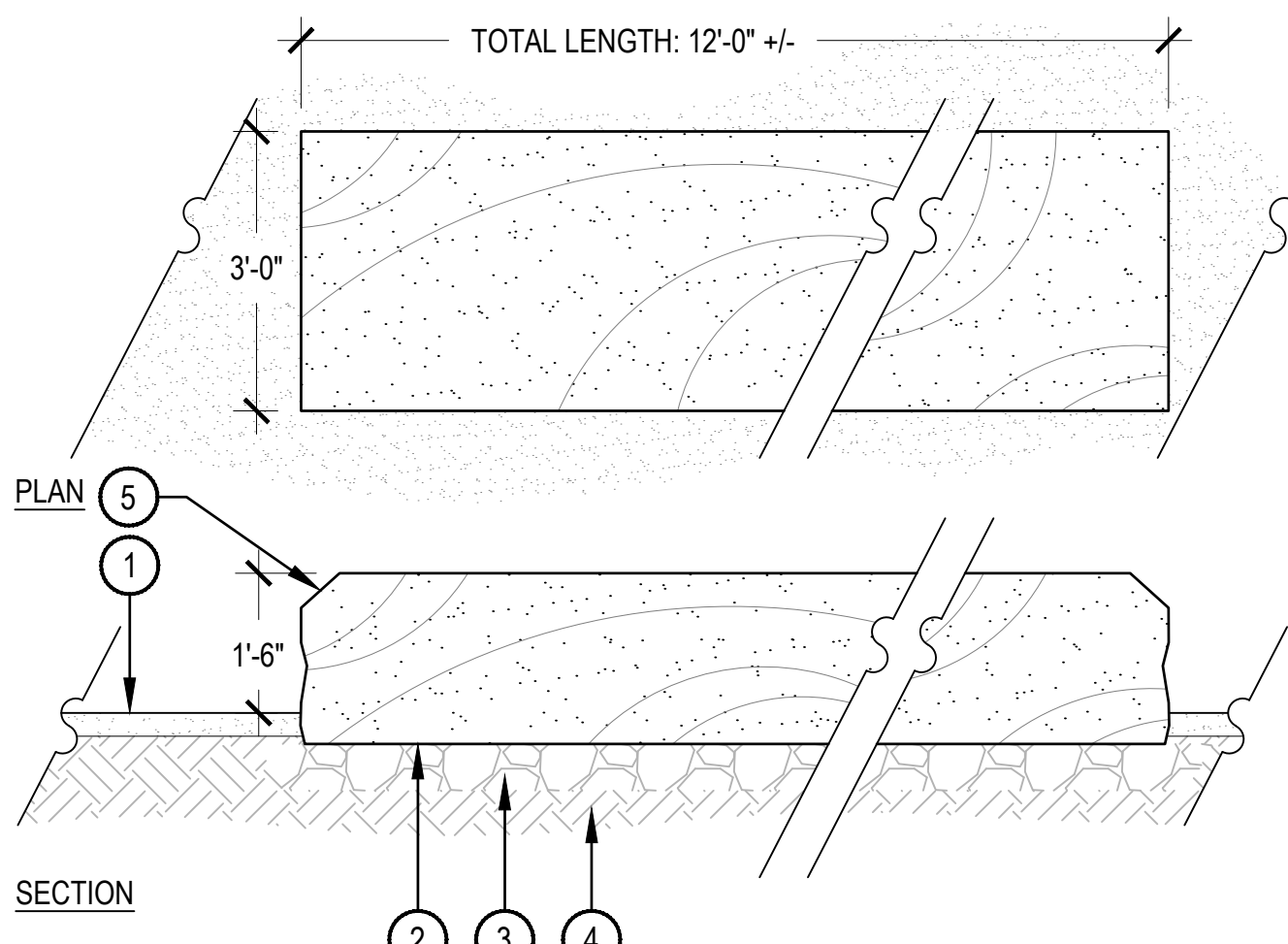
SCALE: 1" = 1'-0"



- NOTES:
- CONTRACTOR SHALL SUBMIT SMALL SAMPLE OR PHOTOS OF BOULDERS FOR APPROVAL.
 - STACK BOULDERS WITH 2:1 BATTER AND LEAN TO UPHILL SIDE, BOULDERS SHOULD BE NO SMALLER THAN 18"X18"X18".

3 STONE SLAB BENCH

SCALE: 1/2" = 1'-0"



- 1 ADJACENT CRUSHER FINES OR PLANTING BED, REFER TO PLAN
- 2 STONE SLAB, REFER TO MATERIAL SCHEDULE, SHEET LS-002, BURY STONE 4" BELOW FINISH GRADE
- 3 COMPACTED AGGREGATE, 6" MINIMUM DEPTH
- 4 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- 5 NATURAL CLEFT STONE EDGE, REFER TO NOTE 3

- NOTES:
- CONTACT LANDSCAPE ARCHITECT TO SELECT STONES PRIOR TO DELIVERY.
 - LANDSCAPE ARCHITECT TO APPROVE STONE SLAB BENCHES PRIOR TO INSTALLATION.
 - ALL SIDES OF STONE SLAB TO HAVE A NATURAL BROKEN FACE, TOP FACE SHALL BE NATURAL CLEFT AND SET LEVEL.