

GENERAL NOTES

- THE CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF ANY WORK SHOWN ON THESE PLANS.
- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 24 X 36 PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRIORITY OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-COMFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.
- NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.

LAYOUT NOTES

- THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED.
- OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS, DRAINAGE STRUCTURES AND SPILLWAY AREAS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

LANDSCAPE NOTES

- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKE PRIORITY OVER WRITTEN QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ON SITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- THE CONTRACTOR SHALL WARRANT ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRIORITY OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPAKTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSEND TO A DEPTH OF 8'-12' AND AMENDED PER SPECIFICATIONS.
- ALL LANDSCAPE AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AS NOTED IN THE MATERIAL SCHEDULE AND/OR TECHNICAL SPECIFICATIONS.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
- ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.

ABBREVIATIONS

&	AND	INSUL	INSULATION
@	AT	IN	INCH
¢	CENTERLINE	INT	INTEGRAL
Φ	DIAMETER OR ROUND	INV	INVERT
#	POUND OR NUMBER	JST	JOIST
AB	ANCHOR BOLT	JNT	JOINT
AD	AREA DRAIN	KJ	KEYED JOINT
ADDM	ADDENDUM	LP	LOW POINT
ADJ	ADJUSTABLE	LF	LINEAL FEET
AGG	AGGREGATE	LBS	POUNDS
ALUM	ALUMINUM	MAX	MAXIMUM
ALT	ALTERNATE	ME	MATCH EXISTING
APPROX	APPROXIMATE	MECH	MECHANICAL
ASPH	ASPHALT	MEMB	MEMBRANE
ARCH	ARCHITECT(URAL)	MED	MEDIUM
BOC	BACK OF CURB	MET	METAL
BW	BOTTOM OF WALL	MFG	MANUFACTURER
BS	BOTTOM OF STAIR	MH	MANHOLE
BEV	BEVEL	MID	MIDDLE
BITUM	BITUMINOUS	MIN	MINIMUM
BLDG	BUILDING	MIR	MIRROR
BM	BENCHMARK	MISC	MISCELLANEOUS
BRKT	BRACKET	MTD	MOUNDED
BOT	BOTTOM	MTG	MOUNTING
BSMT	BASEMENT	N	NORTH
BTWN	BETWEEN	NIC	NOT IN CONTRACT
BRLP	BURLAP	NO, #	NUMBER
CB	CATCH BASIN	NOM	NOMINAL
CF	CUBIC FOOT/FEET	NTS	NOT TO SCALE
CHAM	CHAMFER	OA	OVERALL
CIP	CAST IN PLACE	OC	ON CENTER
CJ	CONTROL JOINT	OPP	OPPOSITE
CL	CENTER LINE	OH	OVERHEAD
CMU	CONCRETE MASONRY UNIT(S)	PA	PLANTING AREA
CO	CLEAN OUT	PC	POINT OF CURVATURE
COL	COLUMN	PL	PROPERTY LINE
COMP	COMPACTED	PLBG	PLUMBING
CONC	CONCRETE	PLNTG	PLANTING
COND	CONDITION	PNL	PANEL
CONSTR	CONSTRUCTION	POL	POLISHED
CONT	CONTINUOUS	PR	PAIR
CONTR	CONTRACTOR	PRCST	PRECAST
CTR	CENTER	PSI	POUNDS PER SQUARE INCH
CY	CUBIC YARD(S)	PT	POINT OF TANGENCY
DPHT	DEEP,DEPTH	PTD	PAINTED
DBL	DOUBLE	PVC	POLYVINYL CHLORIDE
DEMO	DEMOLISH, DEMOLITION	PVMT	PAVEMENT
DEP	DEPRESSED	RAD	RADIUS
DEPT	DEPARTMENT	REF	REFERENCE
DET	DETAIL	REINF	REINFORCING
DIA	DIAMETER	REQ	REQUIRED
DIM	DIMENSION	RESIL	RESILIENT
DN	DOWN	ROW	RIGHT OF WAY
DR	DOOR	S	SOUTH
DWG	DRAWING	SC	SCALE
E	EAST	SCHD	SCHEDULE
EA	EACH	SCRN	SCREEN
EJ	EXPANSION JOINT	SECT	SECTION
ELEV	ELEVATION	SF	SQUARE FOOT (FEET)
ENCL	ENCLOSURE	SHT	SHHEET
EQ	EQUAL	SG	SUBGRADE
EW	EACH WAY	SST	STAINLESS STEEL
EQUIV	EQUIVALENT	STA	STATION
EXIST, EX	EXISTING	STD	STANDARD
FD	FLOOR DRAIN	STL	STEEL
FDN	FOUNDATION	STRC	STRUCTURAL
FF	FACE FOOT	SY	SQUARE YARD
FFE	FINISH FLOOR ELEVATION	SYM	SYMMETRICAL
FIN	FINISH(ED)	TC	TOP OF CURB
FG	FINISH GRADE	TS	TOP OF STEP/SEAT
FL	FLOWLINE	TW	TOP OF WALL
FLR	FLOOR	TYP	TYPICAL
FLASH	FLASHING	VAR	VARIABLE
FT	FOOT, FEET	VERT	VERTICAL
FTG	FOOTING	W	WEST
GA	GAUGE	W/	WITH
GALV	GALVANIZED	WID	WIDTH
GC	GENERAL CONTRACT(OR)	WL	WATER LEVEL
GLULAM	GLUE LAMINATED	W/O	WITHOUT
GND	GROUND	WT	WEIGHT
GR	GRADE	WWM	WELDED WIRE MESH
HT	HEIGHT		
HORIZ	HORIZONTAL		
HP	HIGH POINT		

NOT FOR
CONSTRUCTION

DATE:
08/01/25 MAJOR
DEVELOPMENT PLAN

01/07/26 MAJOR
DEVELOPMENT PLAN 02

SHEET TITLE:
LANDSCAPE
NOTES

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER USE	DROUGHT TOLERANCE
DECIDUOUS CANOPY TREES							
CE OC	4	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	3" CAL.	LOW	HIGH
PO AN	6	POPULUS ANGUSTIFOLIA	NARROWLEAF COTTONWOOD	B & B	3" CAL.	LOW	HIGH
EVERGREEN TREES							
JU SC	10	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	B & B	6' HEIGHT	VERY LOW	HIGH
PI BS	4	PICEA PUNGENS 'GLAUCA'	BLUE COLORADO SPRUCE	B & B	8'-10' HT. MIN	LOW	HIGH
PI ED	13	PINUS EDULIS	PINYON PINE	B & B	8'-10' HT. MIN	LOW	HIGH
ORNAMENTAL TREES							
AC FL	7	ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	B & B	3" CAL.	LOW	HIGH
AC GL	23	ACER GLABRUM	ROCKY MOUNTAIN MAPLE	B & B	3" CAL.	LOW	MOD
AM SE	9	AMELANCHIER ALNIFOLIA	SERVICEBERRY	B & B	3" CAL.	MOD	HIGH
BE OC	10	BETULA OCCIDENTALIS	WATER BIRCH	B & B	3" CAL.	MOD	HIGH
PO TR	32	POPULUS TREMULOIDES	QUAKING ASPEN	B & B	3" CAL.	MOD	MOD
DECIDUOUS SHRUBS							
AR TR	87	ARTEMISIA TRIDENTATA	BIG SAGEBRUSH	CONT.	#5	VERY LOW	HIGH
CE IN	26	CERCOCARPUS INTRICATUS	LITTLE LEAF MOUNTAIN MAHOGANY	CONT.	#5	LOW	HIGH
CE MO	75	CERCOCARPUS MONTANUS MONTANUS	MOUNTAIN MAHOGANY	CONT.	#5	LOW	HIGH
CH MI	134	CHAMAEBATIA RIA MILLEFOLIUM	FERNBUSH	CONT.	#5	LOW	HIGH
CH NN	148	CHRYSOTHAMNUS NAUSEOSUS	BABY BLUE RABBITBRUSH	CONT.	#5	LOW	HIGH
CO AL	6	CORNUS ALBA 'ARGENTEOMARGINATA'	VARIEGATED DOGWOOD	CONT.	#5	MOD	HIGH
CR RE	8	CORNUS SERICEA	RED TWIG DOGWOOD	CONT.	#5	MOD	HIGH
CO AF	81	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	CONT.	#5	LOW	HIGH
CO AC	33	COTONEASTER ACUTIFOLIUS (LUCIDUS)	PEKING COTONEASTER	CONT.	#5	LOW	HIGH
HO DU	3	HOLODISCUS DUMOSUS	ROCK SPIREA	CONT.	#5	LOW	HIGH
LO AR	12	LONICERA TATARICA 'ARNOLD'S RED'	ARNOLD'S RED HONEYSUCKLE	CONT.	#5	LOW	HIGH
PH MO	151	PHYSOCARPUS MONOGYNUUS	MOUNTAIN NINEBARK	CONT.	#5	LOW	HIGH
PO FR	218	POTENTILLA FRUTICOSA	POTENTILLA	CONT.	#5	LOW	HIGH
PO PB	57	POTENTILLA FRUTICOSA 'PINK BEAUTY'	PINK BEAUTY POTENTILLA	CONT.	#5	LOW	HIGH
RH CI	5	RHUS GLABRA 'CISMONTANA'	WESTERN SMOOTH SUMAC	CONT.	#5	LOW	HIGH
RH TR	3	RHUS TRILOBATA	SKUNKBUSH SUMAC	CONT.	#5	LOW	HIGH
RI AU	92	RIBES AUREUM	GOLDEN CURRANT	CONT.	#5	LOW	HIGH
RO WO	248	ROSA WOODSII	MOUNTAIN ROSE	CONT.	#5	LOW	HIGH
SA GE	53	SALIX GEYERIANA	GEYER WILLOW	CONT.	#5	MOD	HIGH
SO ST	3	SORBARIA SORBIFOLIA STELLIPILA	URAL FALSE SPIREA	CONT.	#5	LOW	HIGH
SY OR	101	SYMPHORICARPOS OREOPHILUS	MOUNTAIN SNOWBERRY	CONT.	#5	LOW	HIGH
SY VU	27	SYRINGA VULGARIS	COMMON PURPLE LILAC	CONT.	#5	LOW	HIGH
EVERGREEN SHRUBS							
JU BL	97	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	CONT.	#5	LOW	HIGH
JU BU	65	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	CONT.	#5	LOW	HIGH
PI GL	30	PICEA PUNGENS 'GLOBOSA'	DWARF GLOBE GREEN SPRUCE	CONT.	#5	LOW	HIGH
PI BI	23	PINUS MUGO 'BIG TUNA'	BIG TUNA MUGO PINE	CONT.	#5	LOW	HIGH
PI TA	59	PINUS MUGO 'TANNENBAUM'	TANNENBAUM MUGO PINE	CONT.	#5	LOW	HIGH
ORNAMENTAL GRASSES							
AN GE	135	ANDROPOGON GERARDII	BIG BLUESTEM	CONT.	#1	LOW	HIGH
FE EB	204	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	CONT.	#1	LOW	HIGH
MI SI	43	MISANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	CONT.	#1	MOD	MOD
PA SH	29	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	CONT.	#1	LOW	HIGH
SC SC	97	SCHIZACHYRIUM SCOPARIUM 'BLAZE'	BLAZE LITTLE BLUESTEM	CONT.	#1	LOW	HIGH
PERENNIALS							
*AC CO	57	ACHILLEA X 'CORONATION GOLD'	CORONATION GOLD YARROW	CONT.	#1	LOW	HIGH
AQ CA	31	AQUILEGIA CAERULEA	ROCKY MOUNTAIN COLUMBINE	CONT.	#1	LOW	HIGH
*LU AL	37	LUPINUS X ALPESTRIS	MOUNTAIN LUPINE	CONT.	#1	LOW	HIGH
PH BI	53	PHLOX BIFIDA	SNOWMASS PHLOX	CONT.	#1	LOW	HIGH
RU FU	67	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK-EYED SUSAN	CONT.	#1	LOW	HIGH
SA SU	65	SALVIA X SUPERBA	PERENNIAL SAGE	CONT.	#1	LOW	HIGH

NOTES:
1) * INDICATES THIS PLANT IS FOUND ON THE CSU EXTENSION OFFICE'S LOW-FLAMMABILITY LANDSCAPE PLANTS LIST WHICH MEETS THE IDAHO FIREWISE METHODOLOGY FOR RATING A PLANT'S FLAMMABILITY
2) THE DESIGN TEAM IS WORKING WITH AN ECOLOGIST FROM BIRCH ECOLOGY TO ENSURE PLANTS BEST FIT THE REQUIRED WATER USE, DROUGHT-TOLERANCE, AND FIREWISE STANDARDS

LANDSCAPE MATERIAL SCHEDULE

CODE	DESCRIPTION	PRODUCT NAME	SUPPLIER/MANUFACTURER	MODEL #	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
M-01	WOOD MULCH	CASCADE CEDAR MULCH	SITEONE OR APPROVED EQUAL	BUMU-0131	NATURAL	SEE PLANS FOR AREA	1 / LP-501 2 / LP-501 3 / LP-501	TO BE PLACED IN TREE PLANTING RINGS AND PERENNIAL/ORNAMENTAL GRASS AREAS AT 3" MIN. DEPTH. WEED BARRIER NOT REQUIRED
M-02	COBBLE MULCH	BULK RIVER ROCK LOCAL (COLORADO)	SITEONE OR APPROVED EQUAL	DAGG-5320-TN	NATURAL COLORADO	1-1/2"	N/A	TO BE PLACED IN AREAS INDICATED ON PLAN AT 4" MIN. DEPTH OVER WEED BARRIER, MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES
M-03	CRUSHER FINES	BULK TAN BREEZE	SITEONE OR APPROVED EQUAL	CAGG-0224	TAN	SEE PLANS	7 / LP-501	4" MIN. DEPTH OVER COMPACTED SUBGRADE, STABILIZER TO BE ADDED
M-04	DECORATIVE ROCK MULCH	BULK PIONEER BLUE	SITEONE OR APPROVED EQUAL	DAGG-5196	BLUES AND GREYS	1-1/2"	N/A	TO BE PLACED IN AREAS INDICATED ON PLAN AT 4" MIN. DEPTH OVER WEED BARRIER, MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES
M-05	METAL EDGER	METAL EDGER	DURAEDGE OR APPROVED EQUAL		ROLLED TOP EDGE	POWDER COAT GREEN	4" X 14 GAUGE	6 / LP-501 TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS. REFER TO GENERAL LANDSCAPE NOTES
M-06	LANDSCAPE BOULDERS	SILOAM STONE, MIX	SILOAM STONE INC. OR APPROVED EQUAL		N/A	NATURAL	MIX OF 3'-5" DIA.	1 / LP-502 REFER TO DETAIL
M-07	STONE SLAB	STONE SLABS	SILOAM STONE INC. OR APPROVED EQUAL		N/A	NATURAL	18" W X 24" H X 4" L	3 / LP-502 REFER TO DETAIL

AMENITY SCHEDULE

CODE	DESCRIPTION	PRODUCT NAME	MANUFACTURER	MODEL #	COLOR / FINISH	SIZE / DIMENSIONS	NOTES
S-01	PICNIC TABLES	MIDVALE PICNIC TABLE	THOMAS STEEL OR APPROVED EQUAL	MVT-8HCS-WI-P	MATERIAL: IPE; POWDER COAT: BEIGE GRAY	8' ADA	SURFACE MOUNT, INSTALL PER MANUFACTURERS SPECIFICATIONS
S-02	BIKE RACK	U BIKE RACK	MADRAX OR APPROVED EQUAL	U190-IG-ES	BEIGE GRAY POWDER COAT	1-7/8"	IN GROUND MOUNTED; INSTALL PER MANUFACTURERS SPECIFICATIONS
S-03	PERGOLA	TOGA PERGOLA	STURDESIGN OR APPROVED EQUAL	TOGA E	PURLINS: WOOD GRAIN ALUMINUM, POWDER COAT: DARK TAUPE SATIN	10' W X 18' L X 8' H	INSTALL PER MANUFACTURERS SPECIFICATIONS

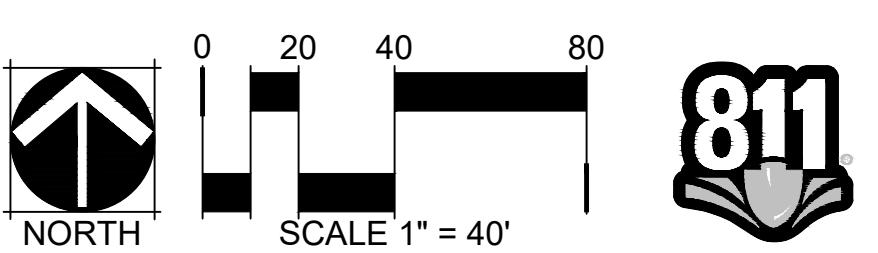
LOW GROW NATIVE SEED MIX

COMMON NAME	SCIENTIFIC NAME	PLS LBS PER ACRE	PERCENT PER ACRE
REGREEN		8.0	26.8%
BLUE FESCUE	FESTUCA GLAUCA	4.4	14.7%
BLUE GRAMA	BOUTELOUA GRACILIS	3.3	11.1%
ROCKY MOUNTAIN FESCUE	FESTUCA SAXIMONTANA	3.3	11.1%
CANBY BLUEGRASS	POA SECUNDA 'CANBAR'	3.3	11.1%
INDIAN RICEGRASS	ORYZOPSIS HYMENOIDES	2.2	7.4%
SANDBERG BLUE	POA SECUNDA	2.2	7.4%
SIDEOTS GRAMA	BOUTELOUA CURTIPENDULA	2.2	7.4%
BIG BLUEGRASS	POA SECUNDA SSP. AMPLA	0.45	1.5%
BOTTLEBRUSH SQUIRRELTAIL	ELYMUS ELYMOIDES	0.45	1.5%
TOTAL		29.8	100%

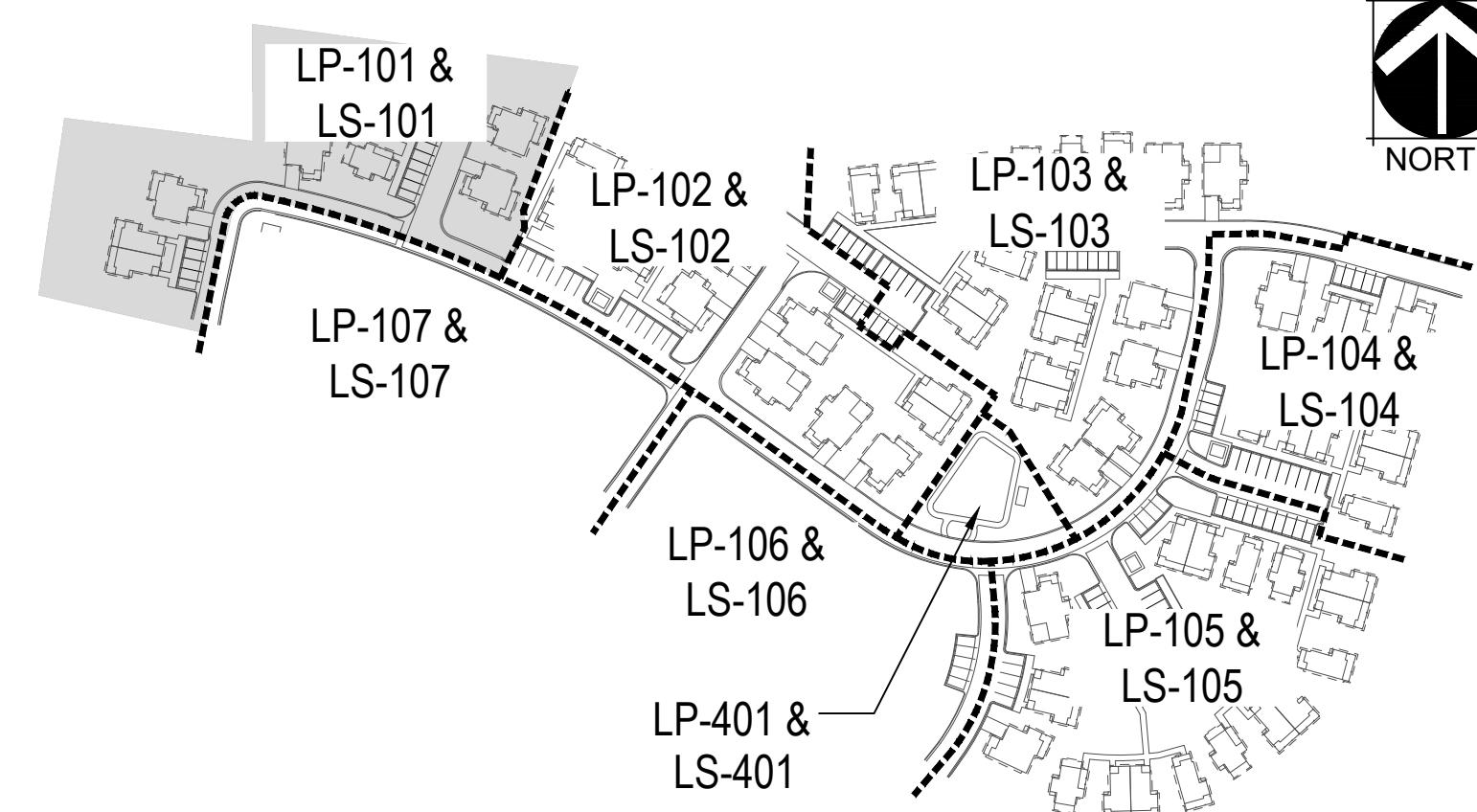
- SLOPES OVER 3:1 SHALL BE HAYED AND TECKIFIED, NETTED, OR HYDROMULCHED
- SPREAD SEED AT A RATE OF 29.8 LBS PER ACRE

SHORT DRY GRASS NATIVE SEED MIX

COMMON NAME	PLS LBS PER 1000 SF	PERCENT PER SF
HARD FESCUE, VNS	0.6	24%



KEY MAP



N.T.S.



LEGEND

	MATCHLINE	
	LOT LINE	
	LIMIT OF WORK	
	EASEMENT	
	MOW LINE	
	SHORT DRY GRASS NATIVE SEED MIX	
	LOW GROW NATIVE SEED MIX	
	TEMPORARY SEED MIX	
SYMBOL	CODE	DESCRIPTION
	M-01	WOOD MULCH
	M-02	COBBLE MULCH
	M-03	CRUSHER FINE
	M-04	DECORATIVE ROCK MULCH
	M-05	METAL EDGER
	M-06	LANDSCAPE BOULDERS
	M-07	STONE SLAB
SYMBOL	CODE	DESCRIPTION
	S-01	PICNIC TABLES
	S-02	BIKE RACK
	S-03	PERGOLA

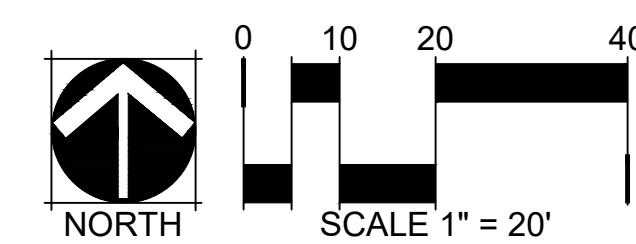
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DATE:
08/01/25 MAJOR
DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

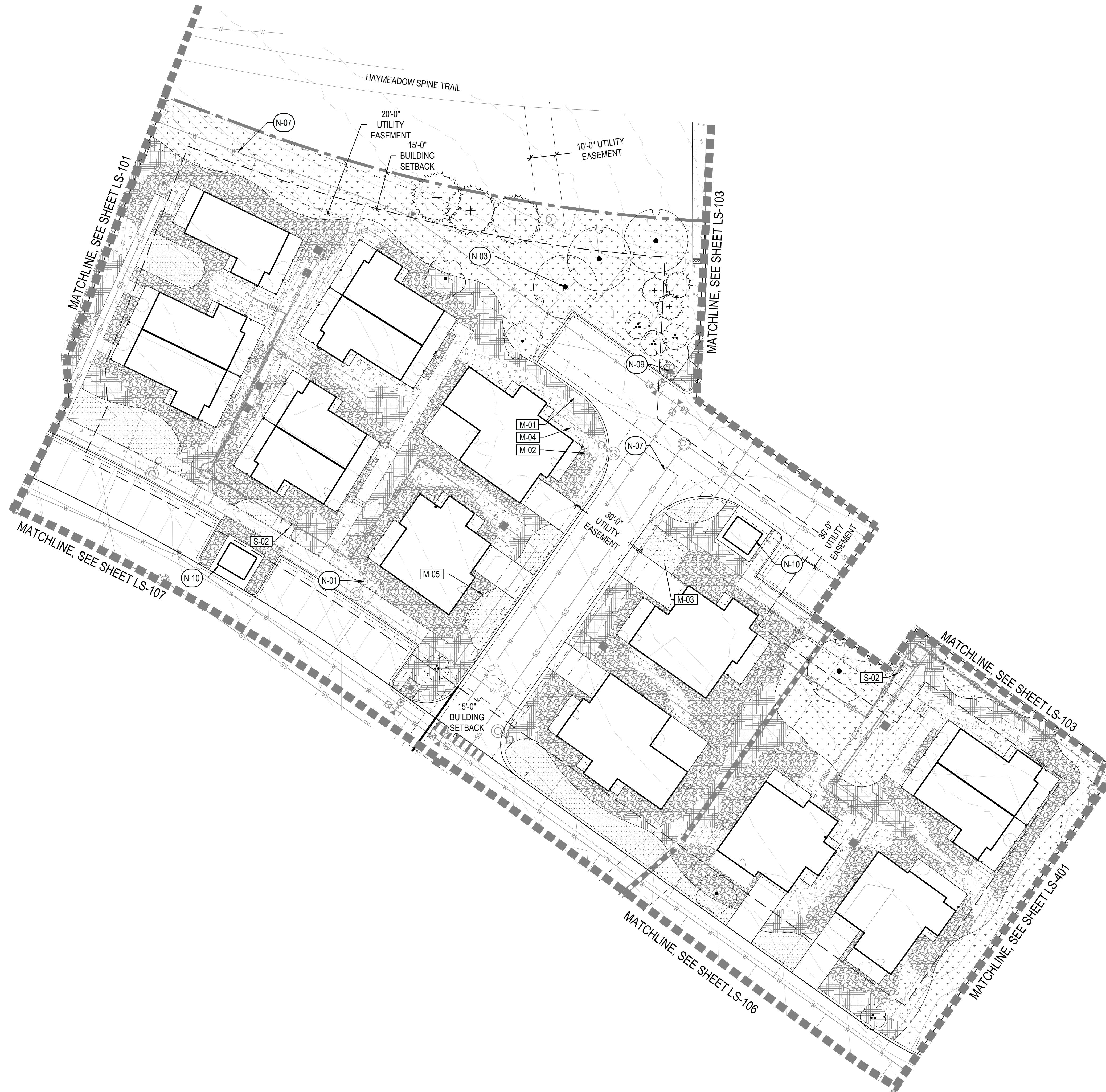
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KEY NOTES

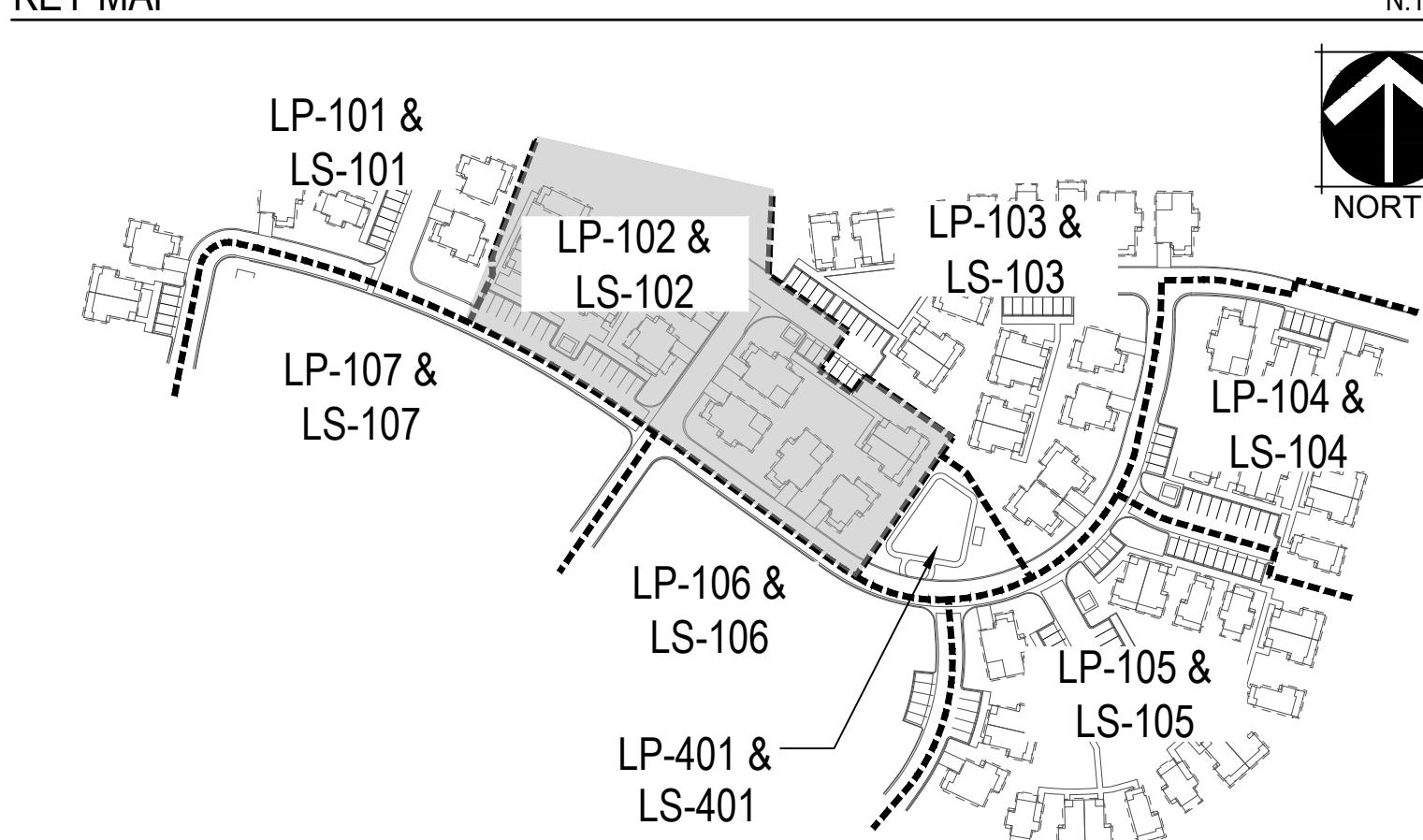
CODE	DESCRIPTION	DETAIL
N-01	PEDESTRIAN LIGHT, TYP.	RE: PHOTOMETRICS
N-02	BOULDER RETAINING WALL	2 / LP-502
N-03	TREE PLANTING	1 / LP-501
N-04	SHRUB PLANTING	2 / LP-501
N-05	TREE PLANTING ON SLOPE	3 / LP-501
N-06	CIP CONCRETE WALL	TBD
N-07	PROPOSED UTILITIES, TYP.	RE: CIVIL
N-08	SIGHT TRIANGLES, TYP.	RE: CIVIL
N-09	FIRE HYDRANT, TYP.	RE: CIVIL
N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL



WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO



KEY MAP



LEGEND

	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX

SYMBOL	CODE	DESCRIPTION
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	M-05	METAL EDGER
	M-06	LANDSCAPE BOULDERS
	M-07	STONE SLAB

SYMBOL	CODE	DESCRIPTION
	S-01	PICNIC TABLES

	S-02	BIKE RACK
--	------	-----------

	S-03	PERGOLA
--	------	---------

KEY NOTES

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N-09	FIRE HYDRANT, TYP.	RE: CIVIL
N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL

DATE:
08/01/25 MAJOR
DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

SHEET TITLE:
Hardscape Plan

LS-102

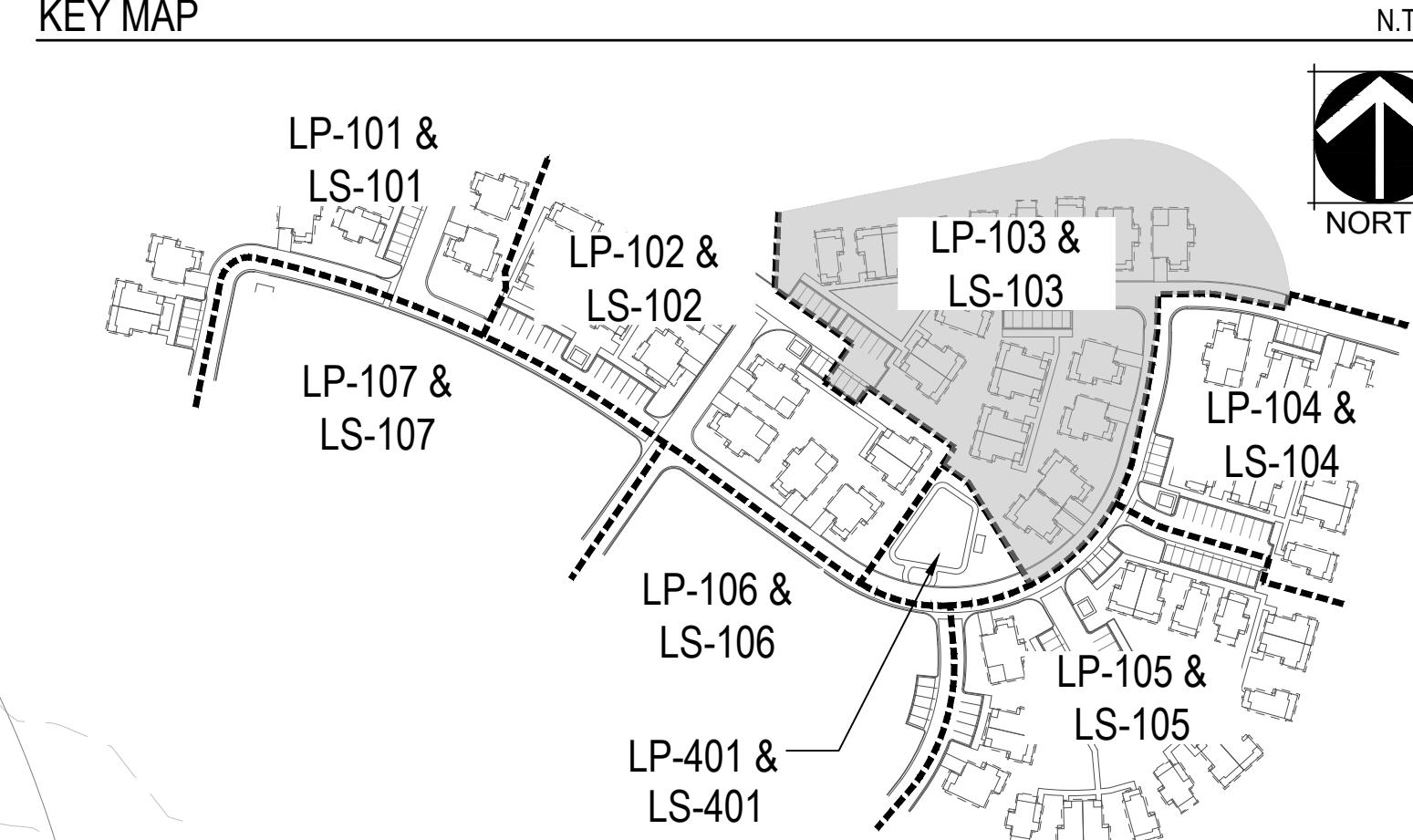
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WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO



KEY MAP



LEGEND

	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX

SYMBOL	CODE	DESCRIPTION
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	M-03	CRUSHER FINES
	M-04	DECORATIVE ROCK MULCH
	M-05	METAL EDGER
	M-06	LANDSCAPE BOULDERS
	M-07	STONE SLAB
SYMBOL	CODE	DESCRIPTION
	S-01	PICNIC TABLES
	S-02	BIKE RACK
	S-03	PERGOLA

KEY NOTES

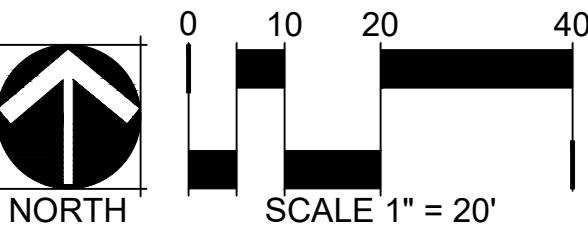
CODE	DESCRIPTION	DETAIL
N-01	PEDESTRIAN LIGHT, TYP.	RE: PHOTOMETRICS
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N-09	FIRE HYDRANT, TYP.	RE: CIVIL
N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL

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DATE:
08/01/25 MAJOR
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01/07/26 MAJOR
DEVELOPMENT PLAN 02

SHEET TITLE:
Hardscape Plan

LS-103

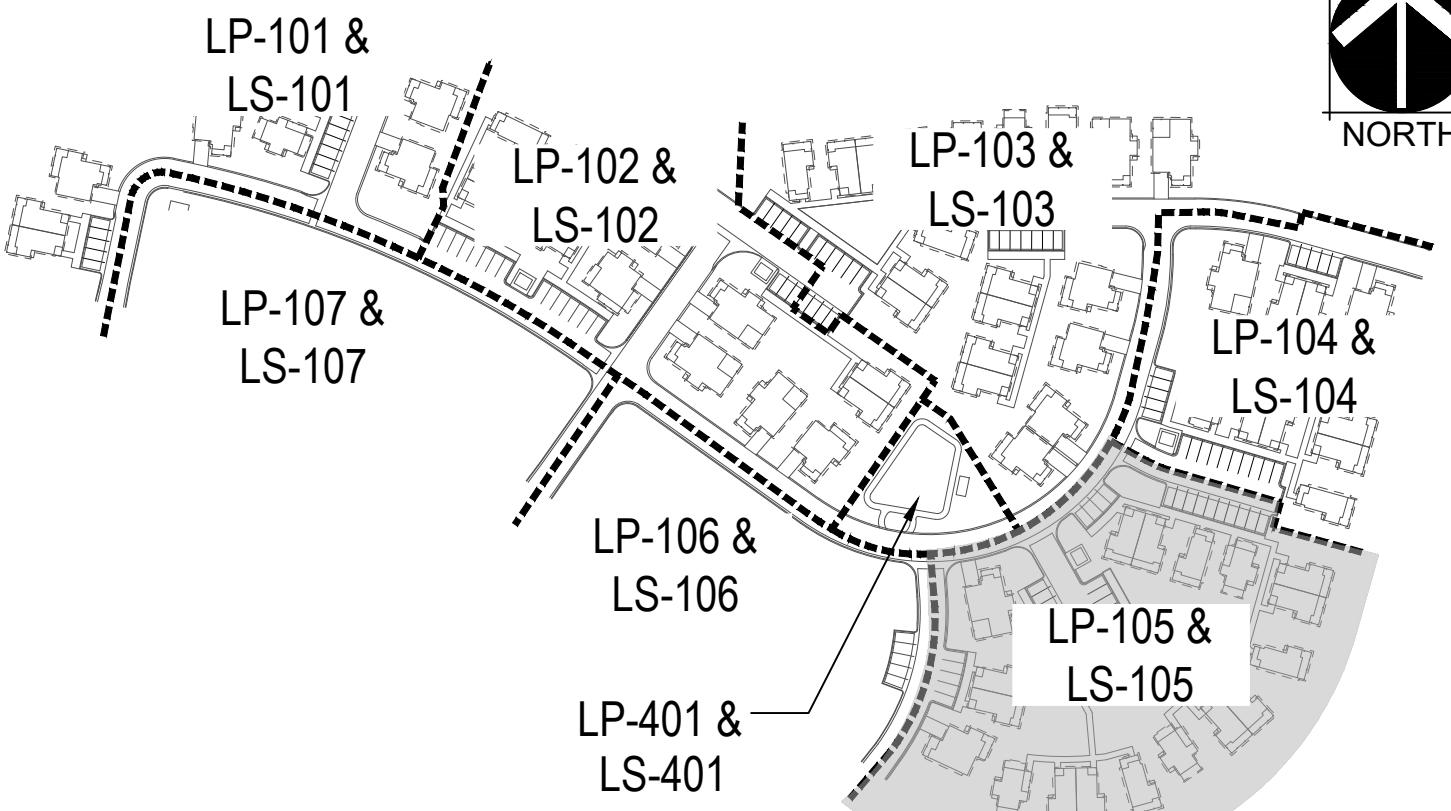


WILDFLOWER COTTAGES AT HAYMEADOW

EAGLE, COLORADO

KEY MAP

N.T.S.



LEGEND

	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX

SYMBOL CODE DESCRIPTION

	M-01	WOOD MULCH
	M-02	COBBLE MULCH
	M-03	CRUSHER FINE
	M-04	DECORATIVE ROCK MULCH
	M-05	METAL EDGER

	M-06	LANDSCAPE BOULDERS
	M-07	STONE SLAB

SYMBOL CODE DESCRIPTION

	S-01	PICNIC TABLES
	S-02	BIKE RACK

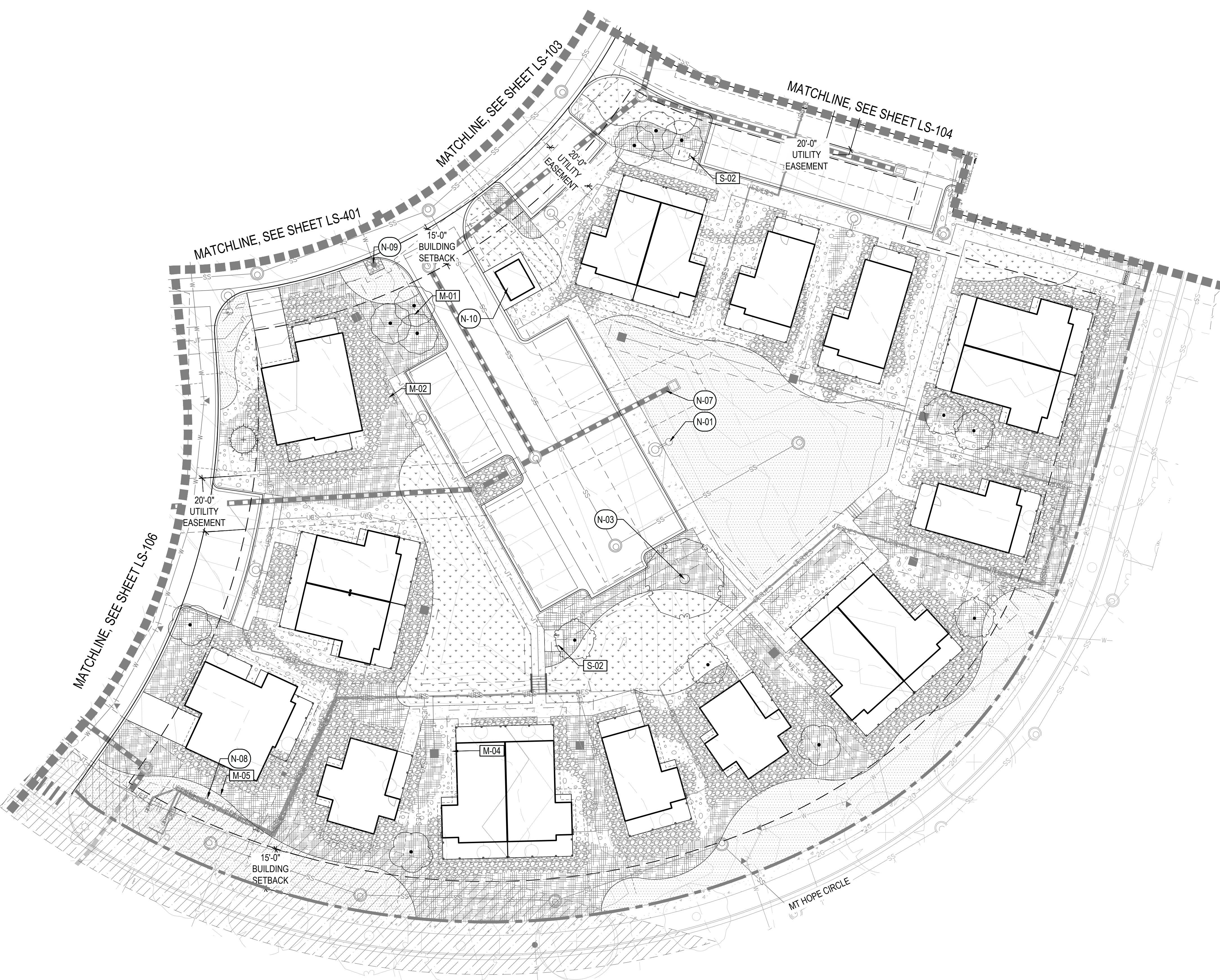
	S-03	PERGOLA
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DATE:
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DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

SHEET TITLE:
Hardscape
Plan

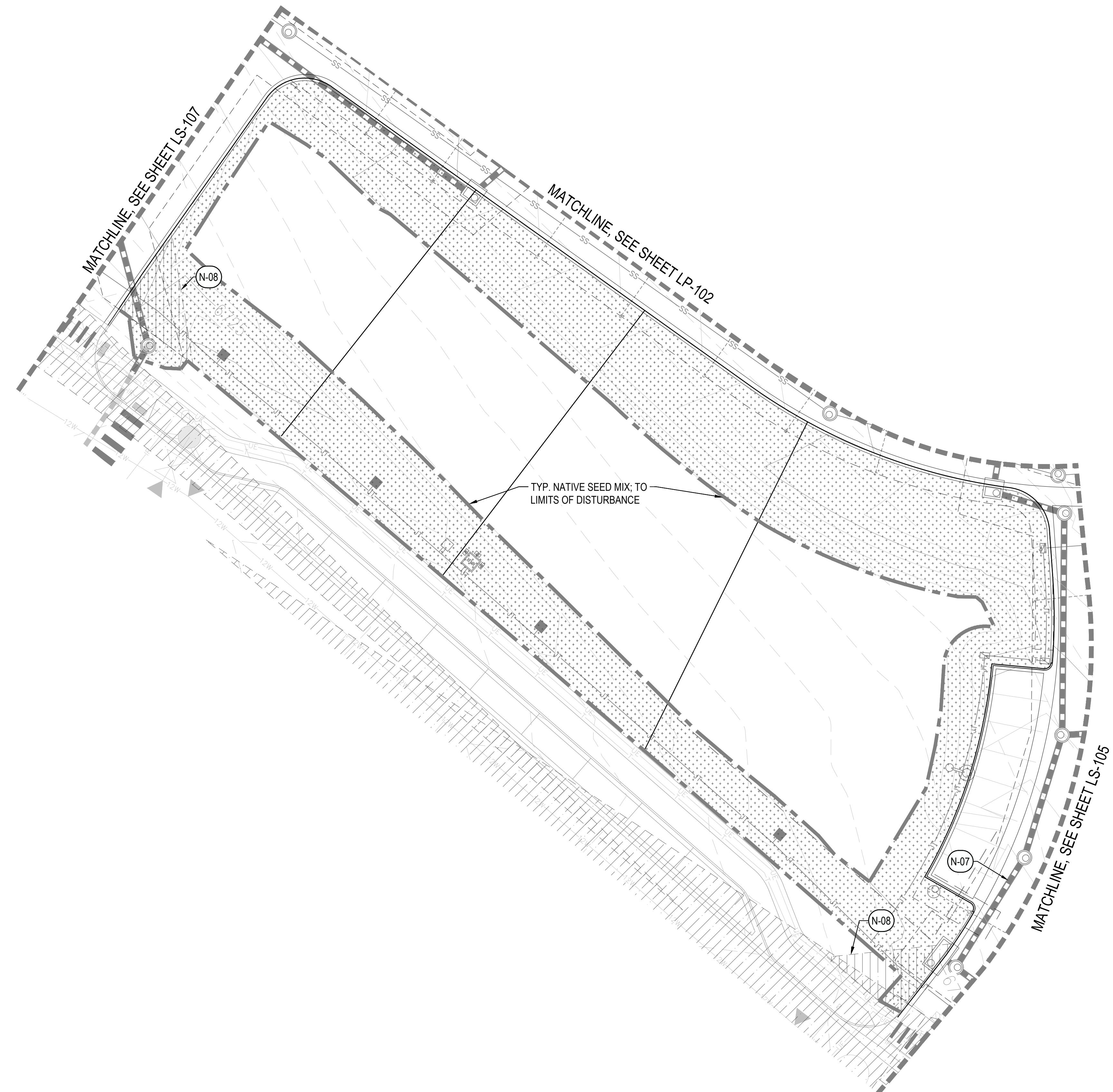
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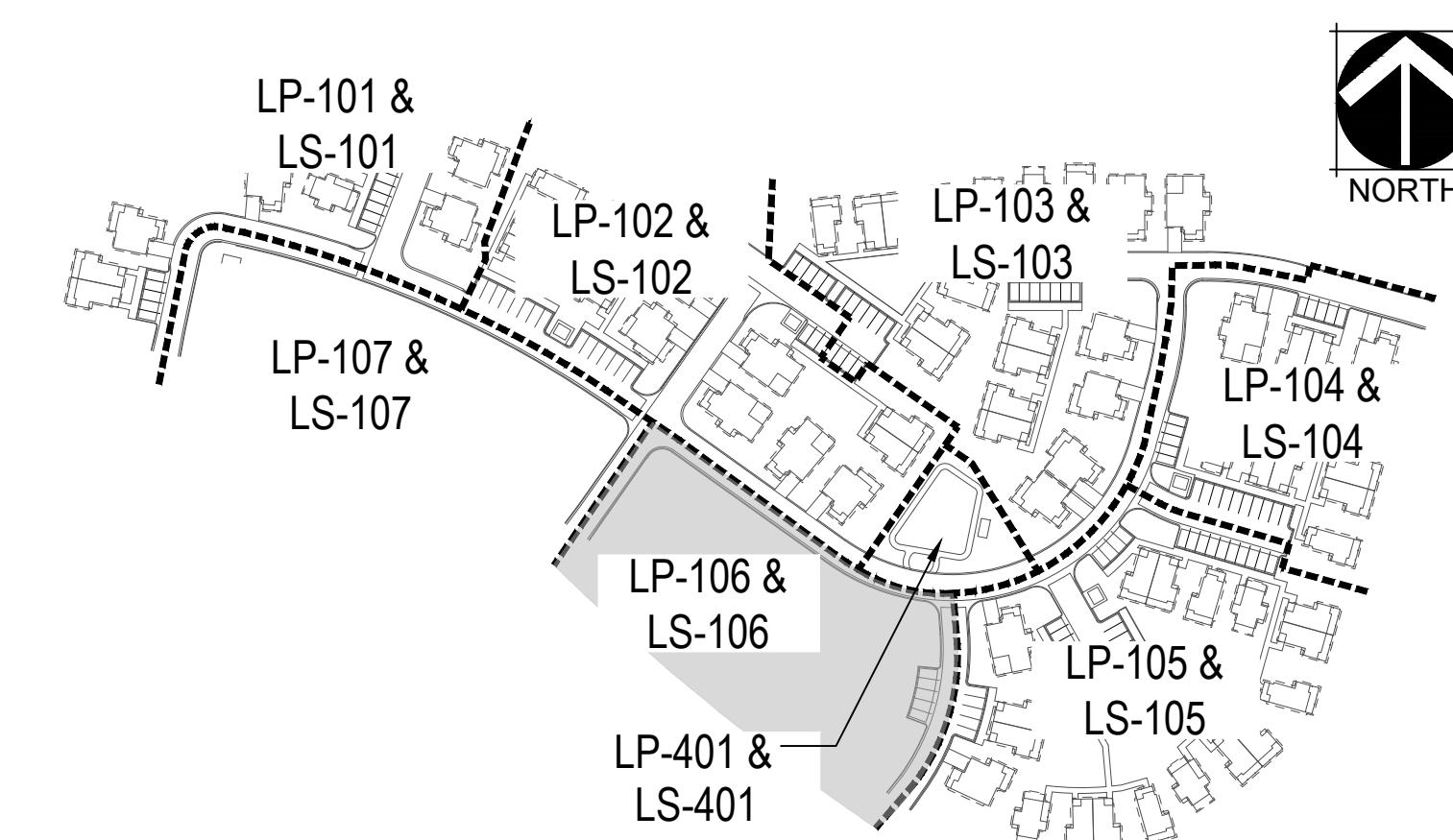
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N-08	SIGHT TRIANGLES, TYP.	RE: CIVIL
N-09	FIRE HYDRANT, TYP.	RE: CIVIL
N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL



LS-105



KEY MAP



N.T.S.



LEGEND

	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX

SYMBOL	CODE	DESCRIPTION
	M-01	WOOD MULCH
	M-02	COBBLE MULCH
	M-03	CRUSHER FINES
	M-04	DECORATIVE ROCK MULCH
	M-05	METAL EDGER
	M-06	LANDSCAPE BOULDERS
	M-07	STONE SLAB

SYMBOL	CODE	DESCRIPTION
	S-01	PICNIC TABLES
	S-02	BIKE RACK

SYMBOL	CODE	DESCRIPTION
	S-03	PERGOLA

KEY NOTES

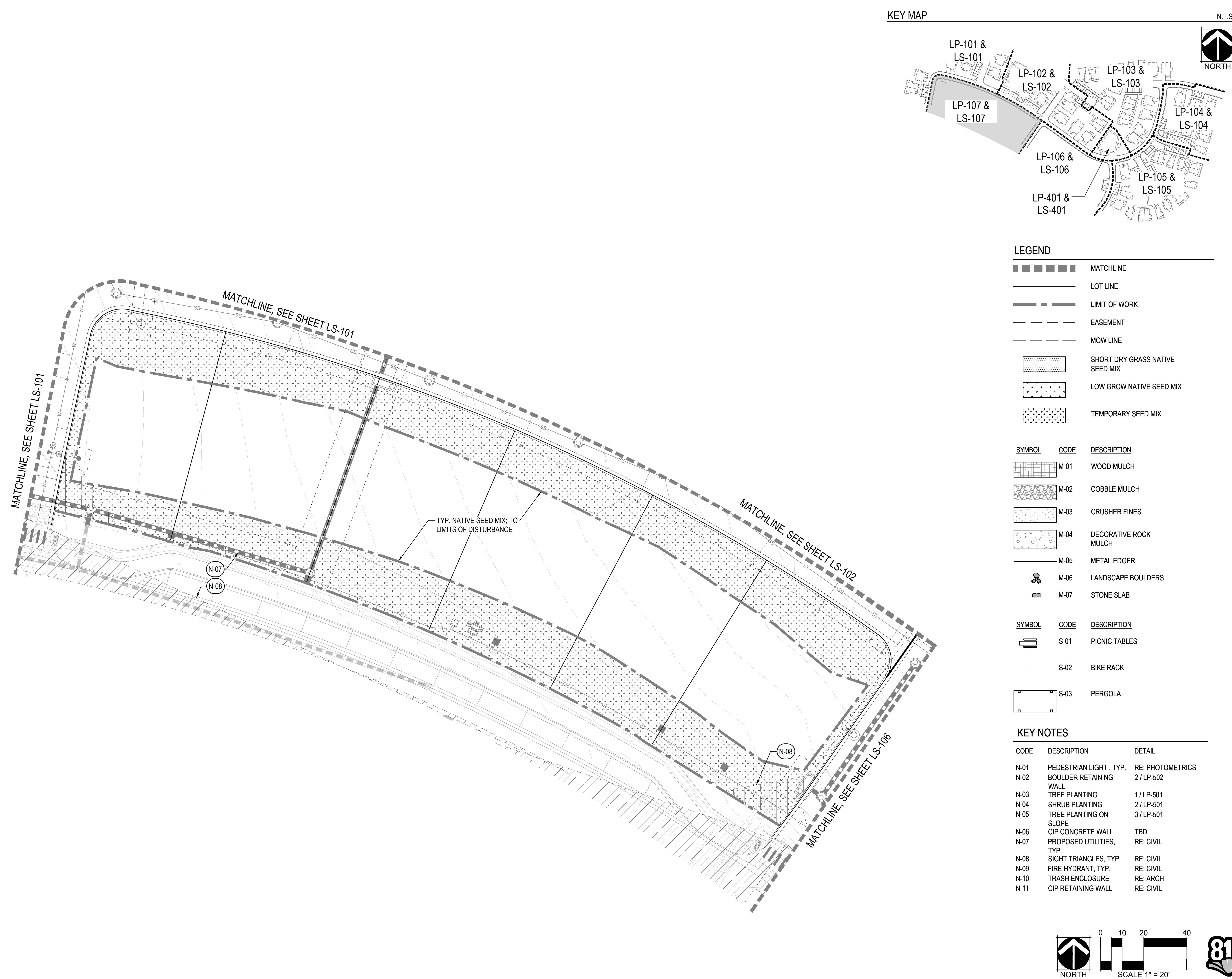
CODE	DESCRIPTION	DETAIL
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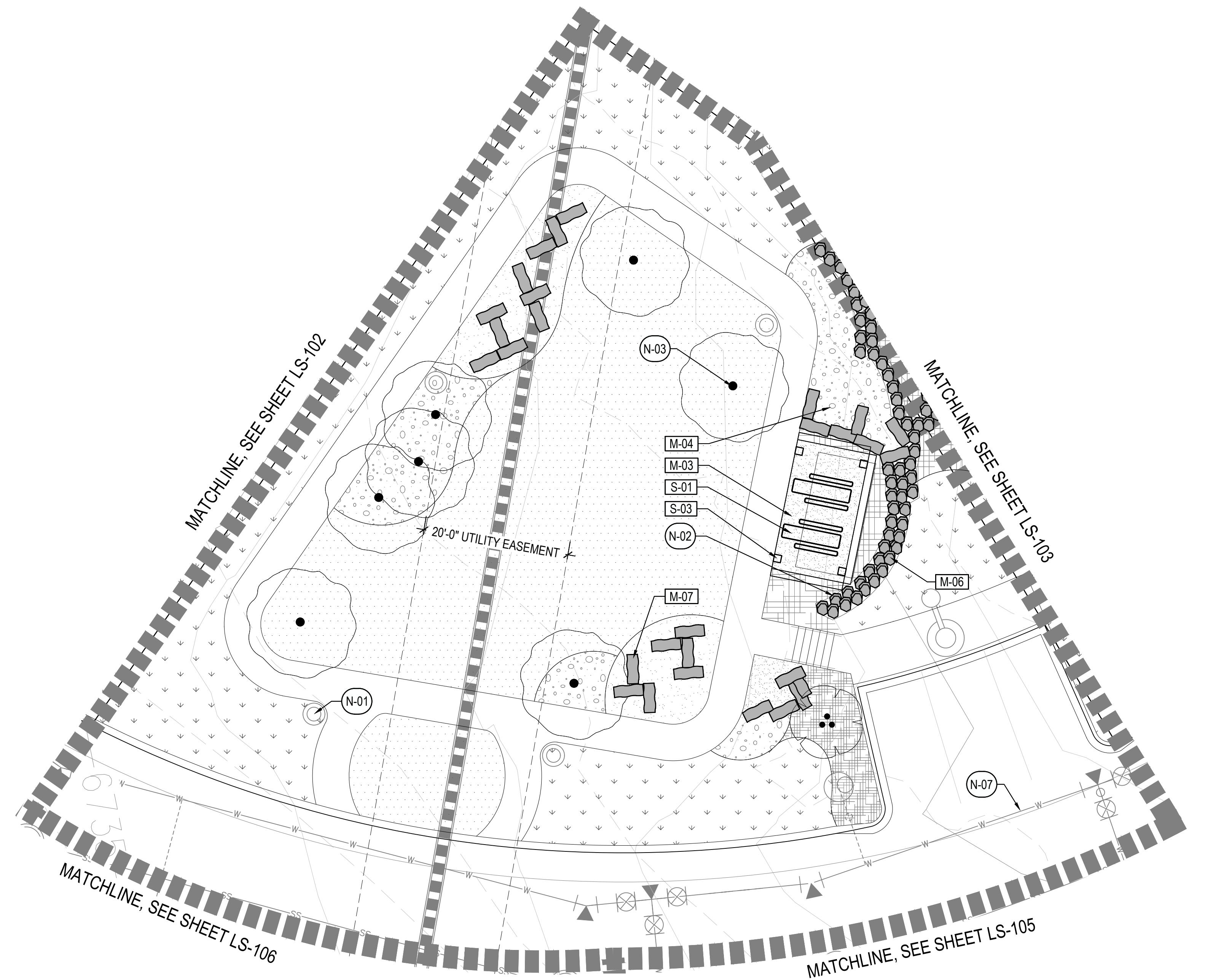
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DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

SHEET TITLE:
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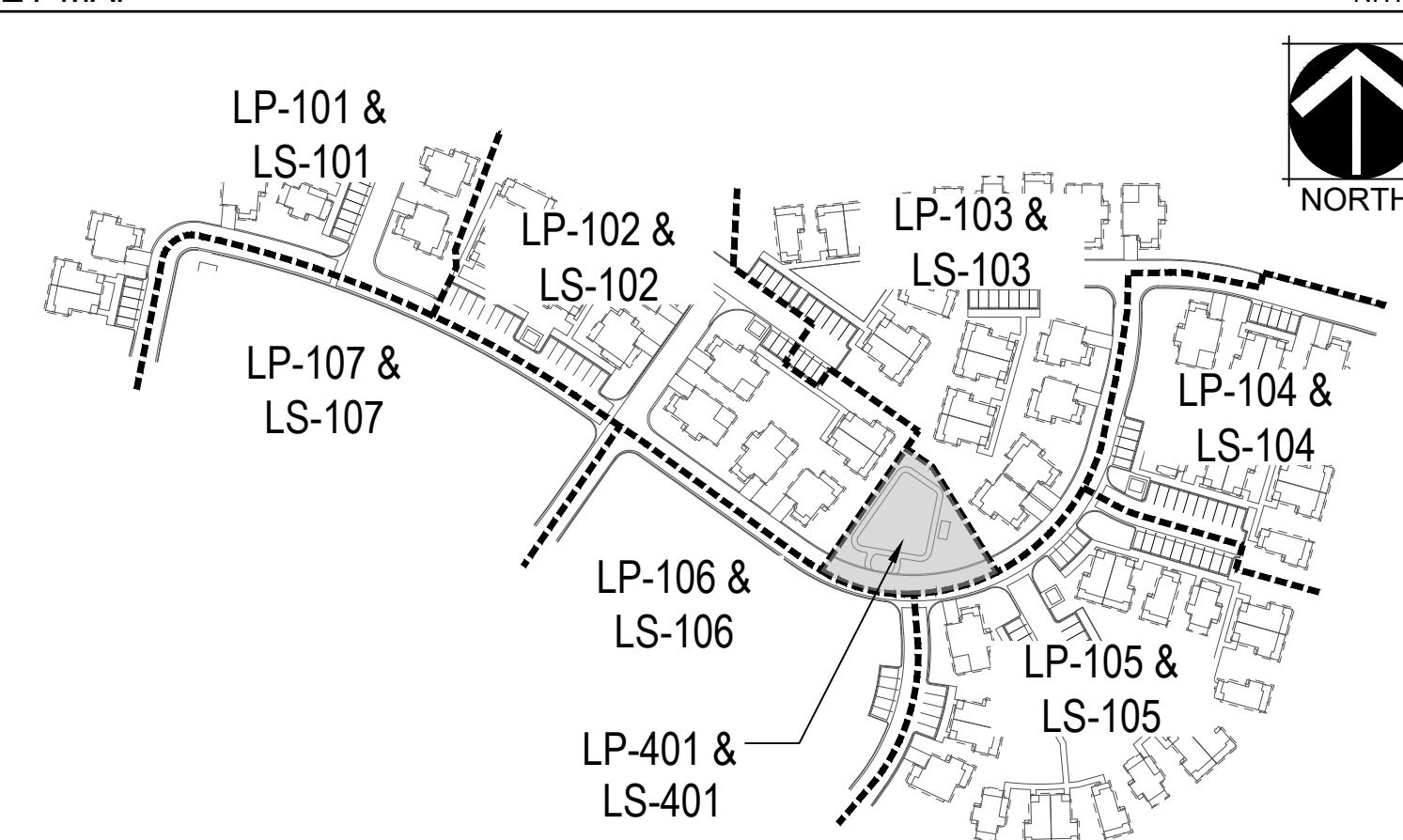
LS-106

811





KEY MAP



N.T.S.



LEGEND

	MATCHLINE
	EASEMENT
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX

SYMBOL	CODE	DESCRIPTION
	M-01	WOOD MULCH
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SYMBOL	CODE	DESCRIPTION
	S-01	PICNIC TABLES
	S-02	BIKE RACK

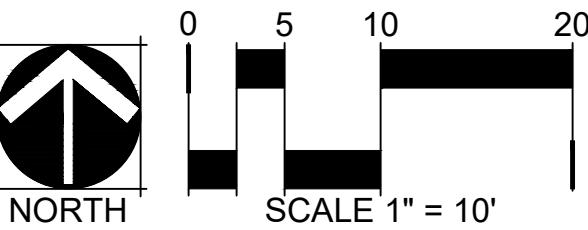
KEY NOTES

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N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL

DATE:
08/01/25 MAJOR
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01/07/26 MAJOR
DEVELOPMENT PLAN 02

SHEET TITLE:
Hardscape
Enlargement

LS-401



WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO

KEY MAP

PLANT SCHEDULE

CODE	COMMON NAME
DECIDUOUS CANOPY TREES	
CE OC	COMMON HACKBERRY
PO AN	NARROWLEAF COTTONWOOD
EVERGREEN TREES	
PI BS	BLUE COLORADO SPRUCE
PI ED	PINYON PINE
JU SC	ROCKY MOUNTAIN JUNIPER
ORNAMENTAL TREES	
AC FL	FLAME AMUR MAPLE
PO TR	QUAKING ASPEN
AC GL	ROCKY MOUNTAIN MAPLE
AM SE	SERVICEBERRY
BE OC	WATER BIRCH
DECIDUOUS SHRUBS	
CO AF	ARCTIC FIRE DOGWOOD
LO AR	ARNOLD'S RED HONEYSUCKLE
CH NN	BABY BLUE RABBITBRUSH
AR TR	BIG SAGEBRUSH
SY VU	COMMON PURPLE LILAC
CH MI	FERNBUSH
SA GE	GEYER WILLOW
RI AU	GOLDEN CURRANT
CE IN	LITTLE LEAF MOUNTAIN MAHOGANY
CE MO	MOUNTAIN MAHOGANY
PH MO	MOUNTAIN NINEBARK
RO WO	MOUNTAIN ROSE
SY OR	MOUNTAIN SNOWBERRY
CO AC	PEKING COTONEASTER
PO PB	PINK BEAUTY POTENTILLA
PO FR	POTENTILLA
CR RE	RED TWIG DOGWOOD
HO DU	ROCK SPIREA
RH TR	SKUNKBUSH SUMAC
SO ST	URAL FALSE SPIREA
CO AL	VARIEGATED DOGWOOD
RH CI	WESTERN SMOOTH SUMAC
EVERGREEN SHRUBS	
PI BI	BIG TUNA MUGO PINE
JU BL	BLUE CHIP JUNIPER
JU BU	BUFFALO JUNIPER
PI GL	DAWNTRELL'S MUGO PINE
PI TA	TANNENBAUM MUGO PINE
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DATE:	01/07/26 MAJOR
DEVELOPMENT PLAN	02

LEGEND

- MATCHLINE
- LOT LINE
- LIMIT OF WORK
- EASEMENT
- MOW LINE
- SHORT DRY GRASS NATIVE SEED MIX
- LOW GROW NATIVE SEED MIX
- TEMPORARY SEED MIX
- SYMBOL
- DESCRIPTION
- WOOD MULCH
- COBBLE MULCH
- CRUSHER FINES
- DECORATIVE ROCK MULCH
- METAL EDGER
- LANDSCAPE BOULDERS
- STONE SLAB
- PICNIC TABLES
- BIKE RACK
- PERGOLA

KEY NOTES

CODE	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION
N-01	PEDESTRIAN LIGHT, TYP.	RE: PHOTOMETRICS		
N-02	BOULDER RETAINING WALL	2 / LP-502		
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N-09	FIRE HYDRANT, TYP.	RE: CIVIL		
N-10	TRASH ENCLOSURE	RE: ARCH		
N-11	CIP RETAINING WALL	RE: CIVIL		

PERENNIALS

RU FU	BLACK-EYED SUSAN
AC CO	CORONATION GOLD YARROW
LU AL	MOUNTAIN LUPINE
SA SU	PERENNIAL SAGE
AQ CA	ROCKY MOUNTAIN COLUMBINE

PERENNIALS

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PERENNIALS

RU FU	BLACK-EYED SUSAN
AC CO	CORONATION GOLD YARROW
LU AL	MOUNTAIN LUPINE
SA SU	PERENNIAL SAGE
AQ CA	ROCKY MOUNTAIN COLUMBINE

PERENNIALS

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AC CO	CORONATION GOLD YARROW
LU AL	MOUNTAIN LUPINE
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AQ CA	ROCKY MOUNTAIN COLUMBINE

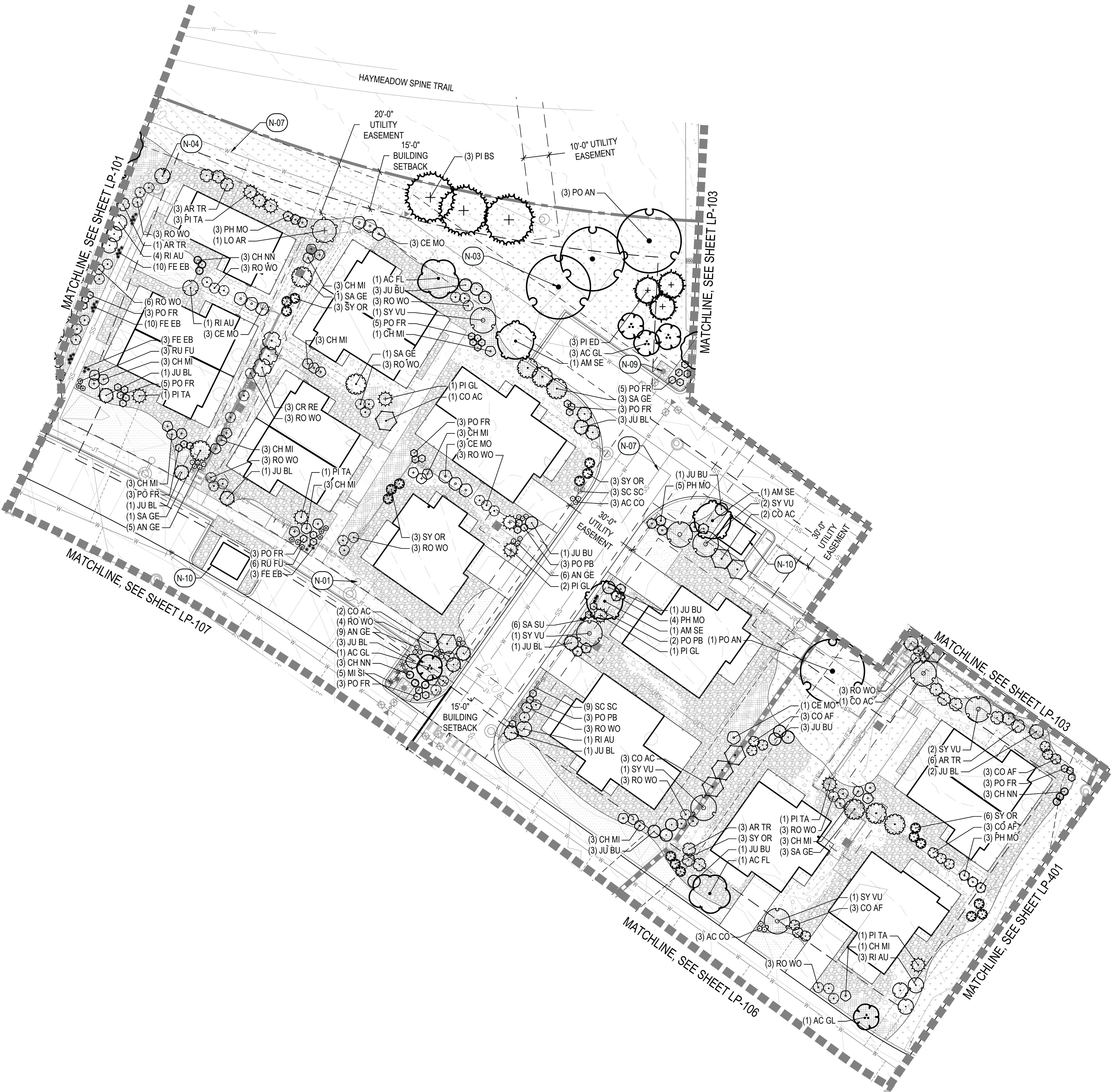
PERENNIALS

RU FU	BLACK-EYED SUSAN
AC CO	CORONATION GOLD YARROW
LU AL	MOUNTAIN LUPINE
SA SU	PERENNIAL SAGE
AQ CA	ROCKY MOUNTAIN COLUMBINE

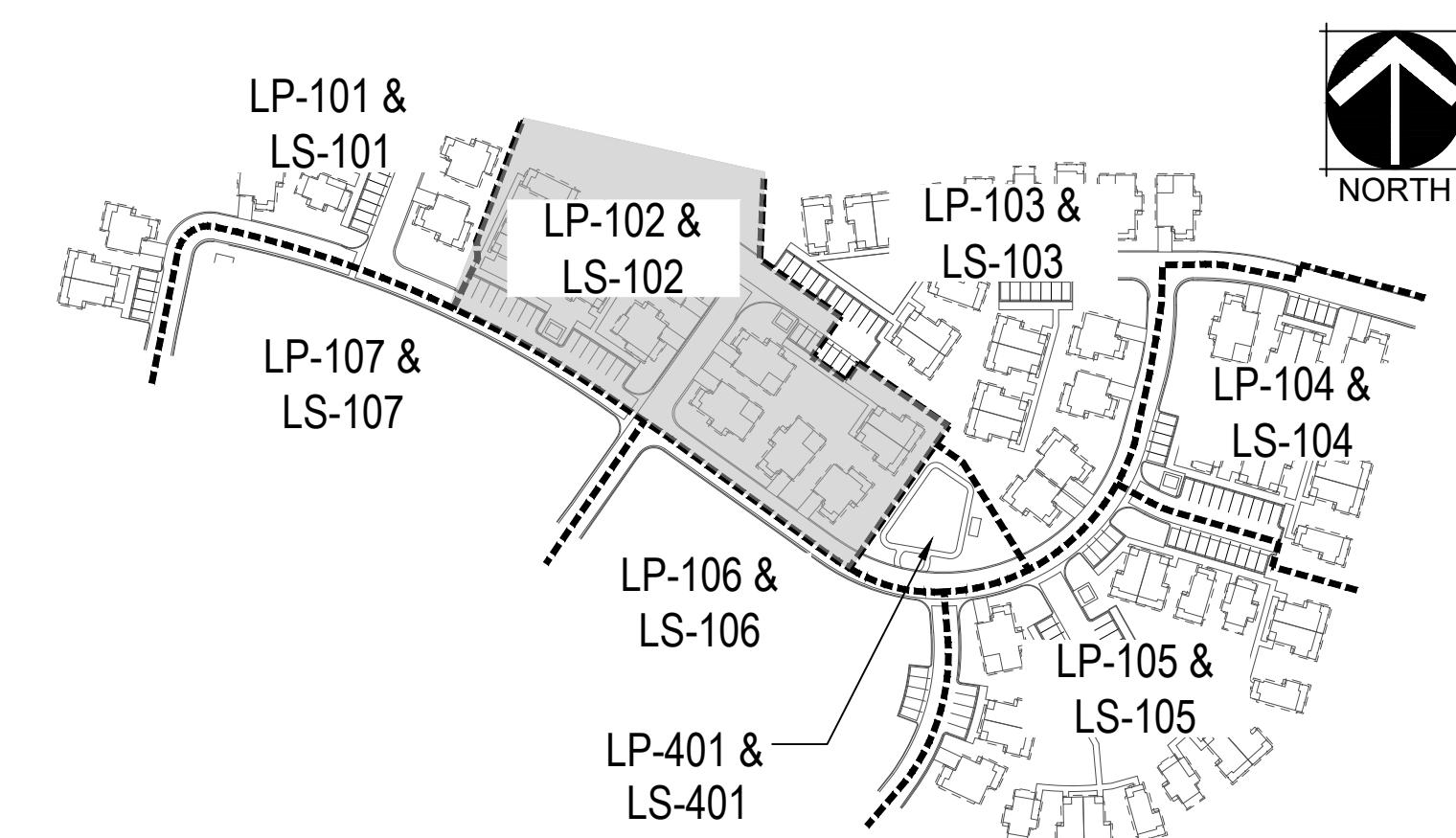
PERENNIALS

RU FU	BLACK-EYED SUSAN</th
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WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO



KEY MAP



LEGEND

	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX
	DESCRIPTION
	WOOD MULCH
	COBBLE MULCH
	CRUSHER FINES
	DECORATIVE ROCK MULCH
	METAL EDGER
	LANDSCAPE BOULDERS
	STONE SLAB
	PICTIC TABLES
	BIKE RACK
	PERGOLA

KEY NOTES

CODE	DESCRIPTION	DETAIL
N-01	PEDESTRIAN LIGHT , TYP.	RE: PHOTOMETRICS
N-02	BOULDER RETAINING WALL	2 / LP-502
N-03	TREE PLANTING	1 / LP-501
N-04	SHRUB PLANTING	2 / LP-501
N-05	TREE PLANTING ON SLOPE	3 / LP-501
N-06	CIP CONCRETE WALL	TBD
N-07	PROPOSED UTILITIES, TYP.	RE: CIVIL
N-08	SIGHT TRIANGLES, TYP.	RE: CIVIL
N-09	FIRE HYDRANT, TYP.	RE: CIVIL
N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL

NOT FOR
CONSTRUCTION

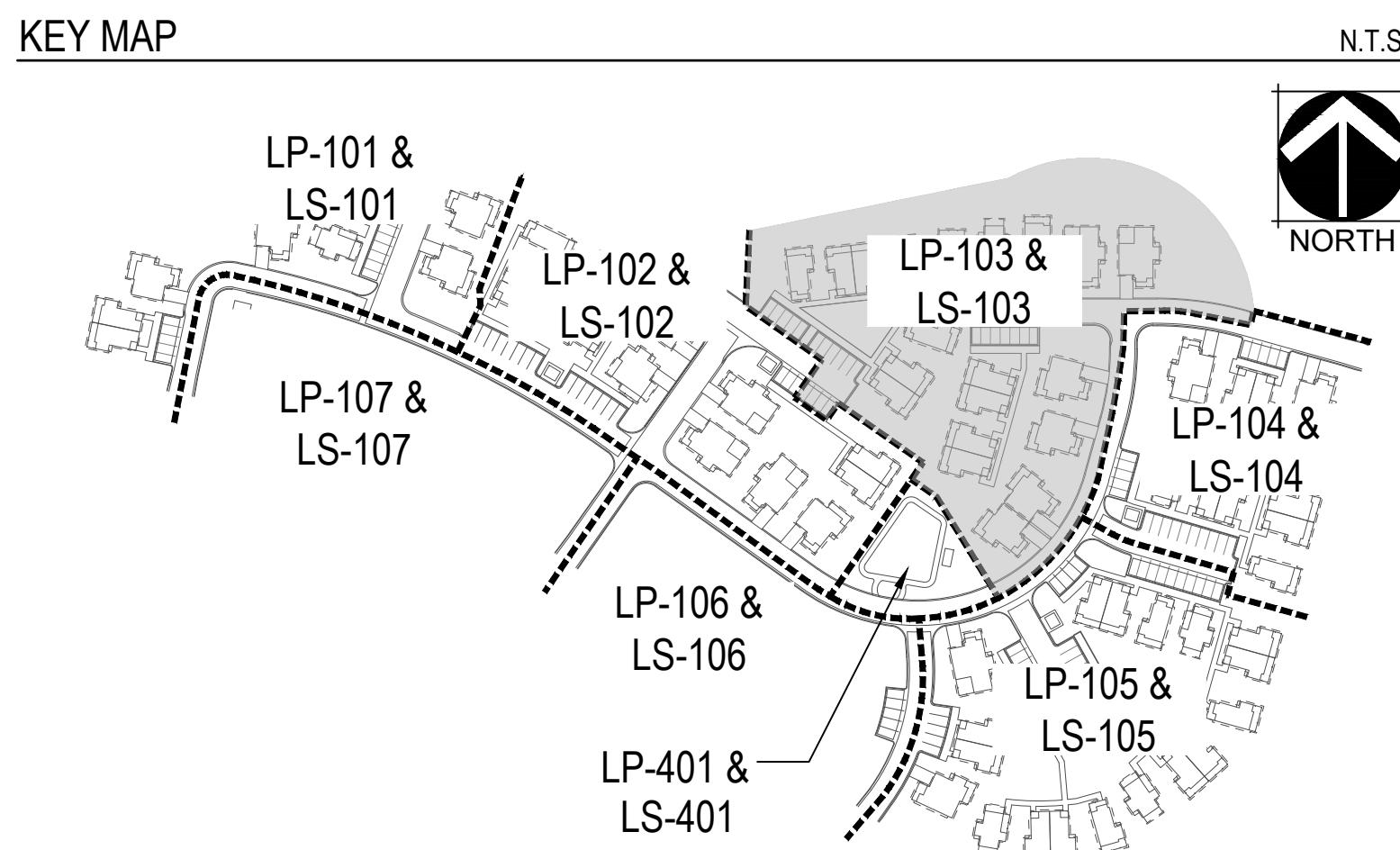
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08/01/25 MAJOR
DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

SHEET TITLE:
LANDSCAPE
PLAN

LP-102

811

WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO



PLANT SCHEDULE

CODE COMMON NAME

DECIDUOUS CANOPY TREES
CE OC COMMON HACKBERRY
PO AN NARROWLEAF COTTONWOOD

EVERGREEN TREES
PI BS BLUE COLORADO SPRUCE
PI ED PINYON PINE
JU SC ROCKY MOUNTAIN JUNIPER

ORNAMENTAL TREES
AC FL FLAME AMUR MAPLE
PO TR QUAKING ASPEN
AC GL ROCKY MOUNTAIN MAPLE
AM SE SERVICEBERRY
BE OC WATER BIRCH

DECIDUOUS SHRUBS
CO AF ARCTIC FIRE DOGWOOD
LO AR ARNOLD'S RED HONEYSUCKLE
CH NN BABY BLUE RABBITBRUSH
AR TR BIG SAGEBRUSH
SY VU COMMON PURPLE LILAC
CH MI FERNBUSH
SA GE GEYER WILLOW
RI AU GOLDEN CURRANT
CE IN LITTLE LEAF MOUNTAIN MAHOGANY
CE MO MOUNTAIN MAHOGANY
PH MO MOUNTAIN NINEBARK
RO WO MOUNTAIN ROSE
SY OR MOUNTAIN SNOWBERRY
CO AC PEKING COTONEASTER
PO PB PINK BEAUTY POTENTILLA
PO FR POTENTILLA
CR RE RED TWIG DOGWOOD
HO DU ROCK SPIREA
RH TR SKUNKBUSH SUMAC
SO ST URAL FALSE SPIREA
CO AL VARIEGATED DOGWOOD
RH CI WESTERN SMOOTH SUMAC

EVERGREEN SHRUBS
PI BI BIG TUNA MUGO PINE
JU BL BLUE CHIP JUNIPER
JU BU BUFFALO JUNIPER
PI GL DWARF GLOBE GREEN SPRUCE
PI TA TANNENBAUM MUGO PINE

ORNAMENTAL GRASSES
AN GE BIG BLUESTEM
SC SC BLAZE LITTLE BLUESTEM
FE EB BLUE FESCUE
MI SI MAIDEN GRASS
PA SH SWITCH GRASS

PERENNIALS
RU FU BLACK-EYED SUSAN
AC CO CORONATION GOLD YARROW
LU AL MOUNTAIN LUPINE
SA SU PERENNIAL SAGE

OWNER:
ABRIKA PROPERTIES, LLC
8250 SW 27TH AVE
OCALA FL, 34476
352.854.7753

NOT FOR
CONSTRUCTION

DATE:
08/01/25 MAJOR
DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

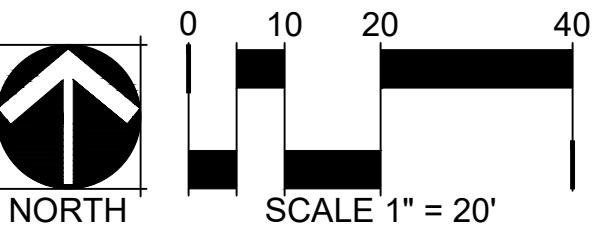
SHEET TITLE:
LANDSCAPE
PLAN

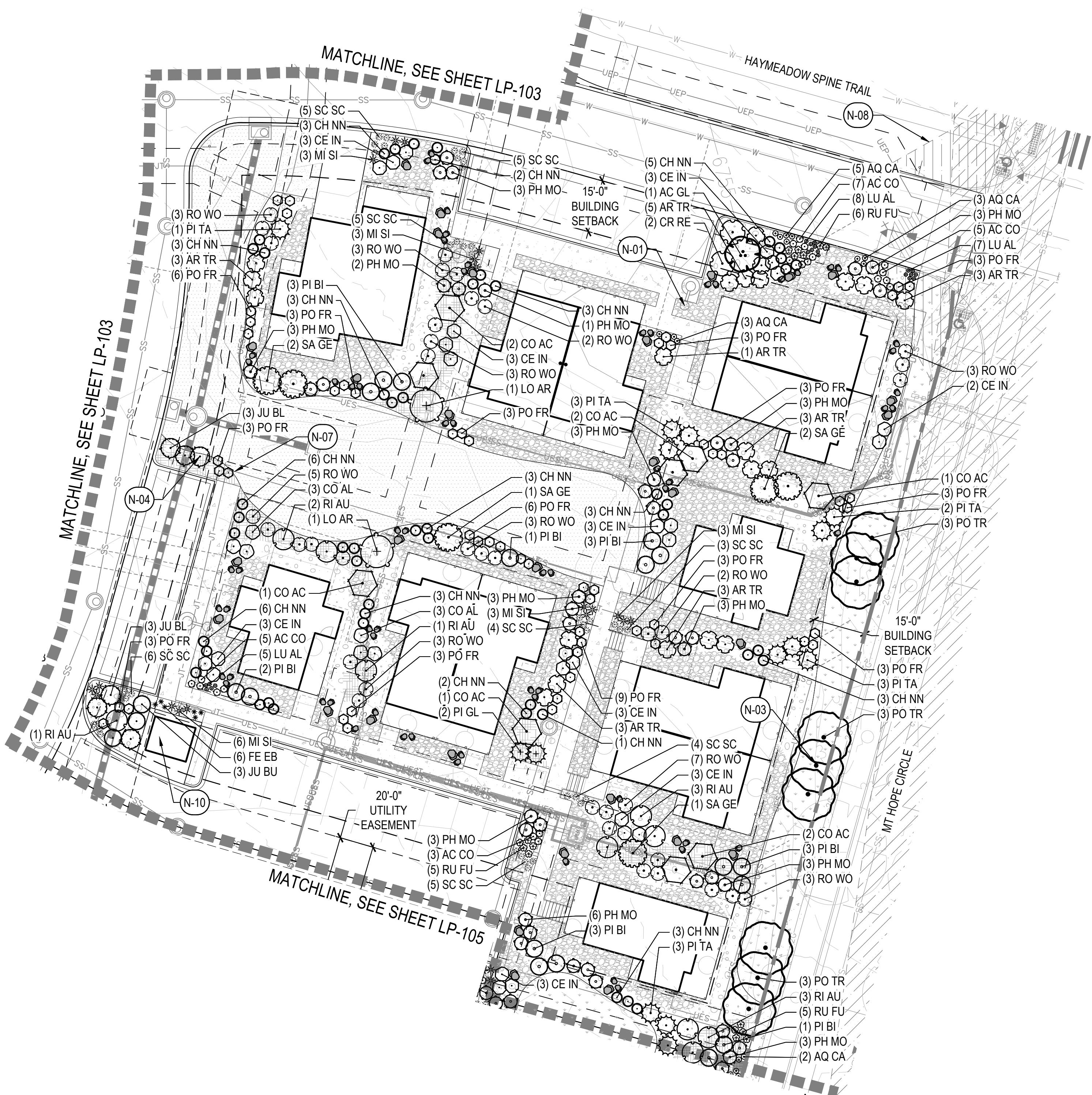
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N-08	SIGHT TRIANGLES, TYP.	RE: CIVIL
N-09	FIRE HYDRANT, TYP.	RE: CIVIL
N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL

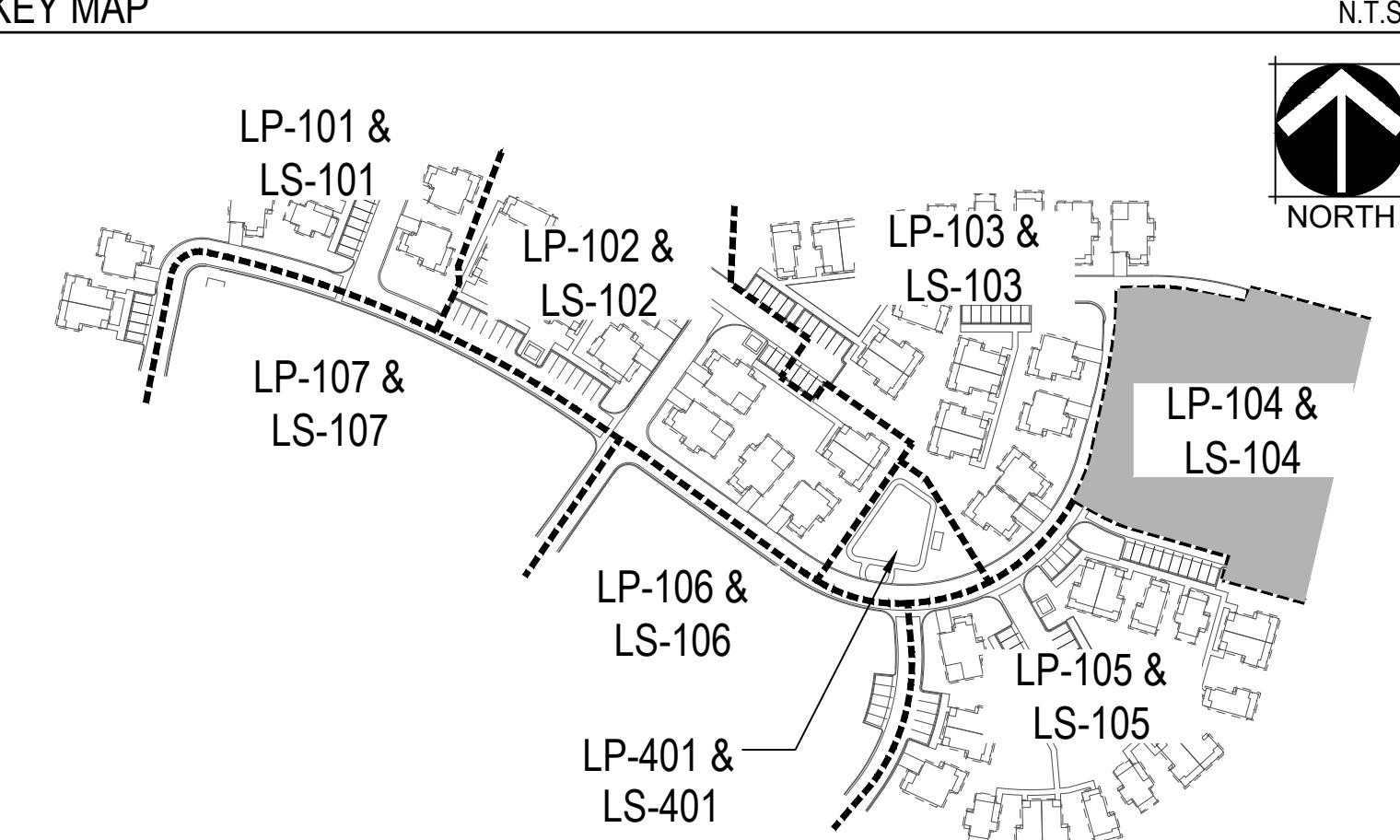
LEGEND

	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX
	SYMBOL
	DESCRIPTION
	WOOD MULCH
	COBBLE MULCH
	CRUSHER FINES
	DECORATIVE ROCK MULCH
	METAL EDGER
	LANDSCAPE BOULDERS
	STONE SLAB
	SYMBOL
	PICNIC TABLES
	BIKE RACK
	PERGOLA





KEY MAP

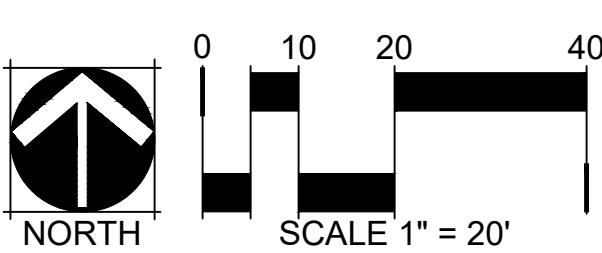


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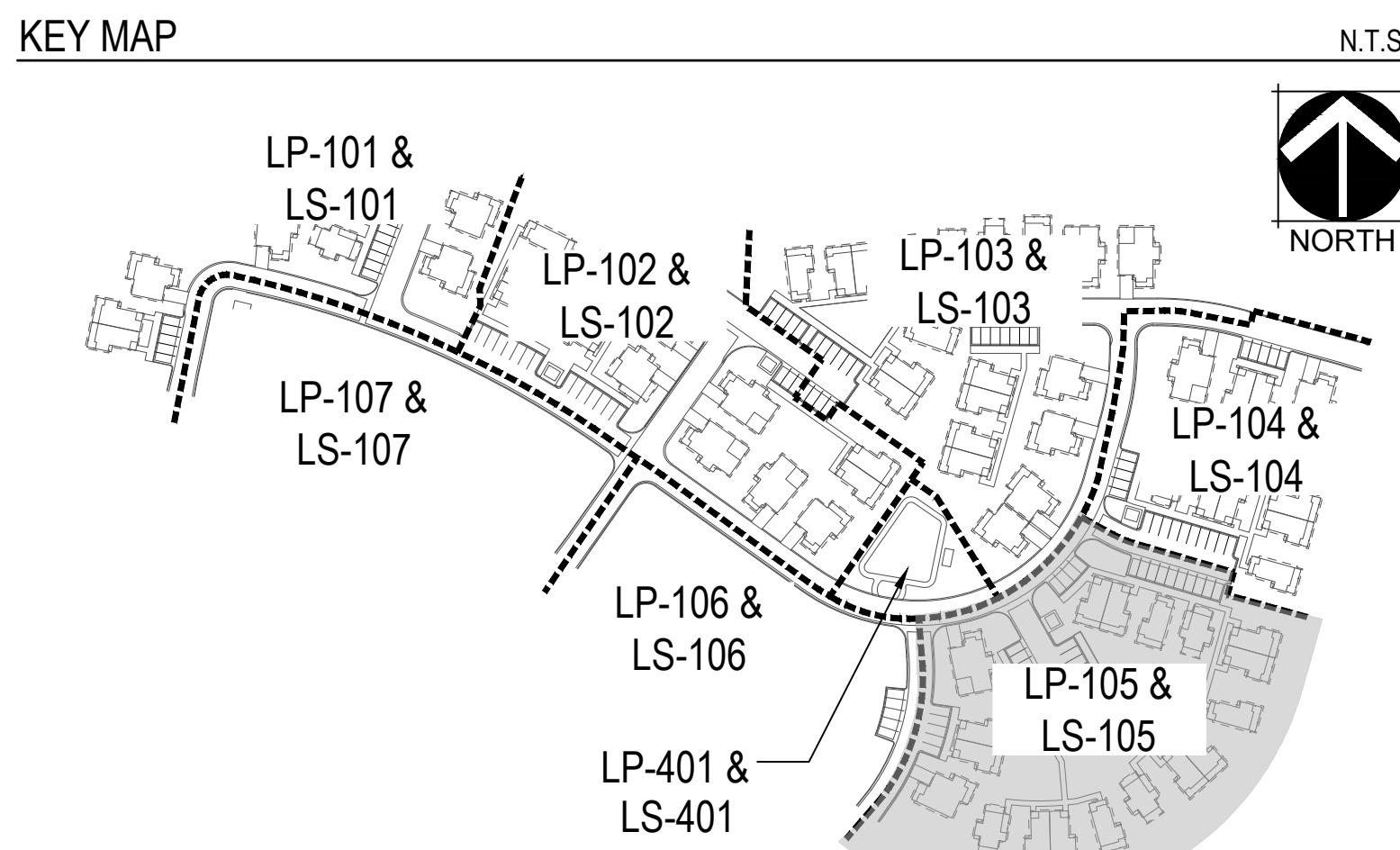
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	LOT LINE
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	SHORT DRY GRASS NATIVE SEED MIX
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	PERGOLA

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N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL
ORNAMENTAL GRASSES		
AN GE	BIG BLUESTEM	
SC SC	BLAZE LITTLE BLUESTEM	
FE EB	BLUE FESCUE	
MI SI	MAIDEN GRASS	
PA SH	SWITCH GRASS	
PERENNIALS		
RU FU	BLACK-EYED SUSAN	
AC CO	CORONATION GOLD YARROW	
LU AL	MOUNTAIN LUPINE	
SA SU	PERENNIAL SAGE	
SHEET TITLE:		
LANDSCAPE PLAN		
DATE:		
08/01/25 MAJOR		
DEVELOPMENT PLAN		
01/07/26 MAJOR		
DEVELOPMENT PLAN 02		



WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO



LEGEND

	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX
	DECIDUOUS SHRUBS
	EVERGREEN SHRUBS
	ORNAMENTAL TREES
	SYMBOL
	DESCRIPTION
	OWNER:
	NOT FOR CONSTRUCTION
	DATE:

KEY NOTES

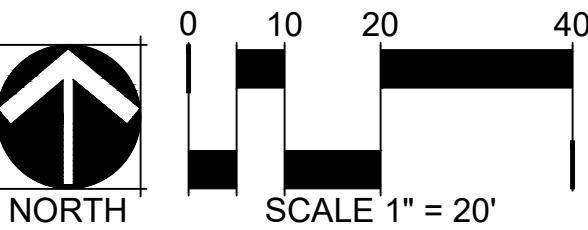
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ORNAMENTAL GRASSES

AN GE	BIG BLUESTEM
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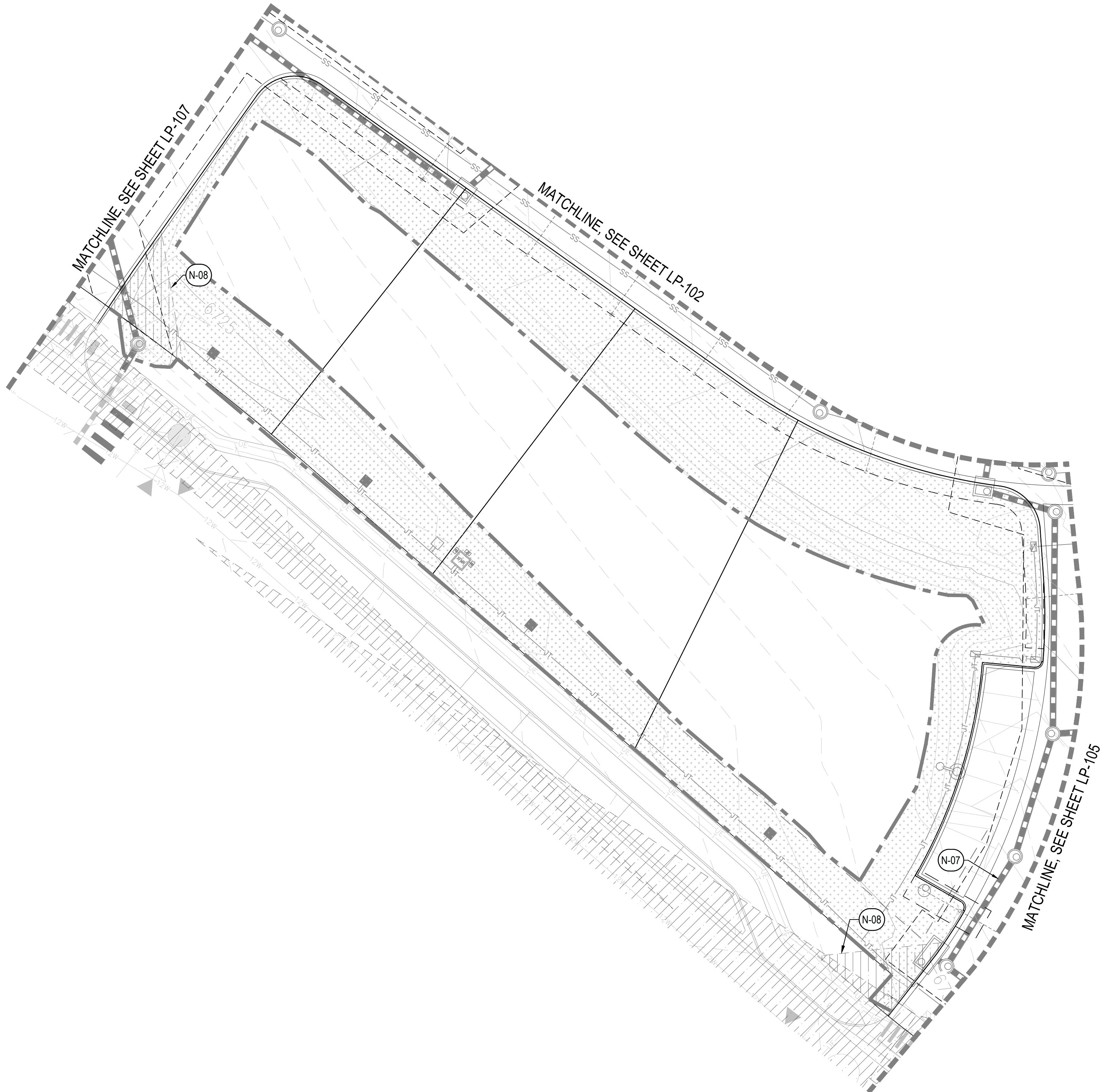
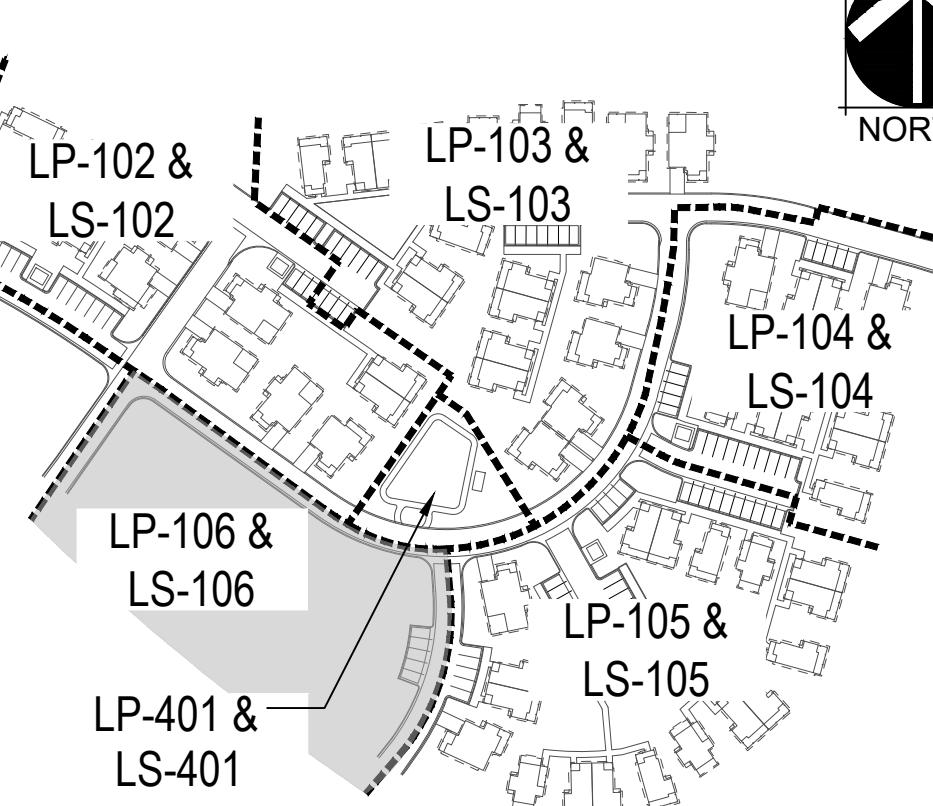
PERENNIALS

RU FU	BLACK-EYED SUSAN
AC CO	CORONATION GOLD YARROW
LU AL	MOUNTAIN LUPINE
SA SU	PERENNIAL SAGE



KEY MAP

N.T.S.



LEGEND

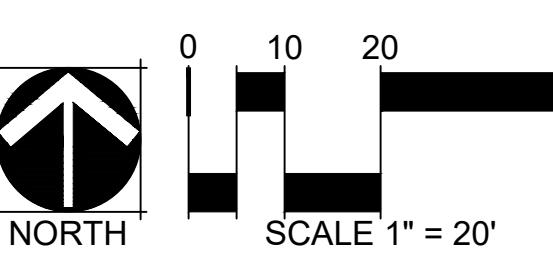
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	LOW GROW NATIVE SEED MIX
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	CRUSHER FINES
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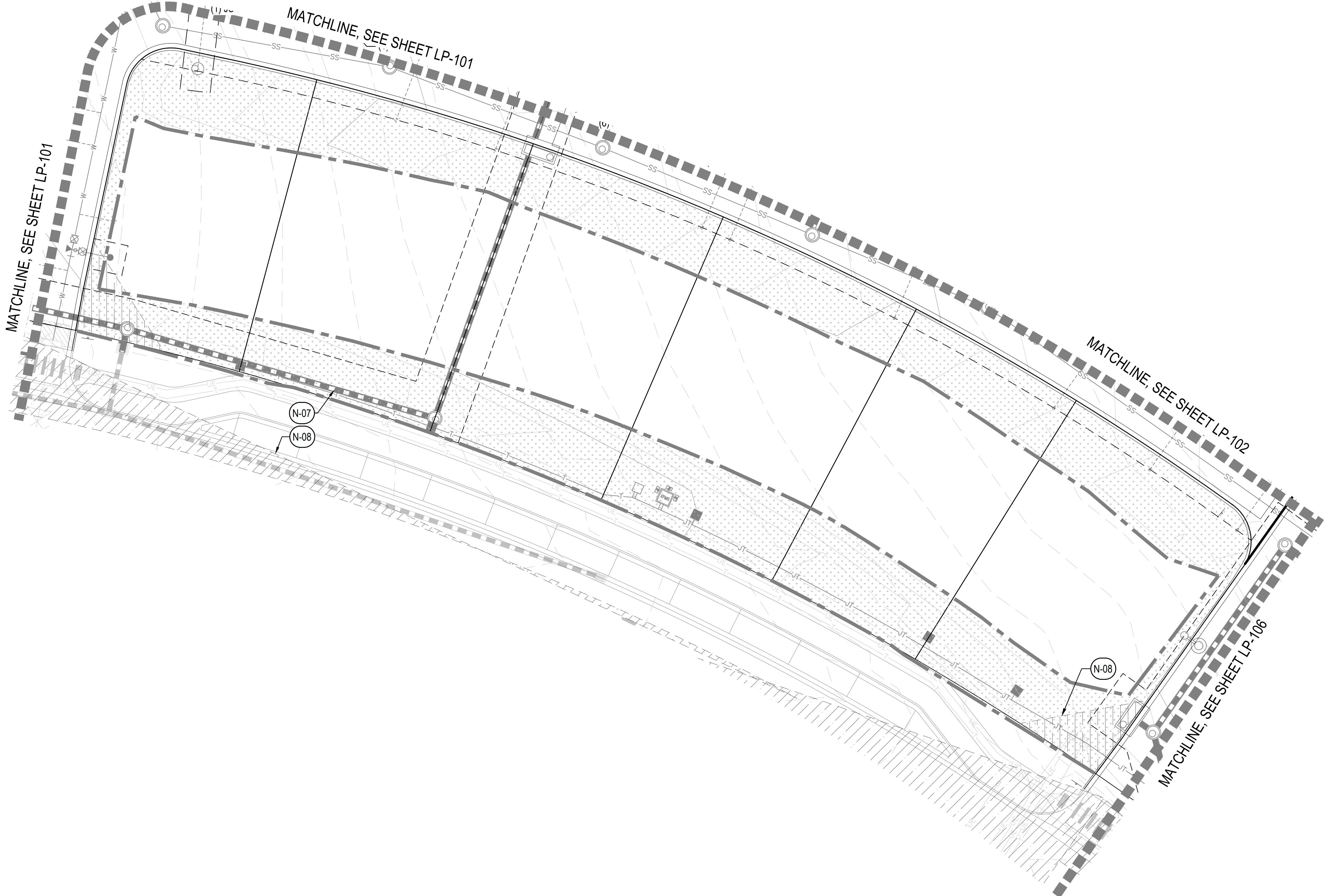
ORNAMENTAL GRASSES
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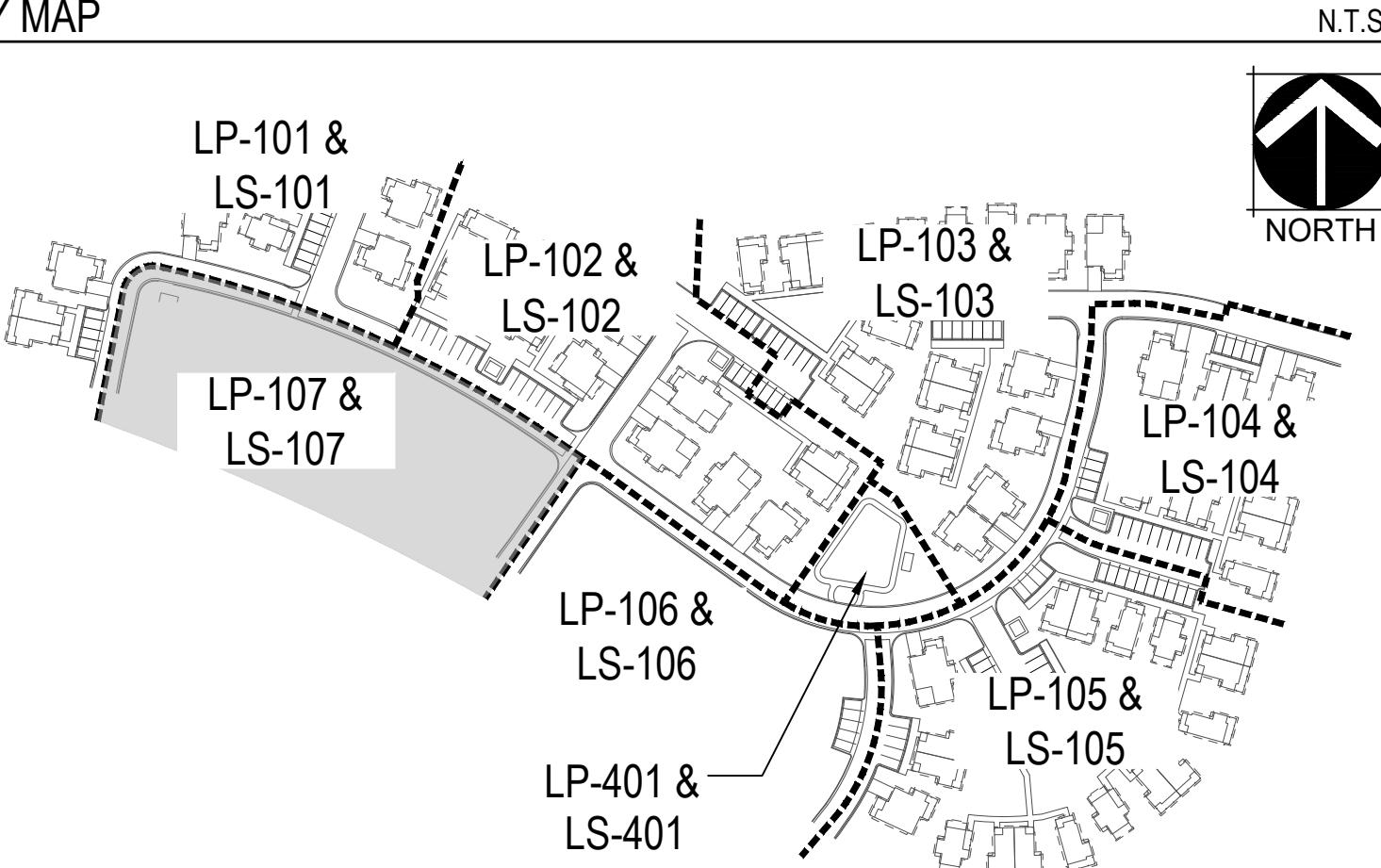


WILDFLOWER COTTAGES AT HAYMEADOW

EAGLE, COLORADO



KEY MAP



N.T.S.



LEGEND

	MATCHLINE
	LOT LINE
	LIMIT OF WORK
	EASEMENT
	MOW LINE
	SHORT DRY GRASS NATIVE SEED MIX
	LOW GROW NATIVE SEED MIX
	TEMPORARY SEED MIX
	SYMBOL
	DESCRIPTION
	WOOD MULCH
	COBBLE MULCH
	CRUSHER FINES
	DECORATIVE ROCK MULCH
	METAL EDGER
	LANDSCAPE BOULDERS
	STONE SLAB
	SYMBOL
	DESCRIPTION
	PICNIC TABLES
	SYMBOL
	DESCRIPTION
	BIKE RACK
	PERGOLA

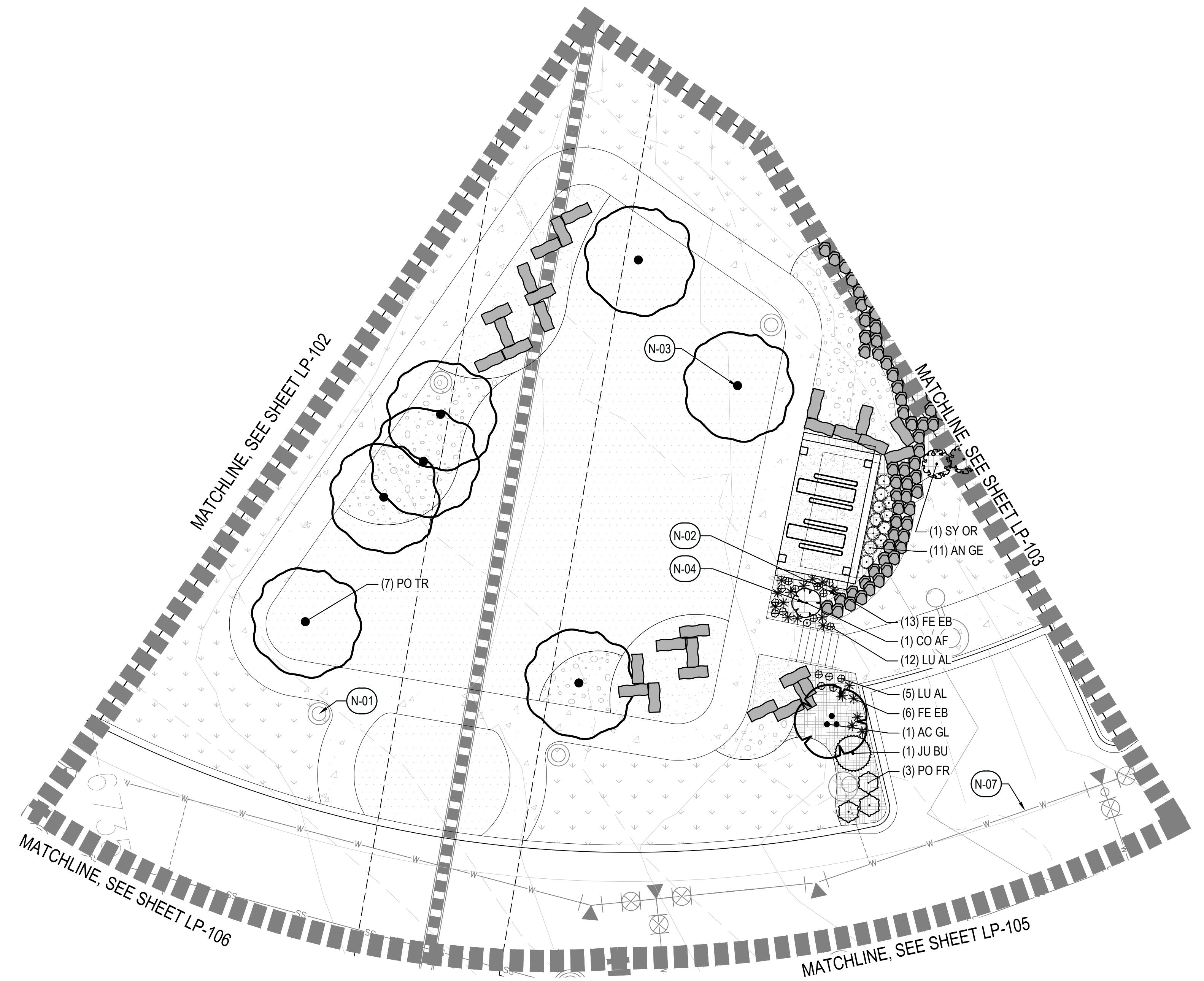
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N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL

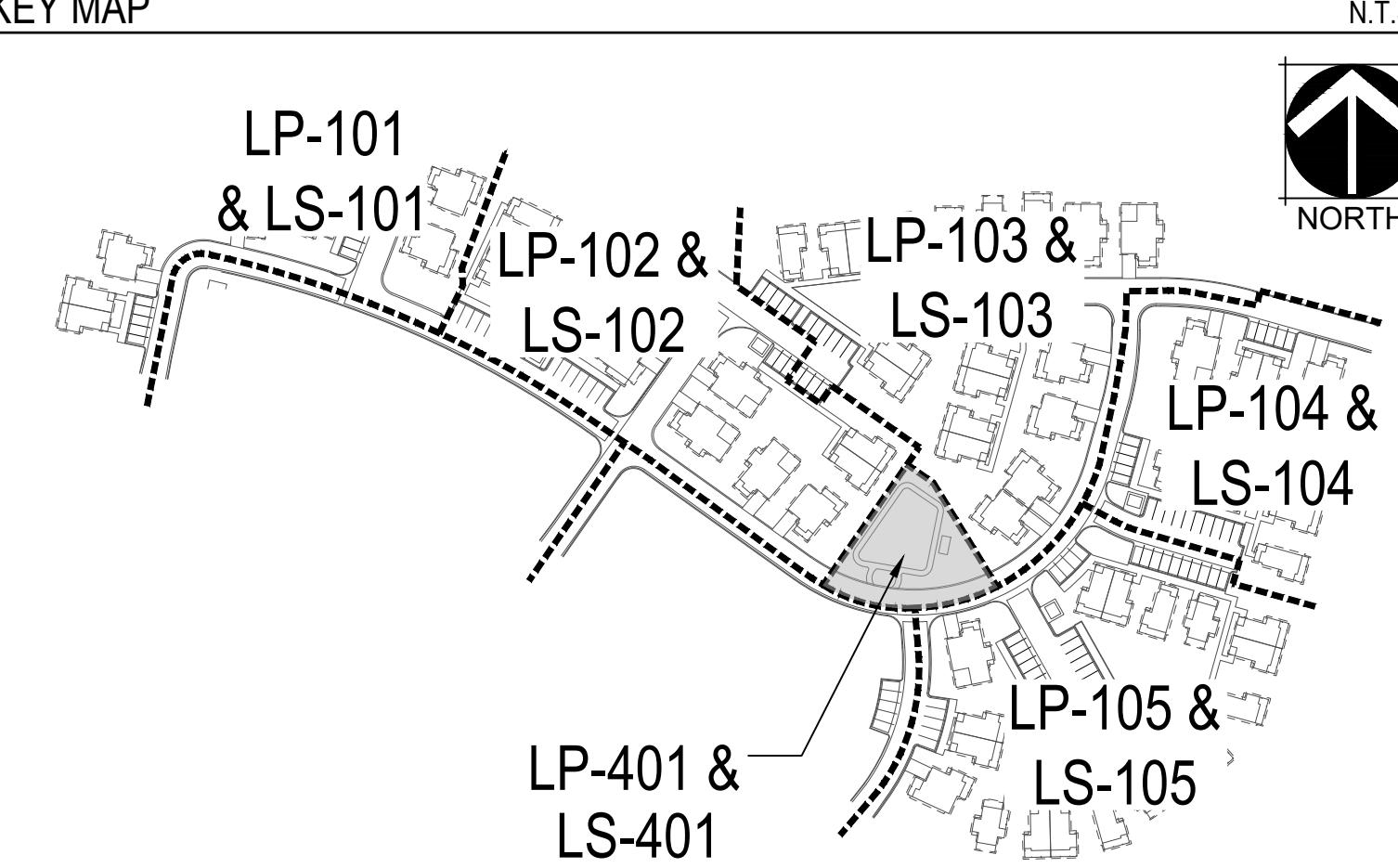
ORNAMENTAL GRASSES	
AN GE	BIG BLUESTEM
SC SC	BLAZE LITTLE BLUESTEM
FE EB	BLUE FESCUE
MI SI	MAIDEN GRASS
PA SH	SWITCH GRASS

PERENNIALS	
RU FU	BLACK-EYED SUSAN
AC CO	CORONATION GOLD YARROW
LU AL	MOUNTAIN LUPINE
SA SU	PERENNIAL SAGE





KEY MAP



SHEET TITLE:
LANDSCAPE
ENLARGEMENT

LP-401

PLANT SCHEDULE

CODE COMMON NAME

DECIDUOUS CANOPY TREES
CE OC COMMON HACKBERRY
PO AN NARROWLEAF COTTONWOOD

EVERGREEN TREES
PI BS BLUE COLORADO SPRUCE
PI ED PINYON PINE
JU SC ROCKY MOUNTAIN JUNIPER

ORNAMENTAL TREES
AC FL FLAME AMUR MAPLE
PO TR QUAKING ASPEN
AC GL ROCKY MOUNTAIN MAPLE
AM SE SERVICEBERRY
BE OC WATER BIRCH

DECIDUOUS SHRUBS
CO AF ARCTIC FIRE DOGWOOD
LO AR ARNOLD'S RED HONEYSUCKLE
CH NN BABY BLUE RABBITBRUSH
AR TR BIG SAGEBRUSH
SY VU COMMON PURPLE LILAC
CH MI FERNBUSH
SA GE GEYER WILLOW
RI AU GOLDEN CurrANT
CE IN LITTLE LEAF MOUNTAIN MAHOGANY
CE MO MOUNTAIN MAHOGANY
PH MO MOUNTAIN NINEBARK
RO WO MOUNTAIN ROSE
SY OR MOUNTAIN SNOWBERRY
CO AC PEKING COTONEASTER
PO PB PINK BEAUTY POTENTILLA
PO FR POTENTILLA
CR RE RED TWIG DOGWOOD
HO DU ROCK SPIREA
RH TR SKUNKBUSH SUMAC
SO ST URAL FALSE SPIREA
CO AL VARIEGATED DOGWOOD
RH CI WESTERN SMOOTH SUMAC

EVERGREEN SHRUBS
PI BI BIG TUNA MUGO PINE
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JU BU BUFFALO JUNIPER
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PI TA TANNENBAUM MUGO PINE

ORNAMENTAL GRASSES
AN GE BIG BLUESTEM
SC SC BLAZE LITTLE BLUESTEM
FE EB BLUE FESCUE
MI SI MAIDEN GRASS
PA SH SWITCH GRASS

PERENNIALS
RU FU BLACK-EYED SUSAN
AC CO CORONATION GOLD YARROW
LU AL MOUNTAIN LUPINE
SA SU PERENNIAL SAGE

LEGEND

MATCHLINE

EASEMENT

SHORT DRY GRASS NATIVE
SEED MIX

LOW GROW NATIVE SEED MIX

TEMPORARY SEED MIX

SYMBOL DESCRIPTION

WOOD MULCH

COBBLE MULCH

CRUSHER FINES

DECORATIVE ROCK MULCH

METAL EDGER

LANDSCAPE BOULDERS

STONE SLAB

SYMBOL DESCRIPTION

PICNIC TABLES

BIKE RACK

PERGOLA

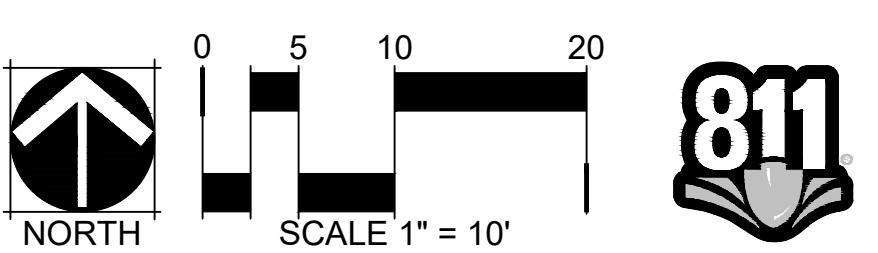
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CONSTRUCTION

KEY NOTES

CODE DESCRIPTION DETAIL

N-01	PEDESTRIAN LIGHT , TYP.	RE: PHOTOMETR
N-02	BOULDER RETAINING WALL	2 / LP-502
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N-09	FIRE HYDRANT, TYP.	RE: CIVIL
N-10	TRASH ENCLOSURE	RE: ARCH
N-11	CIP RETAINING WALL	RE: CIVIL

DATE:
08/01/25 MAJOR
DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02



WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO

LEGEND
LOT LINES
LIMIT OF WORK
EASEMENTS
METAL EDGER
SNOW STORAGE
WOOD MULCH
COBBLE MULCH
CRUSHER FINES
DECORATIVE ROCK MULCH

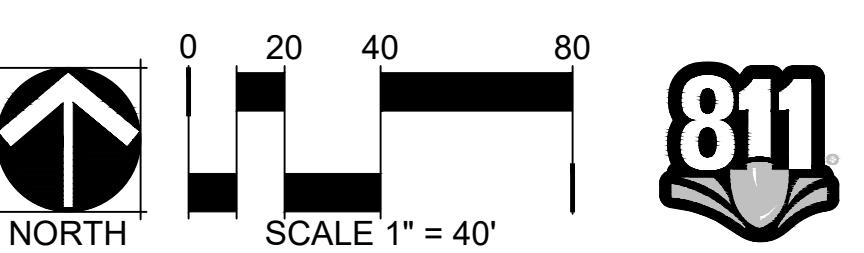


OWNER:
ABRIKA PROPERTIES, LLC
8250 SW 27TH AVE
OCALA FL, 34476
352.854.7753

NOT FOR
CONSTRUCTION

DATE:
08/01/25 MAJOR
DEVELOPMENT PLAN
01/07/26 MAJOR
DEVELOPMENT PLAN 02

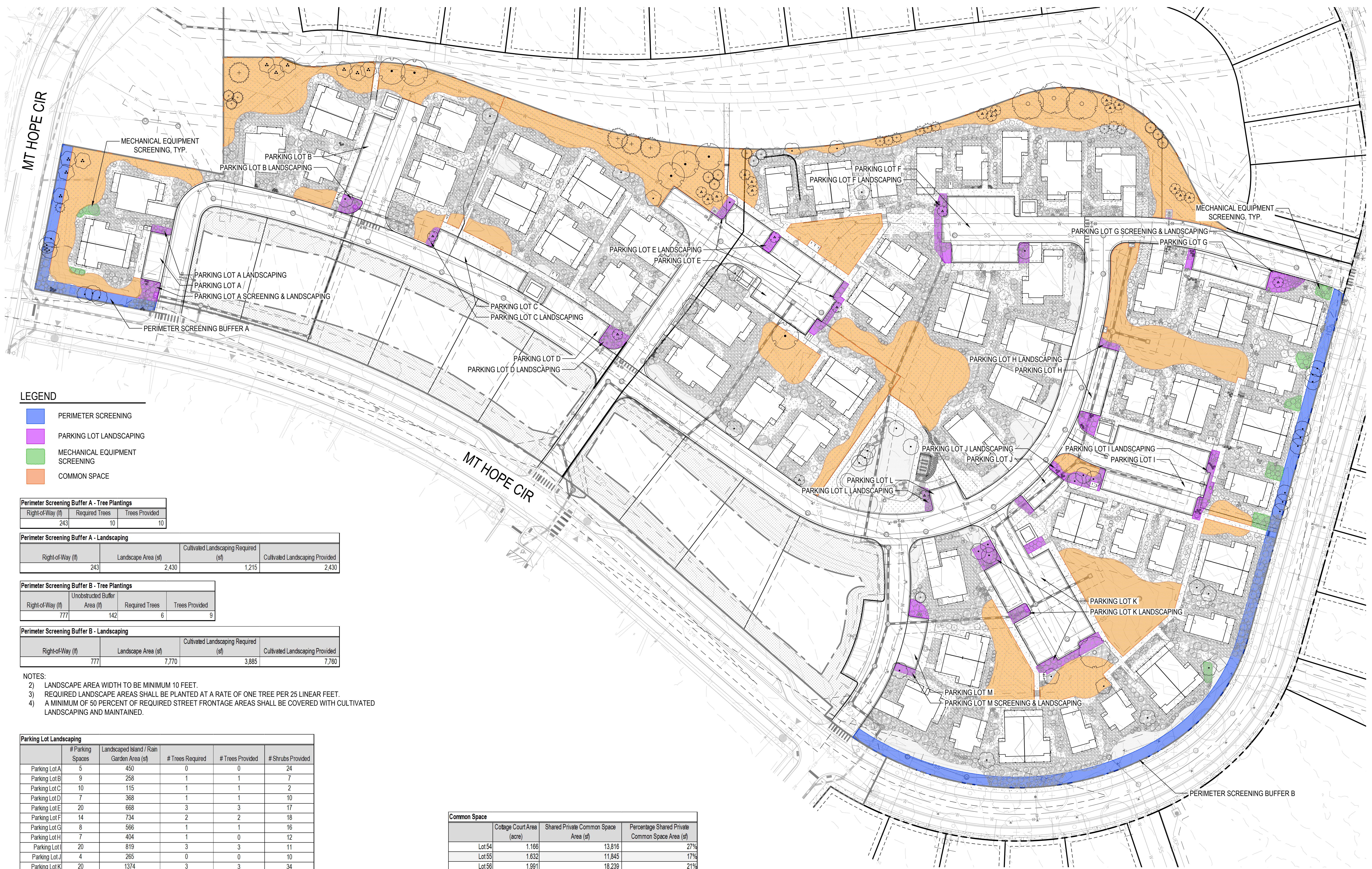
SHEET TITLE:
SNOW
STORAGE PLAN



81

LP-402

WILDFLOWER COTTAGES AT HAYMEADOW
EAGLE, COLORADO



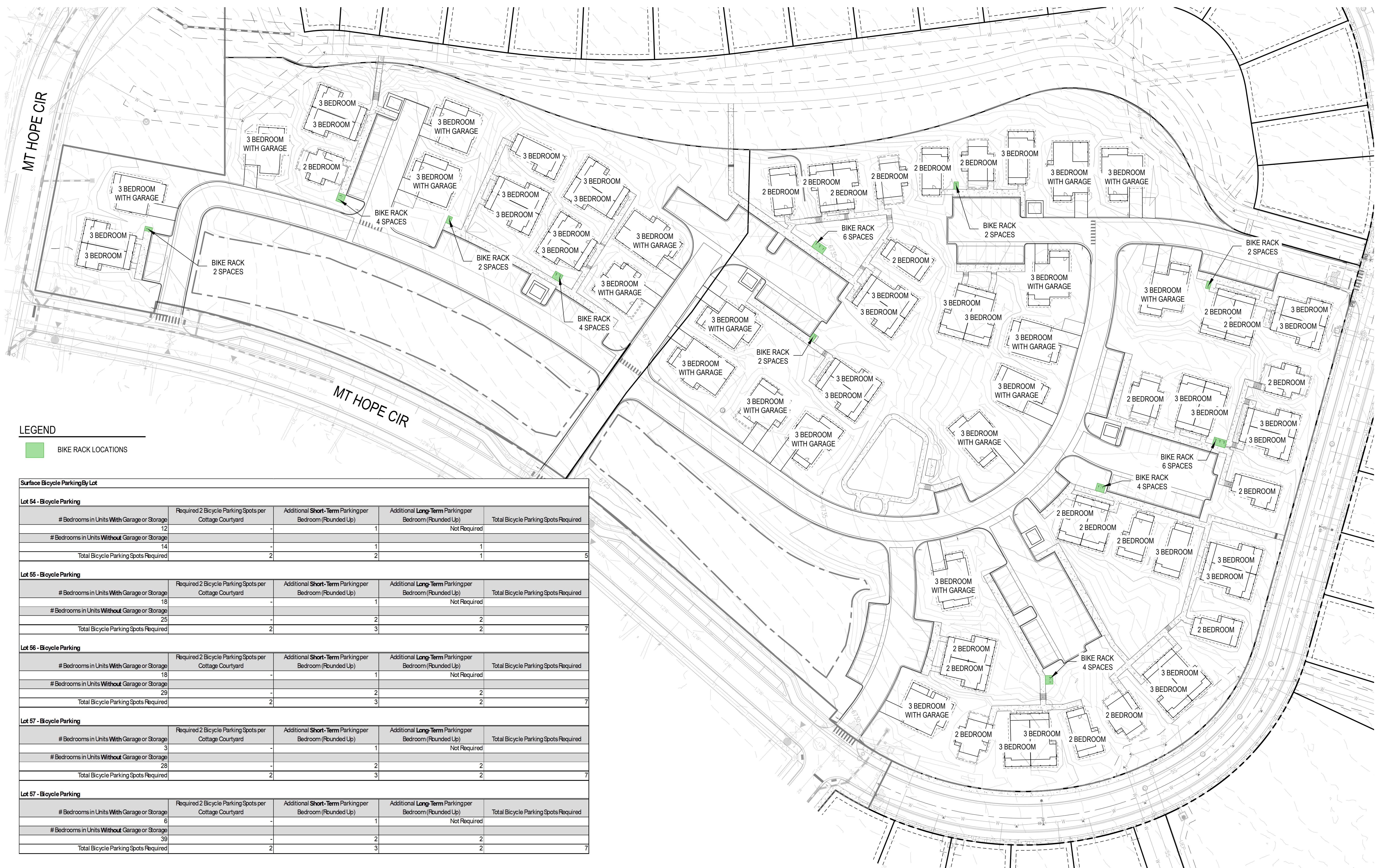
SHEET TITLE:
LANDSCAPE
BUFFER PLAN

LP-403

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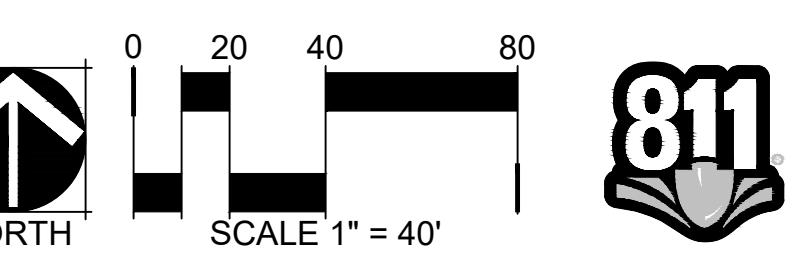
0 20 40 80
SCALE 1" = 40'
NORTH

WILDFLOWER COTTAGES AT HAYMEADOW
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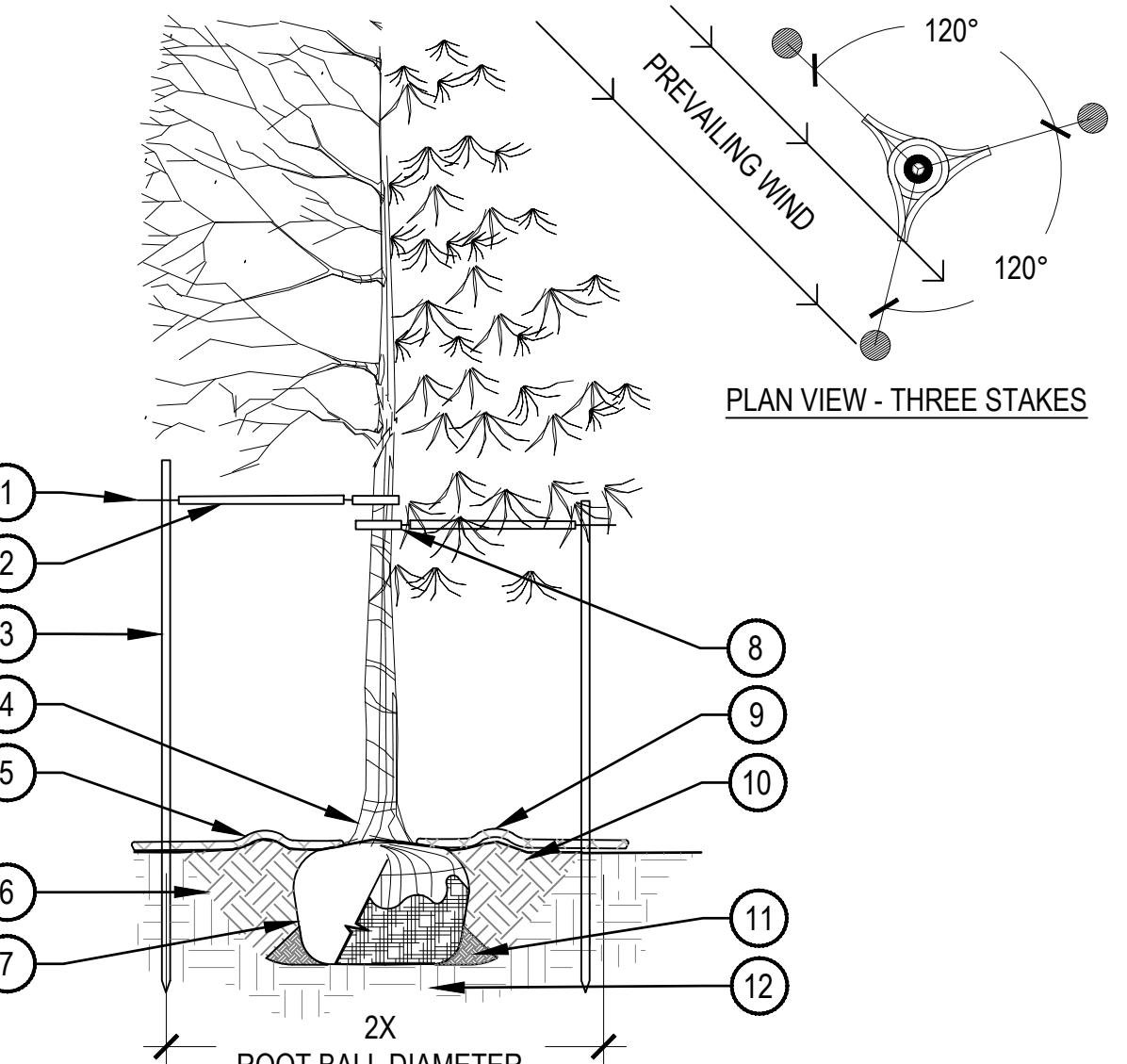
NOTES:

- 1) SHORT-TERM BICYCLE PARKING REQUIRED TO BE MINIMUM 2 BICYCLE PARKING SPACES PER COTTAGE COURTYARD, PLUS 0.05 SPACES PER BEDROOM.
- 2) LONG-TERM BICYCLE PARKING REQUIRED TO BE MINIMUM 2 BICYCLE PARKING SPACES PER COTTAGE COURTYARD, PLUS 0.05 SPACES PER BEDROOM.
- 3) NO LONG-TERM BICYCLE PARKING IS REQUIRED FOR UNITS WITH A PRIVATE GARAGE OR APPROPRIATELY SIZED LOCKED STORAGE.

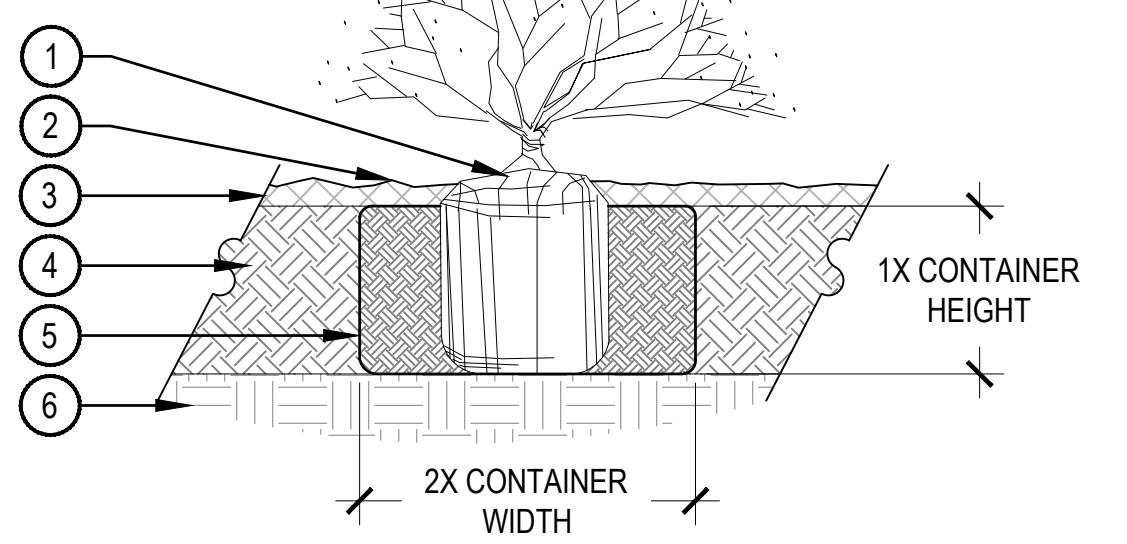


PRUNING NOTES:
1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
2. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:
1. STAKE TREES PER DIAGRAM. AFTER A MINIMUM OF (3) THREE YEARS CONFIRM TREE IS ESTABLISHED. CHECK FOR ROOTBALL STABILITY. APPLY HAND PRESSURE TO TRUNK OF TREE, WHEN ROOTBALL DOES NOT MOVE, REMOVE STAKING.
a. 2" CALIPER SIZE AND UNDER DECIDUOUS AND ASPEN TREES - MINIMUM 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).
b. EVERGREEN TREES - 3 STAKES PER DIAGRAM.
c. 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.
2. WIRE OR CABLE SHALL BE MINIMUM 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.
3. ADJUST STAKING, STRAPS AND GUY WIRES ANNUALLY.
4. TREATED WOOD POST PREFERRED. METAL T STAKES WITH PLASTIC SAFETY CAPS ACCEPTABLE WITH APPROVAL FROM OWNER.



- ① GALVANIZED WIRE
- ② PLACE MINIMUM 1/2" PVC PIPE AROUND EACH WIRE, EXPOSED WIRE SHALL BE MAXIMUM 2" EACH SIDE
- ③ INSTALL STAKING PER SPECIFICATIONS
- ④ PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE
- ⑤ 2'-0" RADIUS MULCH RING, CENTERED ON TRUNK, 3" DEPTH, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK, FINISHED GRADE REFERENCES TOP OF MULCH
- ⑥ 1:1 SLOPE ON SIDES OF PLANTING HOLE
- ⑦ REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM THE ENTIRE ROOTBALL AND TRUNK
- ⑧ GROMMETED NYLON STRAPS
- ⑨ 4-6" HIGH WATER SAUCER IN NON-TURF AREAS
- ⑩ BACKFILL AROUND ROOTBALL WITH PLANT MIX, PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST, EXCAVATED SOIL, PLUS MYCORRHIZAL INOCULANT PER SPECIFICATIONS
- ⑪ PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP, SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS
- ⑫ PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT



NOTE:
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER.
4. DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
5. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING, DO NOT PRUNE MORE THAN 20% OF LIMBS.

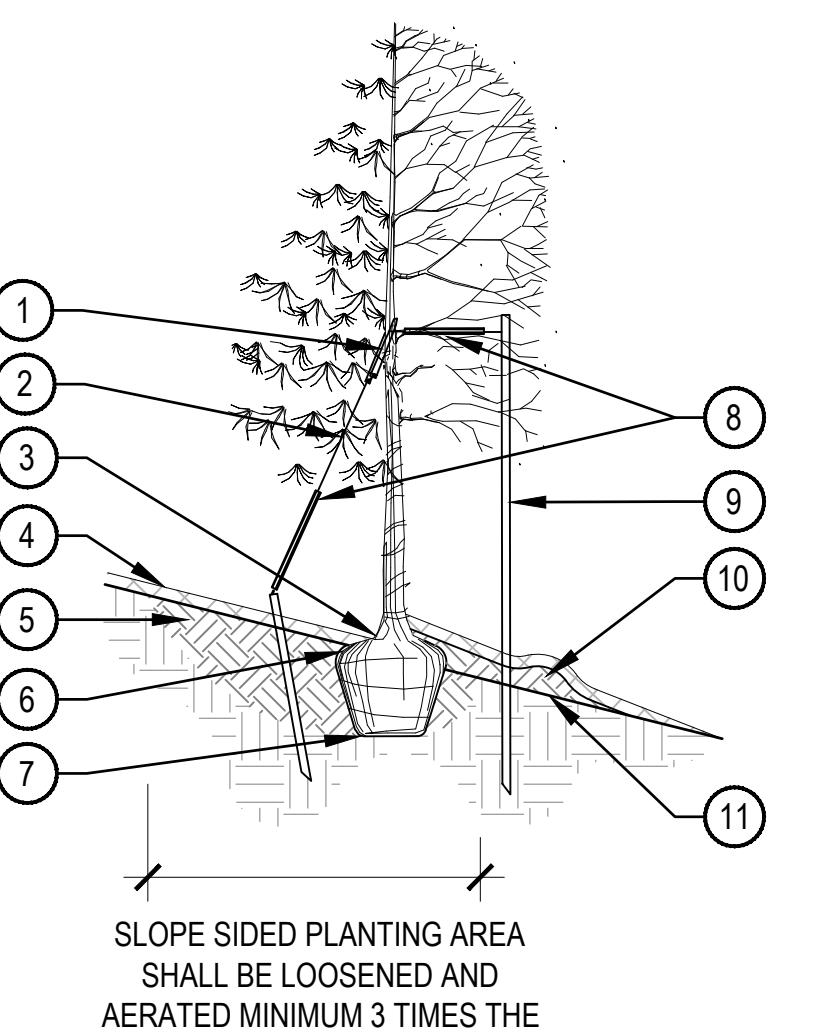
1 TREE PLANTING DETAIL

NOTES:
1. EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND LESS THAN THE DISTANCE FROM THE TOP MOST ROOT AND THE BOTTOM OF THE ROOT BALL. THE PLANTING AREA SHALL BE LOOSENERD AND AERATED AT LEAST THREE TO FIVE TIMES THE DIAMETER OF THE ROOT BALL. REFERENCE TREE PLANTING DETAIL FOR BACKFILL NOTES.
2. TREES SHALL BE PLANTED WITH THE TOP MOST ROOT IN THE ROOT BALL 3" TO 5" HIGHER THAN THE FINISHED LANDSCAPE GRADE. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED.
3. FORM SOIL INTO A 3" TO 5" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 3" TO 4" DEPTH OF SPECIFIED MULCH INSIDE WATERING RING.

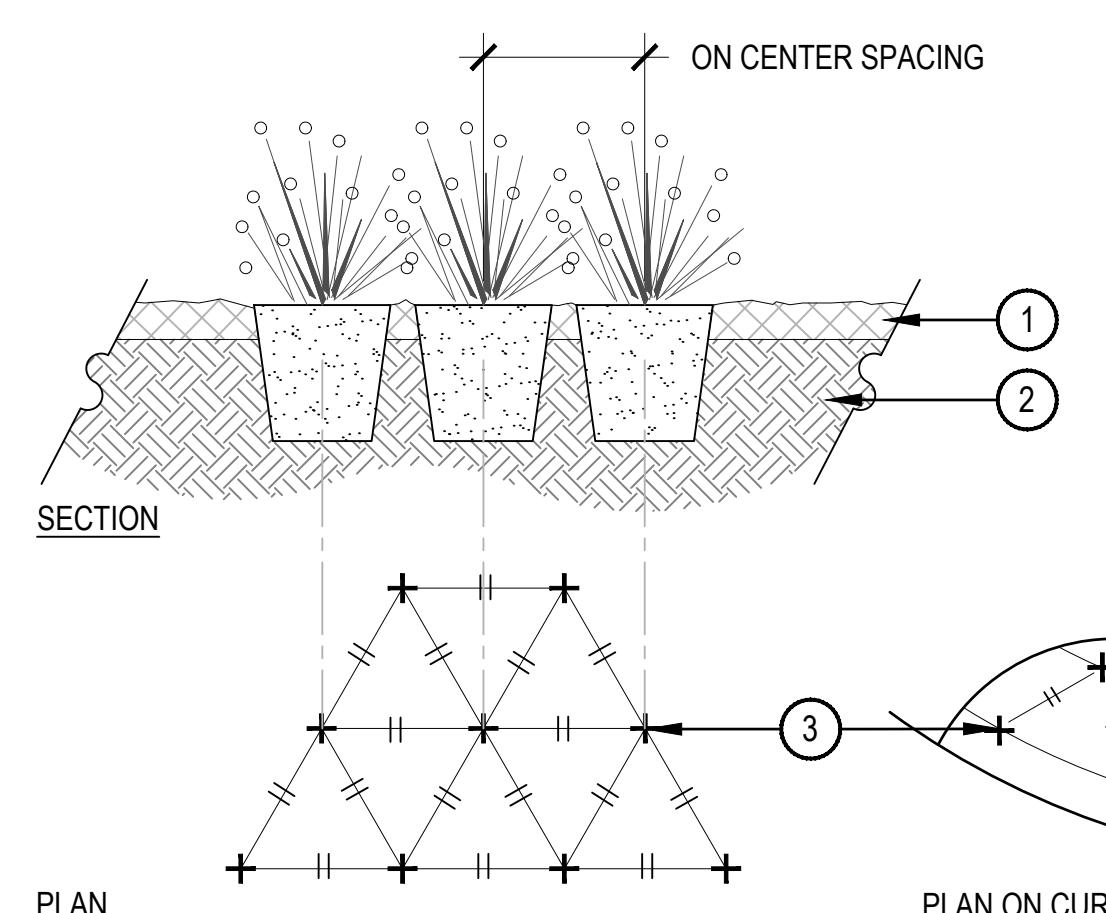
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3. ADJUST STAKING, STRAPS AND GUY WIRES ANNUALLY.
4. USE GUY ASSEMBLIES FOR EVERGREENS AND TREES OVER 3" CALIPER. ALL WIRE TO BE MINIMUM 12 GAUGE GALVANIZED.

2 SHRUB PLANTING

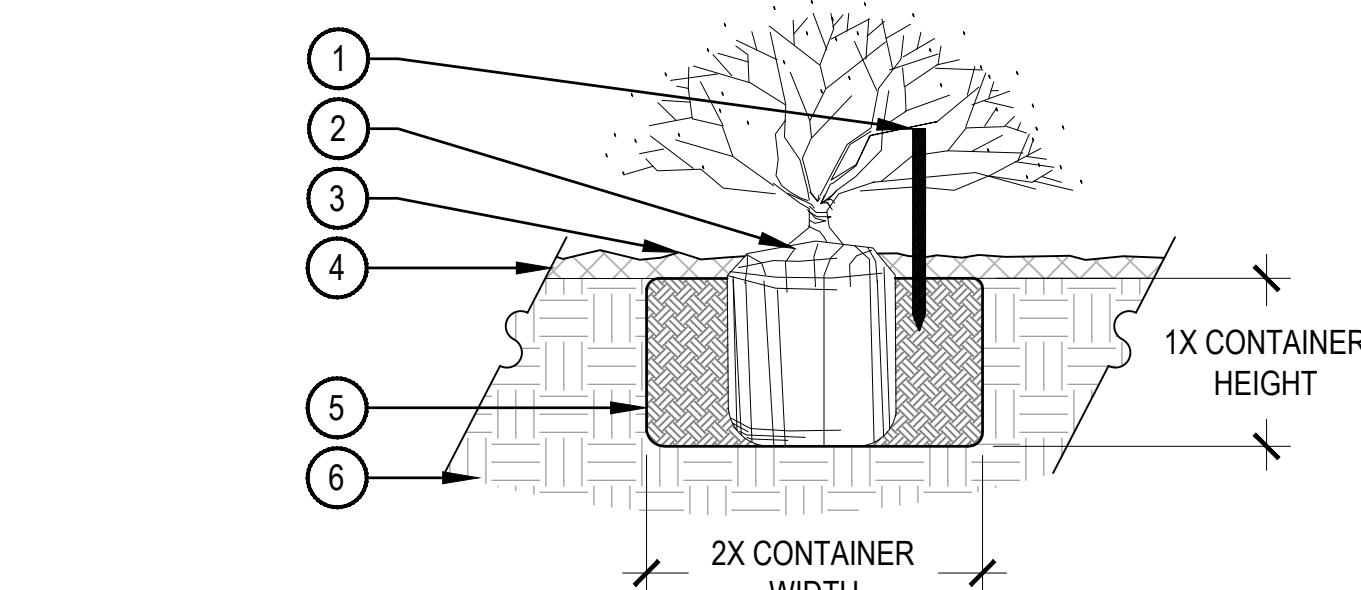


- ① GROMMETED NYLON STRAP
- ② GALVANIZED WIRE
- ③ TOP MOST ROOT IN ROOTBALL: 1"-2" ABOVE EXISTING GRADE, UPHILL SIDE
- ④ 2"-0" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND AWAY FROM THE TRUNK, FINISHED GRADE REFERENCES TOP OF MULCH
- ⑤ BACKFILL WITH PLANT MIX, PLANT MIX SHALL CONSIST OF EQUAL PARTS TOPSOIL, COMPOST, EXCAVATED SOIL, PLUS MYCORRHIZAL INOCULANT PER SPECIFICATIONS, WATER THOROUGHLY WHEN BACKFILLING
- ⑥ REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOTBALL AND TRUNK
- ⑦ PLACE ROOTBALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT, IF SOIL HAS BEEN IMPORTED, PROVIDE MODERATE FOOT PACKING OF SOIL DIRECTLY UNDER LOCATION OF ROOTBALL
- ⑧ 24" X 3/4" P.V.C. MARKERS (TYPICAL) OVER WIRES
- ⑨ TREATED WOOD POST, OR METAL T STAKE WITH CAP, WITH GROMMETED NYLON STRAPS, USE 2 GUY WIRES
- ⑩ UNAMENDED TOPSOIL ADDED TO EXISTING GRADE ON DOWN HILL SIDE, REFER TO SPECIFICATIONS
- ⑪ EXISTING GRADE



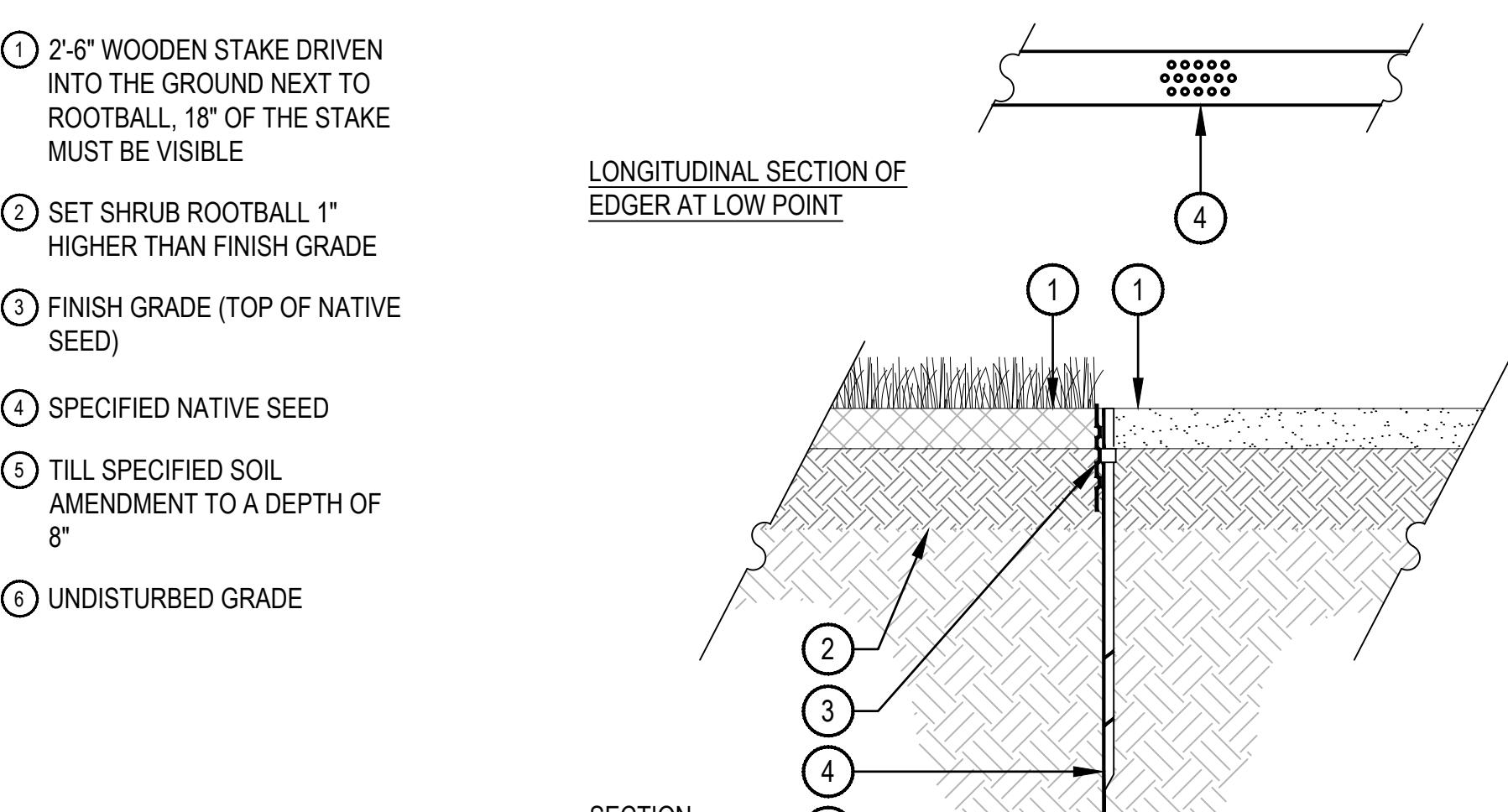
NOTES:
1. WHEN PLANTED ON A CURVE, ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSED.

3 TREE PLANTING ON SLOPE

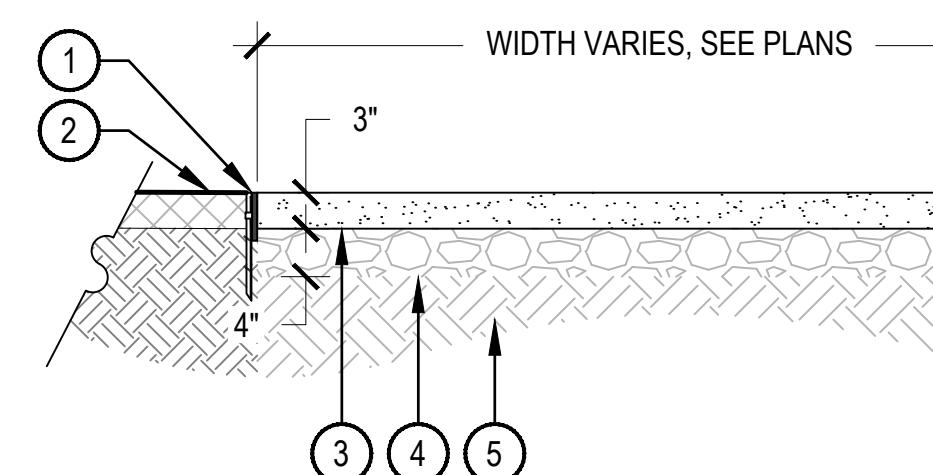


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5 SHRUB PLANTING IN NATIVE AREAS



- ① FINISHED GRADE, TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
- ② AMENDED SOIL PER SPECIFICATIONS
- ③ METAL EDGER, DRILL (1/2" DIAMETER HOLES 1" ON CENTER MINIMUM AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- ④ EDGER STAKE
- ⑤ SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY



NOTES:
1. COMPACT CRUSHER FINES WET, COMPACT TO 95% STANDARD PROCTOR DENSITY.
2. CROSS SLOPE CRUSHER FINES AT 1-2% WITH GRADE WHERE TOPOGRAPHY DICTATES.
3. MIX STABILIZER/TACKIFIER INTEGRALLY.
4. ENSURE POSITIVE DRAINAGE AWAY FROM CENTER OF CRUSHER FINES AREA TO AVOID WATER POOLING.

6 METAL EDGER

SCALE: 1 1/2" = 1'-0"

SCALE: 1" = 1'-0"

